

## Department of Planning and Zoning

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Elsie Tillotson, Department Secretary



**TO:** Development Review Board  
**FROM:** Scott Gustin   
**DATE:** September 2, 2014  
**RE:** 14-1320CA; 10 University Place

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**Note: These are staff comments only; decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.**

Zone: I      Ward: 1

Owner/Applicant: University of Vermont

**Request:** Demolition of Chittenden, Buckham, Wills residential complex with redevelopment plans including Green Mountain walkway and associated pedestrian amenities. Construction of a replacement parking area is also included.

### **Applicable Regulations:**

Article 4 (Maps & Districts), Article 5 (Citywide General Regulations), Article 6 (Development Criteria & Guidelines)

### **Background Information:**

The applicant is requesting approval for demolition of three student dormitories (Chittenden, Buckham, & Wills) to enable construction of the adjacent inpatient building at Fletcher Allen Health Care. While these two projects go hand-in-hand, they are under separate ownership and separate permit application. The demolished buildings will be replaced with new landscaping and the so-called Green Mountain Walkway. Temporary onsite and offsite student housing will be provided and, ultimately, new student housing will be provided onsite; however, no new permanent student housing is included in this proposal. A separate but related application has been filed to deal specifically with the new parking area. This new parking area will contain spaces to offset the loss of existing parking spaces due to the construction of Fletcher Allen's proposed inpatient building. Both applications are reviewed concurrently. A separate zoning permit application will be filed for a lot line adjustment between the UVM and FAHC properties.

The University of Vermont is an educational institution and, therefore, is subject to only limited zoning review per 24 VSA, Sec. 4413, *Limitations on municipal bylaws*. This application may be reviewed only with respect to location, size, height, building bulk, yards, courts, setbacks, density of buildings, off-street parking, loading facilities, traffic, noise, lighting, landscaping, and screening requirements.

The Design Advisory Board reviewed this application July 22, 2014. The Board unanimously recommended forwarding to the Development Review Board subject to the following conditions:

1. A landscaping plan that includes details as to species and size of plantings proposed.

2. Outdoor lighting fixture locations, cut sheets, and illumination levels.
3. Site plan depicting how and where existing parking will be reconfigured with no net change in parking spaces provided.

Application materials to address the DAB's recommendation have been provided. Only a photometric plan demonstrating illumination levels remains outstanding.

**Recommendation:** Certificate of appropriateness approval as per, and subject to, the following findings and conditions:

## **I. Findings**

### **Article 4: Maps & Districts**

#### ***Sec. 4.4.4, Institutional District:***

##### ***(a) Purpose***

See Sec. 4.5.2 (d) *District Specific Regulations: UVM Central Campus.*

##### ***(b) Dimensional Standards & Density***

See Sec. 4.5.2 (d) *District Specific Regulations: UVM Central Campus.*

##### ***(c) Permitted & Conditional Uses***

See Sec. 4.5.2 (d) *District Specific Regulations: UVM Central Campus.*

#### ***Sec. 4.5.2, Institutional Core Campus Overlay Districts***

##### ***(a) Purpose***

The Institutional Core Campus Overlay Districts are intended to provide for reasonable future growth for institutions within the core of their respective campuses without further intrusion into surrounding residential neighborhoods. Increased development scale and intensity than would be found in adjacent residential areas and to provide for a variety of uses associated with higher education, health care, and cultural and research centers. The proposed demolition will enable construction of the adjacent Fletcher Allen inpatient building. **(Affirmative finding)**

##### ***(b) Areas Covered***

The proposed demolition and new walkway and parking construction are located within the UVM Central Campus overlay. **(Affirmative finding)**

##### ***(d) District Specific Regulations: UVM Central Campus (ICC-UVM)***

###### ***1. Transitional Buffer***

None of the proposed demolition or construction is located within the transitional buffer.

**(Affirmative finding)**

###### ***2. Lot Coverage***

Following completion of the demolition and construction of the new walkway and parking area, lot coverage will be 47.56%, well below the 65% limit. **(Affirmative finding)**

###### ***3. Setbacks***

Only 15' front setbacks within the transitional buffer apply within this core campus overlay zone. As noted above, none of the proposed work is located within the transitional buffer. **(Affirmative finding)**

4. *Surface Parking*

The new parking spaces included in this proposal will simply offset the loss of existing parking spaces due to construction of Fletcher Allen's proposed inpatient building. New parking consists of 89 spaces, and 89 existing spaces will be lost. There will be no net change in parking.

**(Affirmative finding)**

5. *Building Height*

Not applicable.

6. *Density*

This criterion notes that the density restrictions set forth in Sec. 4.4.4 shall not apply to dormitories within the ICC-UVM overlay. This proposal entails the removal of three dormitories and, obviously, will not increase density. While not directly related to this criterion, it bears noting that 391 existing student beds will be removed as part of this proposal. In order to offset this loss, UVM proposes to house an equivalent number of students offsite (Quarry Hill and Sheraton, South Burlington) and on campus. Provision of this interim housing should be an explicit requirement for this demolition project. Longer term, the University has initiated a public RFP process for construction of new on campus student housing of 450-650 beds. Construction of that new student housing will require review under separate permit. **(Affirmative finding as conditioned)**

7. *Uses*

Within the ICC-UVM overlay district, post-secondary schools shall be permitted uses. The existing post-secondary school use will remain. No change in use is proposed. **(Affirmative finding)**

**Article 5: Citywide General Regulations**

***Sec. 5.2.3, Lot Coverage Requirements***

See Sec. 4.5.2.

***Sec. 5.2.4, Buildable Area Calculation***

This criterion does not apply to properties in the I zone. **(Not applicable)**

***Sec. 5.2.5, Setbacks***

See Sec. 4.5.2.

***Sec. 5.2.6, Building Height Limits***

See Sec. 4.5.2.

***Sec. 5.2.7, Density and Intensity of Development Calculations***

See Sec. 4.5.2.

***Sec. 5.5.1, Nuisance Regulations***

Nothing in this proposal appears to have any bearing on the city's nuisance regulations.

**(Affirmative finding)**

***Sec. 5.5.2, Outdoor Lighting***

New pole-mounted lighting fixtures will illuminate the proposed Green Mountain Walkway. Locations and fixture cut sheets have been depicted on revised project plans. The proposed lighting fixtures are acceptable, so long as illumination levels are compliant with the applicable walkway lighting standards of this criterion. A photometric plan depicting illumination levels has not yet been submitted and is required.

The reconfigured parking area will also be illuminated. A photometric plan depicting fixture types, locations, and illumination levels has been provided. Illumination will be provided with acceptable luminaires at acceptable levels for an outdoor parking lot. **(Affirmative finding as conditioned)**

### *Sec. 5.5.3, Stormwater and Erosion Control*

The construction site erosion prevention and sediment control plan has been reviewed and approved by the Stormwater Administrator. That approval is incorporated into conditions of approval for this project.

Post construction stormwater runoff will be collected in an existing stormwater pond that serves the north campus watershed. This project, in conjunction with Fletcher Allen's proposed inpatient facility, will require some changes to the stormwater pond. The Conservation Board reviewed those changes (as part of Fletcher Allen's application) August 25, 2014 and recommended approval subject to the standard stormwater conditions. **(Affirmative finding as conditioned)**

## **Article 6: Development Review Standards**

### *Part 1, Land Division Design Standards*

Not applicable.

### *Part 2, Site Plan Design Standards*

#### *Sec. 6.2.2, Review Standards*

##### *(a) Protection of important natural features*

The project site contains no significant natural features. Greenery within the site is limited to landscaped lawn, trees, and other plantings. Proposed landscaping is addressed under criterion (m) below. **(Affirmative finding)**

##### *(b) Topographical alterations*

Not applicable per 24 VSA, Sec. 4413.

##### *(c) Protection of important public views*

Not applicable per 24 VSA, Sec. 4413.

