

The University of Vermont and Housing

UVM has a long-standing commitment to housing students.

- UVM housed 63% of undergraduate students on campus last year – significantly more than our peers, and above our goal of 60%.
- Students are required to live on campus for first two years; this promotes a connection to the University and boosts retention.
- It also keeps a large number of students from living in off-campus rentals.

UVM has created many additional beds on campus.

- The University has added 874 beds on campus in the last ten years.
 - 163 at McAuley Hall.
 - 403 at Redstone Lofts (third-party developer project).
 - 308 net new beds at the Central Campus Residence Hall (a 699 bed project that replaced the 391 beds at Chittenden/Buckham/Wills).



Central Campus Residence Hall

An updated Student Housing Master Plan is in the works.

- Will provide information on housing needs and options, and potential areas where housing could be created.
- Undergraduate and graduate students gave feedback about their interest in living on campus, location, cost, and amenities.
- Expecting to be able to share the recommendations later this summer.
- Desirable on-campus housing may attract students to stay on campus voluntarily (including graduate students).
- New on-campus housing would face the same market challenges as any housing in Burlington – must be attractive in terms of cost, location, size, and features.
- UVM cannot force more students to live on campus – it would be a disadvantage in a highly competitive higher education market – but can explore housing options that would attract students.
- Future projects will likely be in partnership with developers due to debt capacity.
- National trends are challenging, including a decline in the number of college-aged residents and increased competition with other institutions (resulting in college closures in Vermont and nationally); overall, the future of higher education is uncertain.



Positive results from quality of life collaboration with the City.

UVM pays for Burlington Police Department patrols in neighborhoods.

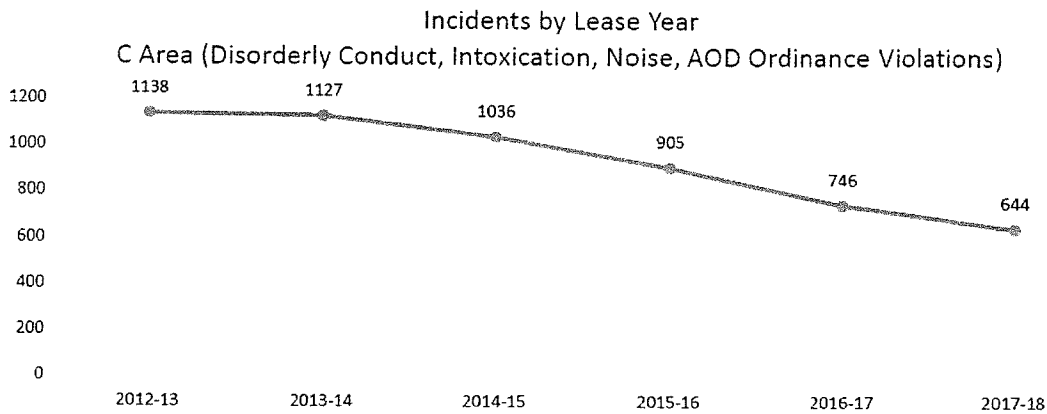
- Up to \$100,000 annually for patrols focused only on quality of life issues.
- Also pay more than \$1.3 million annually (Payment for Services agreement) and will contribute \$7.7 million over 20 years for City capital improvements.

A group meets to intervene early when incidents occur.

- A collaboration of the Burlington Police Department, UVM, and Code Enforcement.
- Map incidents and use data to track trends.
- Address “problem properties” with a visit.
- Landlords receive calls and letters about properties where incidents occur.

The data shows positive results.

- Improvement in calls for service in area where students tend to live.
 - Disorderly conduct, intoxication, noise, AOD ordinance violations.
- C Area calls for service have dropped by 43% since 2012-13
 - A,B,D,E calls for service dropped 26%.
- Citizen-initiated responses decreased 38% since 2012 (when police officers began quality of life patrols in neighborhoods).
- Represents improvement, not victory.



The Office of Student and Community Relations and Community Coalition provide neighborhood resources.

- Letters and welcome bags to students and neighbors.
- Have a Heart program encouraging renters to respect neighbors, especially around walk-by noise.
- Mediation, assistance for renters, and community-building projects.
- As an example, this year’s Spring Move Out Project kept neighborhoods clean by diverting 30 tons of furniture and household goods from the greenbelts.



Spring Move Out Project