##### *(d) Protection of important cultural resources*

Not applicable per 24 VSA, Sec. 4413.

##### *(e) Supporting the use of alternative energy*

Not applicable per 24 VSA, Sec. 4413.

##### *(f) Brownfield sites*

Not applicable per 24 VSA, Sec. 4413.

##### *(g) Provide for nature's events*

See Sec. 5.5.3.

*(h) Building location and orientation*

No new buildings are included in this application.

*(i) Vehicular access*

Not applicable per 24 VSA, Sec. 4413.

*(j) Pedestrian access*

Not applicable per 24 VSA, Sec. 4413.

*(k) Accessibility for the handicapped*

Not applicable per 24 VSA, Sec. 4413. Applicable accessibility requirements under the City's building code continue to apply.

*(l) Parking and circulation*

No net change in the amount of existing parking is included in this proposal. The existing parking area west of Converse Hall will be reconfigured and basically extended northward. It will result in the loss of an existing basketball court. New trees will line the reconfigured parking area. The 43 trees in and around the reconfigured parking area exceed the minimum requirement of 1 shade tree per 5 parking spaces (89 total spaces). All new trees will be 4" caliper at the time of planting (2.5" – 3" minimum required). At the summer solstice, 24% of the parking and circulation area will be shaded. The target is 30%. Presumably, 30% or more shading is achieved at the autumnal equinox. While this criterion does not specify the time of year, applicants typically use the autumnal equinox. A revised shading study at the autumnal equinox should be provided to confirm compliance.

This construction will occur on UVM property but is tied to construction of Fletcher Allen's proposed inpatient building. Given this interconnectivity, the applicant anticipates that the parking lot reconfiguration will not be completed until the inpatient building is complete. A permit expiration date of November 2019 is requested. The associated FAHC application anticipates completion of that project in 2018. Therefore, a January 1, 2019 completion date for this project is more appropriate than November 2019. **(Affirmative finding as conditioned)**

*(m) Landscaping and fences*

New landscaping associated with the reconfigured parking area is noted above. In addition, construction of the so-called Green Mountain Walkway includes substantial new landscaping. The proposed walkway will provide a curvilinear pedestrian link between Mary Fletcher Drive and Carrigan Drive, running through the ample green space of the central campus. The walkway will be lined with a variety of shade trees. Several clusters of new evergreen trees are also proposed. As recommended by the Design Advisory Board, proposed species have been noted. The walkway material – exposed aggregate concrete – has also been noted. **(Affirmative finding)**

*(n) Public plazas and open space*

No public plazas or open space are included in this proposal.

*(o) Outdoor lighting*

See Sec. 5.5.2.

*(p) Integrate infrastructure into the design*

New utility lines serving the proposed construction must be buried. **(Affirmative finding as conditioned)**

*Part 3, Architectural Design Standards*

*Sec. 6.3.2, Review Standards*

Not applicable.

**II. Conditions of Approval**

1. **Prior to release of the zoning permit**, a photometric plan for the proposed Green Mountain Walkway shall be submitted, subject to staff review and approval per the standards of Sec. 5.5.2.
2. **Prior to release of the zoning permit**, the University of Vermont shall demonstrate that it has secured an equivalent number of interim student beds (391) either offsite (via lease or other similar legal instrument) or elsewhere on campus, subject to staff review and approval. The interim beds shall be available until an equivalent or greater number of new on campus student beds are provided.
3. This approval incorporates the Stormwater Administrator's August 8, 2014 written approval of the Erosion Prevention and Sediment Control Plan.
4. **Prior to issuance of a certificate of occupancy**, the applicant must obtain written certification from the Stormwater Administrator that, among other things, the project EPSC plan as approved has been complied with and final site stabilization has occurred. This certification shall be filed with the Department of Planning & Zoning.
5. This approval includes an extended construction timeline until January 1, 2019.
6. All new utility lines shall be buried.
7. The Applicant/Property Owner is responsible for obtaining all necessary Zoning Permits and Building Permits through the Department of Public Works as well as other permit(s) as may be required.
8. Standard permit conditions 1-15.



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CAMPUS PLANNING SERVICES

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AUG 12 2014

DEPARTMENT OF  
PLANNING & ZONING

August 11, 2014

Ken Lerner, Zoning Administrator  
Burlington Planning & Zoning Department  
149 Church Street  
Burlington, Vermont

PROJECT: Reconfiguration of Existing Parking, 79 Colchester Avenue

Dear Ken,

Part of the FAHC new inpatient building project includes a new parking configuration that will take into account FAHC's parking needs for the Emergency Department and the proposed boundary line adjustment. There will be no change in the University's number of parking spaces (89).

The UVM parking portion of this project will occur on UVM owned land. This application details the FAHC work to be done on UVM owned property. This work will include parking, regrading, removal of the existing basketball court, and improvement of the existing walkway from Converse to the Central Quad and associated landscaping.

Part of this work is proposed to occur in the summer and fall of 2015 however completion of the parking lots, including final striping and landscaping, is proposed to occur at the end of the FAHC construction cycle, in 2019. Therefore we request a zoning permit expiration date of November 2019. This extension of the permit period will allow appropriate time for installation of landscaping improvements to be completed in the growing seasons.

The lot coverage after reconfiguration of the parking lot, taking into account the boundary line adjustment and the demolition of the Chittenden, Buckham and Wills student residences, and the construction of the Green Mountain Walkway (previous permit), is 47.56%. This is well within the 70–75% permitted lot coverage.

Stormwater and Erosion Control:

This project will be constructed by FAHC as part of the inpatient building project. That project will cause only a small increase in impervious area. Stormwater control will be accomplished using two approaches. One approach will be connecting to the existing collection system that conveys runoff to the North Campus Treatment and Detention Facility. The North campus Facility provides treatment to both UVM and Fletcher Allen. The Facility is designed, permitted and constructed in accordance with the State of Vermont's unified sizing criteria.

For erosion prevention and sediment control, the project will follow best practices to prevent and/or minimize erosion during construction. Currently Fletcher Allen has hired a construction manager that is working on a detailed logistics/phasing plan. Due to the size of the project as well as constructing the building over an active Emergency Department, there are a series of complex steps the contractor will have to undertake in order to construct the project while maintaining access to the Emergency Department. Once the logistics plan is completed and signed off on, a detailed Erosion Prevention and Sediment Control Plan set will be developed and submitted to the State Agency of Natural Resources as part of their construction general permit program (CGP). This plan will take into account the phases/steps that will be required

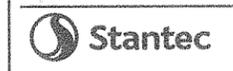


**morris switzer**  
environments for health

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SITE PERMIT APPLICATION 06.30.14



UVM PARKING  
RECONFIGURATION

201254  
G. MERKLE  
28 JULY 2014  
1" = 40'-0"

EXISTING  
CONDITIONS  
PLAN

C-101

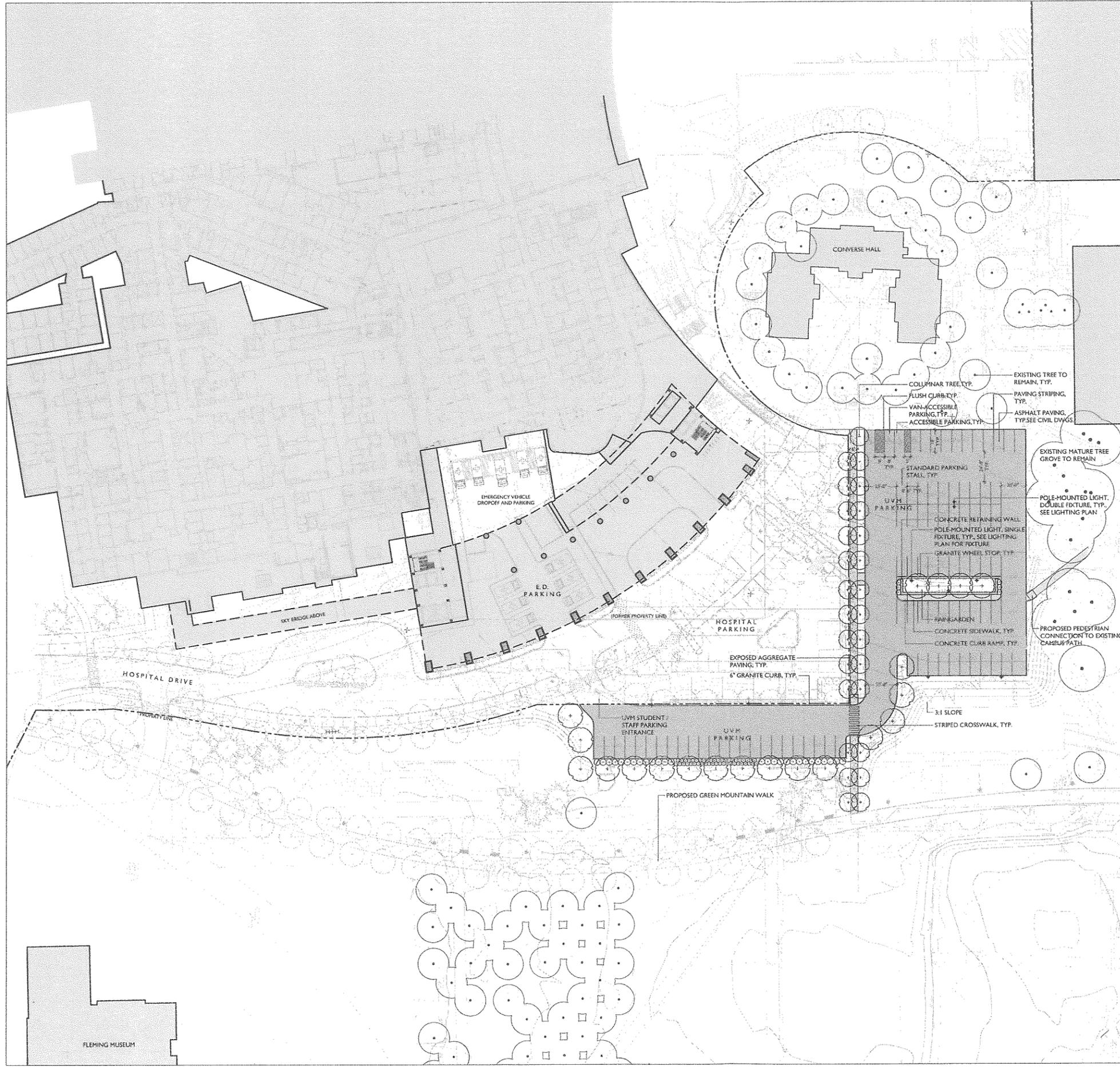
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**GENERAL NOTES**

1. Contractor is responsible for all damage due to its operations inside and outside the contract limit line.
2. Contractor is responsible for checking spot elevations and verifying proposed grades by providing grade stakes. Grades must be approved by Landscape Architect prior to proceeding.
3. Contractor shall blend new work smoothly with existing grades at contract limit line and/or limit of construction line.
4. Contractor to verify that subgrades are 6 inches below finished grade prior to spreading top soil for seeded areas.
5. All walks shall have 2% cross pitch, and all stop trends and wall caps shall have 1% cross pitch unless otherwise noted.
6. Light fixture locations may be field adjusted with prior Landscape Architect approval.
7. Walkway layout to be approved by Landscape Architect prior to construction.
8. Site furniture and wall locations to be verified by Landscape Architect prior to installation.
9. General Contractor is responsible for all erosion control measures during construction.
10. It is the intent of this contract to avoid any disturbance to existing trees or shrubs on site other than those specifically designated for transplant or removal.
11. Liquidated damages for trees damaged by construction operation shall be \$300 per caliper inch. Shrubs shall be \$100 each.

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**WAGNER HODGSON**  
LANDSCAPE ARCHITECTURE

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**UVM PARKING RECONFIGURATION**

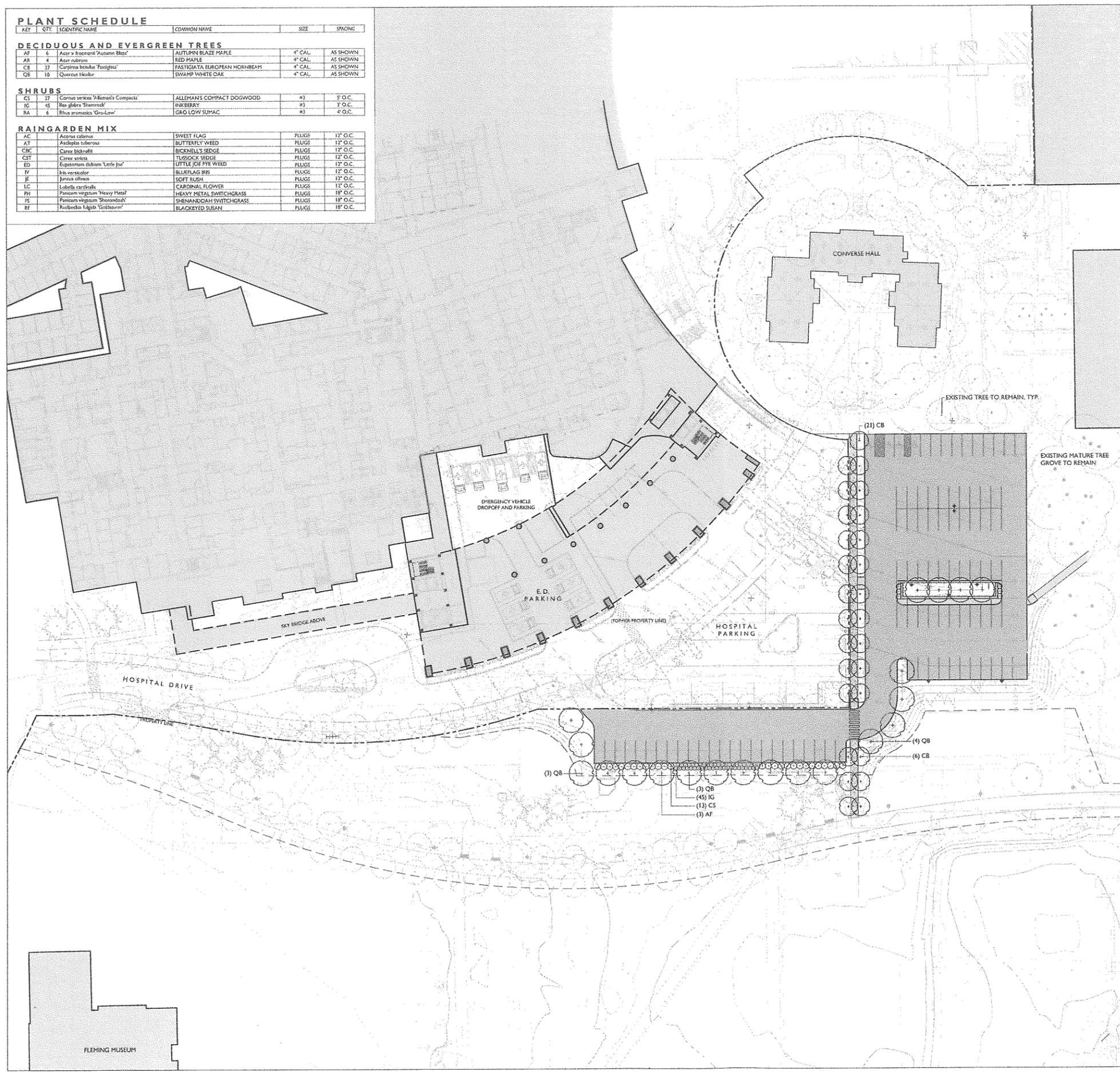
PROJECT NO. 201254  
DATE: 1 AUGUST 2014  
SCALE: 1" = 30'-0"

**LAYOUT AND MATERIALS PLAN**

**L1-0**

**PLANT SCHEDULE**

| KEY                                  | QTY | SCIENTIFIC NAME                    | COMMON NAME                  | SIZE   | SPACING  |
|--------------------------------------|-----|------------------------------------|------------------------------|--------|----------|
| <b>DECIDUOUS AND EVERGREEN TREES</b> |     |                                    |                              |        |          |
| AF                                   | 6   | Acer x freemanii 'Autumn Blaze'    | AUTUMN BLAZE MAPLE           | 4" CAL | AS SHOWN |
| AR                                   | 4   | Acer rubrum                        | RED MAPLE                    | 4" CAL | AS SHOWN |
| CB                                   | 17  | Carpinus betulus 'Fastigiata'      | FASTIGIATA EUROPEAN HORNBEAM | 4" CAL | AS SHOWN |
| CE                                   | 10  | Quercus bicolor                    | SWAMP WHITE OAK              | 4" CAL | AS SHOWN |
| <b>SHRUBS</b>                        |     |                                    |                              |        |          |
| CS                                   | 27  | Cornus sericea 'Alleman's Compact' | ALLEMAN'S COMPACT DOGWOOD    | #3     | 5' O.C.  |
| IG                                   | 45  | Ilex glabra 'Skimmia'              | INXERBY                      | #3     | 5' O.C.  |
| RA                                   | 4   | Rhus aromatica 'Gro-Low'           | GRO LOW SUMAC                | #3     | 4' O.C.  |
| <b>RAINGARDEN MIX</b>                |     |                                    |                              |        |          |
| AC                                   |     | Acorus calamus                     | SWEET FLAG                   | PLUGS  | 12" O.C. |
| AT                                   |     | Asclepias tuberosa                 | BUTTERFLY WEED               | PLUGS  | 12" O.C. |
| CBK                                  |     | Carex bicknellii                   | BICKNELL'S SEDGE             | PLUGS  | 12" O.C. |
| CS                                   |     | Carex spicata                      | TUSsock SEDGE                | PLUGS  | 12" O.C. |
| ED                                   |     | Eupatorium dubium 'Little Joe'     | LITTLE JOE PYE WEED          | PLUGS  | 12" O.C. |
| IV                                   |     | Iris versicolor                    | BLUEFLAG IRIS                | PLUGS  | 12" O.C. |
| JF                                   |     | Juncus effusus                     | SOFT RUSH                    | PLUGS  | 12" O.C. |
| LC                                   |     | Lubella cardinalis                 | CARDINAL FLOWER              | PLUGS  | 12" O.C. |
| PH                                   |     | Panicum virgatum 'Heavy Metal'     | HEAVY METAL SWITCHGRASS      | PLUGS  | 18" O.C. |
| PS                                   |     | Panicum virgatum 'Shonandah'       | SHENANDOAH SWITCHGRASS       | PLUGS  | 18" O.C. |
| RF                                   |     | Rubroecoia fulgens 'Goldburst'     | BLACKKEYED SUSAN             | PLUGS  | 18" O.C. |



**PLANTING NOTES**

- All plant material in the plant schedule shall be nursery grown in accordance with ANSI in accordance with Z.661 Standards for measurement of nursery stock.
- All plants shall be guaranteed by the Contractor for a period of one year from date of receipt of Provisional Acceptance of the completed installation by the Owner.
- Replacement plantings will be required prior to Final Acceptance for any plants which are missing, not true to specifications, have died or are unable to or uncharacteristic of the species (due to excessive pruning, dieback or other reasons).
- All plant materials shall be selected and tagged at the nursery by Landscape Architect.
- The Landscape Architect's approval is required for any plant material substitutions.
- The Contractor is responsible for immediately notifying the Landscape Architect if any plant quantity discrepancies exist between the planting plan and the plant list.
- All shrubs and trees will be sprayed with the anti-desiccant "Wilt-Proof" (or approved equal) prior to the first Winter (no later than November 30).
- The Landscape Contractor shall have the General Contractor locate all underground utilities in areas to be landscaped prior to commencing any excavation. Adjustments to tree locations will be allowed where utility conflicts are clearly a problem and with prior site approval by Landscape Architect.
- All plant beds, shrub and tree location shall be staked in the field by Contractor for Landscape Architect's approval prior to installation.
- Adjustments to plant beds shall be approved by Landscape Architect.
- General Contractor is responsible for all erosion control measures during construction.
- All disturbed areas are to be reseeded and sodded or sodded, as indicated in the planting plan.
- Mulch shall consist of double-stranded hardwood mulch or approved equal and Contractor is responsible for providing samples of mulch to Landscape Architect. Mulch plant materials as shown on plan and details.
- It is the intent of this contract to avoid any disturbance to existing trees or shrubs on site other than those specifically designated for transplant or removal.
- Liquidated damages for trees damaged by construction operation shall be \$500 per caliper inch. Shrubs shall be \$100 each.
- During construction and until the end of warranty period, existing trees that are showing signs of stress as determined by the Landscape Architect are to be deep root fertilized, two injections per caliper inch per tree at 18" - 24" depth with Fecto's 20/20/20 fertilizer or Landscape Architect approved equal.
- Contractor is responsible for verifying and confirming all plant counts as supplied by the Landscape Architect with field conditions at construction. Any discrepancies shall be reported to Landscape Architect for approval and direction.
- Tree transplanting shall be performed by a suitable hydraulic tree spade, sized as necessary to perform the work.
- Prior to commencement of any construction, all existing trees to remain shall receive tree protection fence at outer edge of drip line whenever possible.

**TREE PROTECTION NOTES**

- Proposed methods, and schedule for effecting tree and plant protection shall be submitted for approval.
- Proposed methods, materials, and schedule for root pruning, construction pruning, and tree fertilization shall be submitted for approval.
- Certain specimen trees adjacent to construction areas and in other key locations will be identified by the Owner and the Architect, and marked with red tags. Loss of any of these trees will result in fines assessed at \$5,000 per tree. Damage to all other trees on the property will be assessed at the rate of \$500 per inch caliper of the tree.
- A fine of \$1,000 will be levied against the Contractor for each incident of construction inside tree protection areas.
- Damages to trees, shrubs, and other vegetation will be assessed by the Architect and Owner in accordance with the International Society of Arboriculture (ISA) Guide.
- Trees or roots visibly damaged will cause the Owner to withhold from the Contractor an assessed amount conforming to the requirements stipulated above for a period of two years. After that period the impact of the damage to any tree will be assessed accordingly.
- If any trees or shrubs designated to be saved are damaged and replacement is required, a number and diameter of trees or shrubs of the same species and variety, as specified by the Owner and Architect, shall be furnished and planted by the Contractor. The total inch diameter of the replacement trees or shrubs shall equal the diameter of the tree or shrub to be replaced. The Contractor shall not be liable for any loss or damage which occurs while the Contractor is complying with instructions given by the Owner, Architect, or arborist working on the Project.
- The Contractor's attention is called to the fact that certain areas on the site exist as natural woodland spaces and are to remain as natural woodlands. Therefore, all construction operations must be performed in such a manner, which will preserve these existing natural environments as wood presences.
- Designated areas of trees, understorey, and wildflowers are to remain untouched and unburned.
- Clearly mark all clearing lines in the field and accompany Architect on a joint review of clearing limits before clearing operations have commenced. Limit of clearing is generally defined as the limit of grading.
- Galvanized chain link fencing, 4 feet high. Spikes for fencing shall be 5 feet galvanized steel posts, driven a minimum of 3 feet into the ground. Posts shall be spaced 10 feet on center maximum.
- Prior to start of demolition work and clearing and grubbing operations, tree protection fencing shall be installed in accordance with the following:
- Fencing shall be installed a minimum of 15 feet beyond the drip line of the trees to be protected, unless otherwise approved by the Architect.
- Where construction will be in close proximity to existing trees designated to remain, roots shall be pruned. Proximity shall be as determined in the field by the Landscape Architect or Arborist.
- Suitable means for root pruning include trenching, vibratory plow, and water jet pruning. Any method which tears roots or disturbs the soil beyond the grading limit is unacceptable.
- Trees in receive root pruning shall be reviewed by an arborist for canopy pruning, fertilization and trench backfill recommendations.
- Selective clearing within tree protection areas shall only be performed when and as directed by the Landscape Architect. Refer to Section 02115, selective clearing.
- Except as otherwise indicated or requested by Landscape Architect, temporary protection devices and facilities installed during course of the work shall be removed only after all work which may injure or damage trees and plants is completed.

**morris switzer**  
environments for health

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**WAGNER HODGSON**  
LANDSCAPE ARCHITECTURE

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DATE: 8/15/14

DATE: 8/15/14

**RECEIVED**  
AUG 12 2014  
DEPARTMENT OF  
PLANNING & ZONING

|            |         |
|------------|---------|
| PERMITTING | 8.15.14 |
| REVISION   | Date    |



**UVM PARKING RECONFIGURATION**

PROJECT NO. 201254  
DATE 1 AUGUST 2014  
SCALE 1" = 30'-0"

**PLANTING PLAN**

**L2-0**

**SHADE CALCULATIONS**

**SUN ANGLE CALCULATION DATA**

|                               |                           |
|-------------------------------|---------------------------|
| LONGITUDE:                    | 72D 6' 8" WEST            |
| LATITUDE:                     | 45D 0' 4" NORTH           |
| CALCULATION DATE:             | SUMMER SOLSTICE           |
| TIME:                         | SOLAR NOON (11:45 AM EST) |
| RESULTING SUN ALTITUDE ANGLE: | 56.13°                    |

**SHADE TOTALS**

|                                      |                             |
|--------------------------------------|-----------------------------|
| TOTAL SHADE PROVIDED ON UVM PARKING: | 3980 SF (24% OF PAVED AREA) |
| TREE SIZING (COLLIMNAR TREES):       | 38' HEIGHT, 15' DIAMETER    |
| TREE SIZING (SHADE TREE):            | 40' HEIGHT, 20' DIAMETER    |



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environments for health  
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**WAGNER HODGSON**  
Landscape Architecture  
100 Main Street  
Williston, VT 05495  
802 878 9641  
www.wagnerhodgson.com

|             |             |
|-------------|-------------|
| DATE:       | 20 AUG 2014 |
| BY:         | JULIA       |
| CHECKED BY: |             |
| DATE:       |             |

**RECEIVED**  
AUG 12 2014  
DEPARTMENT OF  
PLANNING & ZONING

|             |         |
|-------------|---------|
| DATE:       | 8.15.14 |
| BY:         | JULIA   |
| CHECKED BY: |         |
| DATE:       |         |

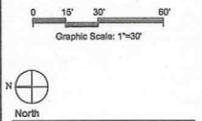
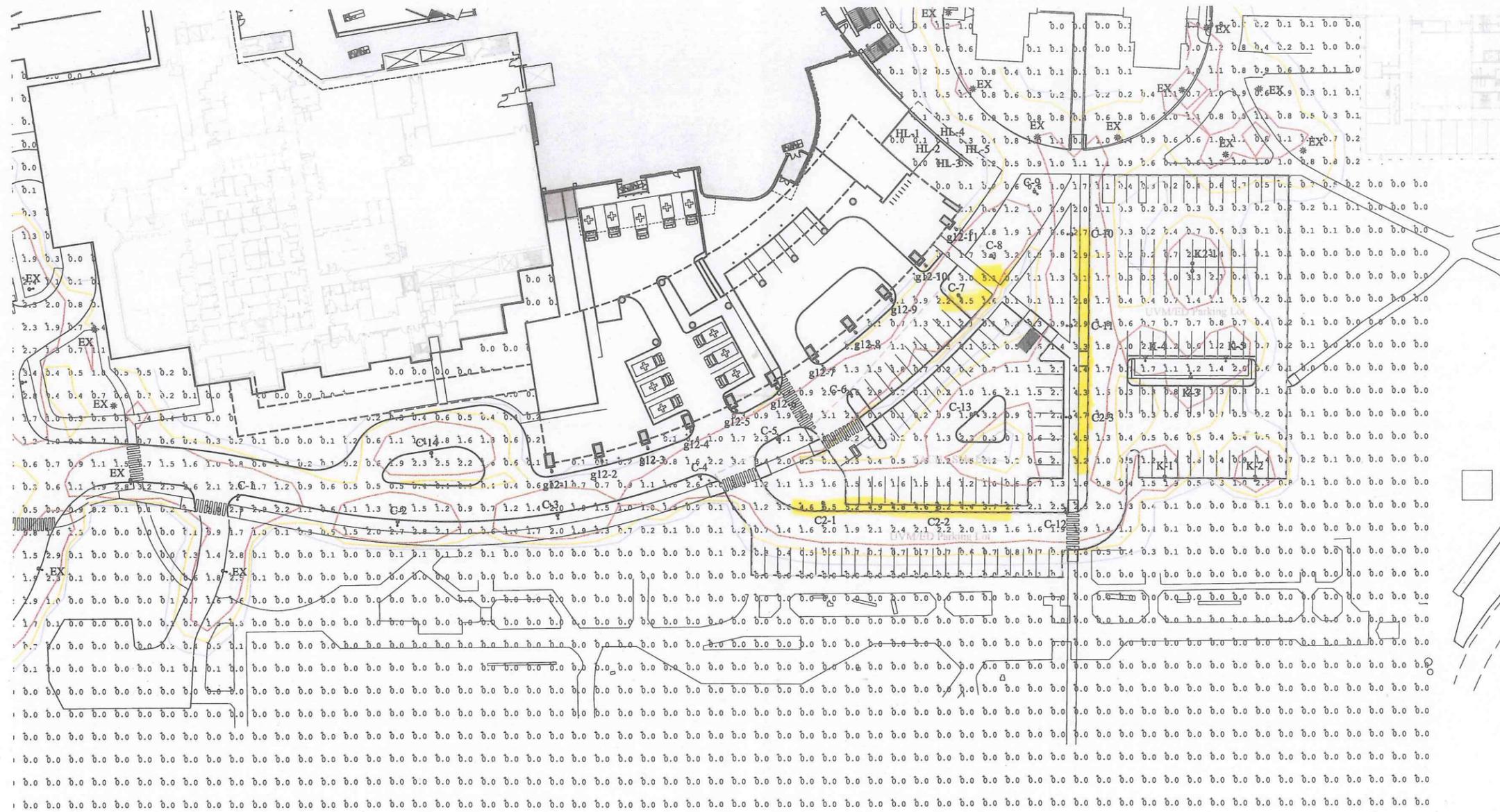


**UVM PARKING RECONFIGURATION**

PROJECT NO: 201254  
DATE: 1 AUGUST 2014  
SCALE: 1" = 30'-0"

**TREE SHADOW PLAN**

L3-0



Scale: 1" = 30'  
 Date: 06/30/14  
 Drawn By:  
 Checked By: MKW  
 Revisions:

| Rev | Description | Drawn By |
|-----|-------------|----------|
|     |             |          |
|     |             |          |
|     |             |          |

Title  
 Lighting Plan  
 Inpatient Building Project  
 Sheet Number:  
**LI-1.0**  
 Project Number:  
 File:

**GENERAL NOTES**

ALL CONTRACTORS ARE REQUIRED TO CONTACT THE UTILITY LOCATE COMPANIES, THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.

THIS DRAWING IS A PART OF A COMPLETE SET OF DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS MENTIONED HEREIN, INCLUDING A RELATED DOCUMENTS PREPARED BY THE PROJECT ENGINEERS, AND ARCHITECTS. DO NOT USE THIS SET OF DRAWINGS FOR CONSTRUCTION PRIOR TO NOTIFYING THE LANDSCAPE ARCHITECT.

LIGHTING AND IRRIGATION EXISTS THROUGHOUT THIS ENTIRE SITE. LOCATION OF LIGHTING AND SUPPLY SHOULD BE REVIEWED PRIOR TO CONSTRUCTION.

THE LOCATION OF THE UNDERGROUND UTILITIES ARE LOCATED ON ENGINEERING DRAWINGS PREPARED BY THE PROJECT ENGINEER. THE MOST CURRENT REVISION IS HEREIN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO CONSTRUCTION. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER PRIOR TO INSTALLATION. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

THE LANDSCAPE ARCHITECT AND CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE WORK PRODUCT THEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITH THE WORK PRODUCT, THE LANDSCAPE ARCHITECT SHALL BE PROMPTLY NOTIFIED SO THAT THEY MAY HAVE THE OPPORTUNITY TO TAKE ANY STEPS NECESSARY TO RESOLVE THE ISSUE. FAILURE TO PROMPTLY NOTIFY THE OWNER AND THE LANDSCAPE ARCHITECT OF SUCH CONDITIONS SHALL ABSOLVE THEM FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT OF THE OWNER AND THE LANDSCAPE ARCHITECT, OR IN CONTRADICTION TO THE OWNER AND THE LANDSCAPE ARCHITECTS WORK PRODUCT OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE OWNER AND THE LANDSCAPE ARCHITECT BUT FOR THE PARTIES RESPONSIBLE FOR THE TAKING OF SUCH ACTION.

**EXTERIOR SITE LIGHTING KEY**

| LABEL | SYMBOL | QTY. | BRAND      | DESCRIPTION  | CONFIGURATION | DISTRIBUTION       | LAMP WATTAGE                   |
|-------|--------|------|------------|--|---------------|--------------------|--------------------------------|
| C     | ●      | 14   | LUMEC      | OPTICONE w/ EcoFit Retrofit<br>20' MOUNTING HEIGHT | SINGLE        | TYPE V             | 90 WATT<br>EcoFit LED Retrofit |
| C2    | ●      | 3    | LUMEC      | OPTICONE w/ EcoFit Retrofit<br>20' MOUNTING HEIGHT | 2@180°        | TYPE V             | 90 WATT<br>EcoFit LED Retrofit |
| g12   | ⊙      | 11   | DESIGNPLAN | MOONSHINE WALL LIGHT<br>MA2                        | SINGLE        | MEDIUM<br>BEAM     | 70 WATT<br>METAL HALIDE        |
| HL    | —      | 5    | BEGA       | RECESSED WALL MOUNTED<br>LUMINAIRE 2019LED         | SINGLE        | ETCHED<br>DIFFUSER | 134 WATT<br>LED                |
| K     | ●      | 5    | RAB        | ALED26<br>20' MOUNTING HEIGHT                      | SINGLE        | TYPE 4             | 26 WATT<br>LED                 |
| K2    | ●      | 1    | RAB        | ALED26<br>20' MOUNTING HEIGHT                      | 2@180°        | TYPE 4             | 26 WATT<br>LED                 |
| EX    | ●      |      |            | EXISTING LIGHT FIXTURES<br>TO REMAIN               |               |                    |                                |

**ISO-CONTOUR KEY**

| ISO-CONTOUR | FOOTCANDLE VALUE |
|-------------|------------------|
| —           | 1.00             |
| —           | 0.50             |
| —           | 0.25             |

**STATISTICAL AREA SUMMARY**

| Grid Type: Horizontal Illuminance<br>Grid Units: Footcandles | Statistical Summary |      |      |         |         |
|--|---------------------|------|------|---------|---------|
|  | Ave                 | Max  | Min  | Ave/Min | Max/Min |
| FAHC - Side Lot  | 1.47                | 5.20 | 0.10 | 14.70   | 52.00   |
| UVM/ED Parking Lot   | 0.82                | 3.60 | 0.00 | 0.00    | 0.00    |



CAMPUS PLANNING SERVICES

<http://www.uvm.edu/~plan/>

June 30, 2014

Ken Lerner, Zoning Administrator  
Burlington Planning & Zoning Department  
149 Church Street  
Burlington, Vermont

PROJECT: Demolition of Chittenden-Buckham-Wills Residential Complex  
University of Vermont, 71,73,79 Colchester Avenue

Dear Ken,

The University is proposing to demolish Chittenden-Buckham-Wills Residential Complex (CBW) located on the east side of the University's Central Campus Quadrangle (Central Quad) that abuts the University's institutional neighbor, Fletcher Allen Health Care (FAHC) south of Colchester Avenue. The Project includes the demolition of CBW (refer to Attachment 1 – CBW Residential Complex Demolition Plan) and the conceptual redevelopment plan (refer to Attachment 2 – CBW Site Conceptual Redevelopment Plan) that illustrates the enhanced Green Mountain Walkway.

The Central Campus Quadrangle is surrounded by Fleming Museum to the north, FAHC and CBW to the east, Bailey-Howe Library to the south, and Central Heating Plant, Cook Science Building, and Kalkin Hall to the west. For purposes of this Project application, the Project Site is located within the University's Central Campus District and within the City's Institutional Zoning District inclusive of the Institutional Campus Core Overlay (ICC-UVM) and the ICC-UVM Central Campus Height Overlay.

The City's Planning & Zoning Department has advised the University that this Project will be reviewed as Conditional Use under Certificate of Appropriateness (COA) Level II. The University believes that this Project conforms to all the applicable sections of the Burlington Comprehensive Development Ordinance, including Article 3 § 3.5.6 (a) Conditional Use Review Standards, Article 4 §4.5.2 and 2(d) Institutional Core Campus Overlay Districts and UVM Central Campus (ICC-UVM), and Article 5 §5.4.8 Historic Buildings and Sites. In addition, Burlington Technical Review Committee (6/12/14) determined that this Project is exempt from major impact review because it does not expand the floor area of an existing building or the structural capacity of existing development, as per §3.5.3 (c). Refer to Attachment 3 – UVM Assessment of Project Conformance with the Burlington Development Ordinance that highlights the criteria for review and provides the University's assessments regarding conformance with the applicable review criteria.

As the City is aware, the University is expediting our Housing Master Plan recommendation to demolish CBW to construct housing consistent with first-year student housing requirements in order to meet the requisite timeline of FAHC's Inpatient Building Project (construction start 7/6/2015) to serve the wider community's public good (i.e. hospital and medical services) NOTE: The University initially planned to retain Wills Hall for a transitional period of time. However, the impact of the upcoming FAHC construction, including the need to relocate critical infrastructure servicing Wills Hall, precludes the use of this building. Therefore, all three buildings will be demolished as part of this Project.

In terms of replacement housing needs, although the University would remain in compliance with the 2009 UVM/City Memorandum of Understanding without providing temporary housing replacement, the University has worked diligently with local housing developers, to develop a Temporary Housing Replacement Plan (refer to Attachment 4) to maintain the existing student bed capacity within University affiliated housing. In addition, the University has recently (5/16/14) initiated a public Request for Proposal (RFP) process for development, property management, and private-public partnership financing services for first-year student housing and dining abutting this site on Central Campus. The University expects to receive viable proposals and make a selection by the end of September 2014.

In order to meet FAHC's timeline, UVM can only provide at this point a conceptual redevelopment plan that includes landscaping enhancements to the Green Mountain Walkway that was envisioned in the 2006 Campus Master Plan (refer to Attachment 5). The Green Mountain Walkway will create a system of pedestrian linkages through the core of the campus to Trinity Campus to the north and Redstone Campus to the south. The Conceptual Redevelopment Plan has been somewhat modified from the 2006 CMP vision due to the changing site boundaries. However, it is still envisioned to be a gently arching walkway that will align and link with the existing paths through the Campus Quad and Converse Hall's entrance walkway. There will be exterior lighting and will include an extensive program of tree planting along the walkway.

Although the University and FAHC have not completed the formal process of transferring property, the University has calculated that the land exchange represents approximately 1.02 acres. The adjusted lot coverage of the University's Institutional Core Campus Overlay, including the land transfer is 48.04%. The lot coverage after the demolition of CBW and the development of Green Mountain Walkway will be 47.56%, a reduction of .48% impervious, well within the 70-75% permitted lot coverage. The University expects that the demolition and the redevelopment of the Green Mountain Walkway will represent a negligible net change in lot coverage regardless of recalculations based on minimal boundary changes.

The project lies primarily in the North Campus Watershed and discharges to the North Campus Treatment Facility located southerly of Centennial Field. Within this Project, there will be no net increase to stormwater flow or capacity due to this Project.

Although outside of the project site limits, but included in FAHC's Inpatient Building Project application, the University's existing parking will be reconfigured with no net change to the number of parking spaces as part of the FAHC Inpatient Building Project.

As consistent with past practices, the University has met with key community stakeholders including the NPA's to outline the University's Housing Master Plan that includes the recommendation to demolition obsolete housing.

The University will not be able to start construction of the CBW Redevelopment Plan until FAHC's Inpatient Building Project is substantially complete, projected to be Fall 2018. In order to accommodate these needs, the University is requesting that the zoning permit be extended and expire in six (6) years, late Fall 2020. This extension of the permit period will allow appropriate time for installation of landscaping improvements to be completed in the growing seasons.

Please contact me if you have any further questions or need more information.

Sincerely,



Lani Ravin, AICP, UVM Associate Planner  
Campus Planning Services

cc: Linda Seavey, Director, Campus Planning Services  
Robert Vaughan, Director, Capital Planning & Management  
Ken Bean, Project Manager, Facilities Design & Construction

**ATTACHMENTS:**

Zoning Permit Application

Check #1320963 \$4,680 Application Fee and Conditional Use Fee

- Attachment 1: CBW Residential Complex Demolition Plan, dated 6/30/14
- Attachment 2: CBW Site Conceptual Redevelopment Plan, dated 6/30/14
- Attachment 3: UVM Assessment of Project Conformance with Comprehensive Development Ordinance
- Attachment 3A: Existing conditions: Orthophoto of the Central Campus Quad Area
- Attachment 3B: Existing conditions: CBW Photographs
- Attachment 4: UVM Temporary Housing Replacement Plan
- Attachment 5: 2006 Campus Master Plan – Green Mountain Walkway Excerpt (pages 138-139)
- Attachment 6: Historic Assessment Report: Chittenden-Buckham-Wills Residential Complex (CBW)
- Attachment 7: Erosion Prevention Sediment Control (EPSC) Application and Plans

**UVM Assessment of Conformance with the Applicable Burlington Comprehensive Development Ordinance:**

**I**

**Project: Demolition of Chittenden-Buckham-Wills Residential Complex (CBW) & Green Mountain Walkway Conceptual Redevelopment Plan  
71, 73, 79 Colchester Avenue, University of Vermont**

The University has extracted the applicable review criteria and provides the following information for your review:

Article 3 § 3.5.6 (a) Conditional Use Review Standards

The University believes that the CBW Demolition and the Conceptual Redevelopment Project will not result in an undue adverse effect on the following standards:

*1. The capacity of existing or planned community facilities:*

The existing capacity of the CBW 391 beds (i.e., Chittenden Hall = 130 beds, Buckham Hall = 133 beds, Wills Hall = 128 beds). The University has worked with the local development community to develop a Temporary Housing Replacement Plan (refer below and to Attachment 4) that outlines the University's plans to maintain the same number of beds through the duration of this Project.

1. **326 Quarry Hill Road, South Burlington** – UVM entered into a lease with Northeast Quarry, LOLC for the entire building commencing August 15, 2014. The property comprises 32 apartments and will accommodate **126** students. The lease is subject to annual renewal in UVM's sole discretion.
2. **Quarry Hill Road, South Burlington** – UVM is in serious negotiations to occupy an additional building that will provide housing for approximately **150** students. The lease will be for one year, subject to annual renewal in UVM's sole discretion.
3. **870 Williston Road (Sheraton), South Burlington** – UVM is in discussions with the Sheraton regarding rental of 40 guest rooms in the original wing of the Hotel. These rooms will accommodate **80** students.
4. **Reconfiguration of Existing Student Housing Capacity** – UVM's current capacity is over 6,110 beds. The University can reconfigure existing housing to accommodate the additional **35** student beds. The University does this on an annual basis to accommodate fluctuating student levels.

**Total Temporary Housing Replacement Plan                      391 beds**

*2. The character of the area*

The character of the area is a hub of student life and is an integral part of the University's academic and medical core. It is also adjacent to Fletcher Allen Health Care to the west. The area includes one of the 5 priority landscape projects identified in the 2006 Campus Master Plan (refer to Attachment 5 – 2006 CMP Green Mountain Walkway). The Green Mountain Walkway is envisioned to be a cultural hub with energized spaces and dynamic linkages. It will be a major pedestrian avenue and connective green space and will be an important landscape element to bridge the architectural transitions between UVM and FAHC.

The Central Campus Quadrangle (Central Quad) is one of the remaining large open spaces on campus that is used for informal recreation and outdoor events. Separate from this application, this area also includes some student housing and the University is in an active RFP process to develop additional student housing and dining in this area of the campus for first-year students with an occupancy goal of August 2017. The character of the area will be significantly improved by the enhancement of the Green Mountain Walkway.

*3. Traffic impacts*

Traffic will not increase as a result of this Project as it consists of demolition of existing buildings and enhancement of the Green Mountain Walkway, primarily a pedestrian avenue with limited vehicular access for shuttles and emergency access. The University will expand our Campus Area Transportation System (CATS) with shuttle services for the students housed in South Burlington.

*4. Other standards as per existing City bylaws and city and state ordinances*

UVM entered into a Memorandum of Agreement on Housing with the City of Burlington in 2009. Among other items, the MOA states, "After Fall 2009 and continuing throughout the duration of this agreement, UVM agrees to provide, by its own means or by working with a third party developer, student housing within the institutional districts defined in the City Comprehensive Development Ordinance in effect on March 9, 2009, or outside the boundaries of the City of Burlington on a 1:1 basis relative to increased enrollment of undergraduate students beyond the number enrolled in Fall 2009."

UVM is in full compliance with this item and would remain so even if temporary beds were not leased:

|            | Enrollment | Housing Capacity |
|------------|------------|------------------|
| Fall 2009  | 10,156     | 5,707            |
| Fall 2013  | 9,764      | 6,110            |
| DIFFERENCE | (392)      | 403              |

With a decrease of 392 students and an increase of 403 beds, UVM would remain in full compliance with the MOA on housing without acquiring temporary housing for the loss of 391 beds between Fall 2015 and Fall 2017. However, it is our plan to keep our housing capacity at the current level of 6,110 beds and in order to achieve this, UVM will provide 391 beds of temporary housing during this interim period, as noted above.

*5. Utilization of renewable energy resources*

The University will recycle as much building material as possible. The conceptual redevelopment plan will include energy efficient exterior lighting as per the University Exterior Lighting standards.

*6. Cumulative impact*

The impact of this demolition is the loss of the CBW Residential Complex. This impact will be mitigated by appropriate documentation as listed in §5.4.8 below. The enhancements of the Green Mountain Walkway will improve circulation and pedestrian amenities in this part of our campus. By the University expediting its plans to demolish CBW, the public good will be served by allowing FAHC's Inpatient Building Project to be in aligned with the industry standards and the needs of their patients.

7. *Increased number of unrelated individuals in a dwelling unit in residential areas*  
Not applicable.

8. *Control the location and number of vehicular access points to the property:*  
Given the challenges of the multiple overlapping projects in this area, the vehicular access points may be more controlled during construction. However, there will be no changes to the location and number of vehicular access points to the property at the completion of this Project (i.e. CBW Demolition or the Green Mountain Walkway Redevelopment Plan).

9. *Limit on number, location and size of signs:*  
The University will erect permanent signs as per the DRB-approved UVM Wayfinding & Signage Master Plan. Temporary construction signs will guide all users during construction.

10. *Mitigation, including landscaping, where necessary to reduce noise and glare and to maintain the property in a character in keeping with the surrounding area:*  
The mitigation for the demolition will be the Green Mountain Walkway Conceptual Redevelopment Plan (refer to Attachment 2 – Conceptual Redevelopment Plan). As described above, the Green Mountain Walkway is envisioned to be a cultural hub with energized spaces and dynamic linkages. It is envisioned to be a major pedestrian avenue and provide connective green space and an important landscape element to bridge the architectural transitions between UVM and FAHC. The Green Mountain Walkway will significantly improve the pedestrian experience and provide associated pedestrian amenities, including potential series of informal indoor/outdoor spaces, pocket and winter gardens.

11. *Time limits of construction:*  
The University will need to start demolition of CBW after the end of the 2014-2015 academic year (May 2015) and complete demolition in time for FAHC to break ground on their new facility. The Green Mountain Walkway Redevelopment Plan will not be able to begin until FAHC's Inpatient Building Project is substantially complete. That work is phased to take place over the next 4 years, completed in August 2018. The FAHC phased construction is due to the need to maintain full emergency hospital access over the full period of construction. FAHC has indicated that they will need some time to completely vacate FAHC's staging area on University property. With that constraint, the University believes it will need to delay the installation of much of the landscaping improvements to the following spring growing season (2019).

Therefore, the University is requesting that this permit be extended and expire after six (6) years, in late Fall 2020.

12. *Limits on hours of (de)construction to reduce impact on surrounding properties:*  
The nearest neighbor is FAHC which is interested in having demolition occur as soon as possible. The site is surrounded by UVM and FAHC buildings and property so impact to neighbors may be lessened. Students will not be living in Converse during the summer, when deconstruction is scheduled.

13. *Future enlargement to return for review by DRB*  
Agreed.

14. *Performance Standards*

The University will comply with its own construction standards and LEED policies.

15. *Additional reasonable conditions and safeguards*  
None at this time.

Article 4 §4.5.2 Institutional Core Campus Overlay Districts  
§4.5.2(d) UVM Central Campus (ICC UVM)

2. *Lot Coverage:*

Existing lot coverage within ICC-UVM (adjusted by FAHC land transfer): 48.04%  
Proposed lot coverage within ICC-UVM (adjusted by FAHC land transfer): 47.59%  
Maximum lot coverage is 70-75% so this project is well within permitted lot coverage.

4. *Surface Parking:*

No new surface outdoor parking spaces are proposed in this application. Some existing parking spaces will be moved to a new configuration in order to accommodate FAHC inpatient Building Project.

Article 5 § 5.4.8 Historic Buildings and Sites

*(a) Applicability:*

*In order to be subject to the provisions of this section, **all** of the following conditions must be present:*

1. *The buildings are 50 years old or older:*

CBW was built in 1947 so they are older than 50 years.

2. *Significance regarding:*

a. *historic events,*

There are no significant historic events associated with these buildings.

b. *associations with the lives of significant persons of the past,*

There is no direct association with the lives of significant persons of the past. There are many people, famous and not, of whom it can be said "they slept here" since these are college residence halls, but that is a very minor distinction.

c. *Distinctive construction, work of a master, high artistic value, or represents a significant entity as a whole;*

These buildings are not highly significant examples of architecture on the UVM campus (refer to Attachment 6: UVM CBW Historic Buildings Evaluation Preliminary Review Report for further details). The architectural firm that designed these building, McKim Mead and White, has done much higher quality work elsewhere. The precast panel construction was also done elsewhere, it is not unique.

d. *Maintenance of an exceptionally high degree of integrity, original site orientation and virtually all character defining elements intact*

The buildings have not retained their integrity or character defining elements. Significant façade changes took place over the years.

- e. *Yields or may yield prehistoric information, and*  
No prehistoric information is associated with these buildings.

3. *Building or site possesses a high degree of integrity of location, design, setting, materials, workmanship, feeling and association.*

The buildings and site do not possess a "high degree of integrity of location setting, materials, workmanship, feeling or association". CBW Complex were built quickly for returning students after WWII as economically as possible. They were not designed to be architectural icons. The area around the buildings is changing and evolving according to the needs of the University and Fletcher Allen Health Care.

**Conclusion:**

In this case very few of the necessary conditions for applicability are present. The buildings do not meet the criteria for historic status as per the Burlington CDO. These three buildings may be eligible for listing on the State Register; they are less likely to be found eligible for listing on the National Register of Historic Places.

The University does not think that the Project is subject to §5.4.8, the following information may be helpful regarding the standards for review of demolition:

- The structures are currently sound and well maintained although outdated and not up to current standards and best practices. The buildings function as current student residences.
- The new Fletcher Allen Inpatient Building Project, in its current and final configuration, is located too close to the building footprint of the CBW buildings. Therefore it is not possible to rehabilitate or reuse the current structures. These structures cannot be practicably moved.
- The proposed redevelopment of the new Fletcher Allen Inpatient Building Project will provide a substantial community-wide benefit that far outweighs the historic or architectural significance of the buildings proposed for demolition. The new Inpatient Building will provide single-bed rooms, which is the current hospital standard.
- This demolition and conceptual redevelopment proposal mitigates to the greatest extent practical any impact to the historical importance of Converse Hall, a much more important historical resource than CBW. The FAHC Inpatient Building design was moved further from Converse Hall which is why it now is located close to the building footprint of CBW.
- The University will properly document, using the applicable standards of the Historic American Building Survey (HABS) all of the design, features, construction techniques and examples of materials at the CBW buildings. The University will store this documentation at the Bailey Howe Library, Special Collections, so that it can be available to historians, architectural historians and others interested in Burlington's architectural history.
- After demolition of CBW, FAHC will redevelop the site for their Inpatient Building.

- This plan will be compatible with the historical integrity and will enhance the architectural character of the immediate area by avoiding direct impacts to Converse Hall.
- FAHC plans to start construction as soon as all permits are obtained and CBW is demolished.
- The time between demolition and commencement of new FAHC construction is planned to be less than six months, however it is contingent on obtaining all necessary permit approvals. The University will be able to commence construction of the redevelopment plan only after all phases of the FAHC construction is substantially complete, in spring of 2019.
- The University will recycle as much material as possible, as part of its commitment to sustainable building practices and policy that all buildings achieve at least LEED Silver certification. Unfortunately the building materials cannot be sold, reclaimed or salvaged as CBW was built with precast concrete panels.

*§5.5.3 Stormwater & Erosion Control*

Please find attached an Erosion Prevention Sediment Control Plan for this Project (refer to Attachment 7 – EPSC Plan, dated 6/30/2014). The University will comply with the standards in Article 3, Stormwater & Erosion Control of Chapter 26 of the City Code of Ordinances: Wastewater, Stormwater and Pollution Control.

**Summary:**

The University believes that this Project conforms to all the applicable sections of the Burlington Comprehensive Development Ordinance. Per the City's Development Review Committee, this project is exempt from major impact review because it does not expand the floor area of an existing building or the structural capacity of existing development, as per §3.5.3 (c).

**ATTACHMENTS:**

Attachment 3A: Existing conditions: Orthophoto of the Central Campus Quad Area  
Attachment 3B: Existing conditions: CBW Photographs



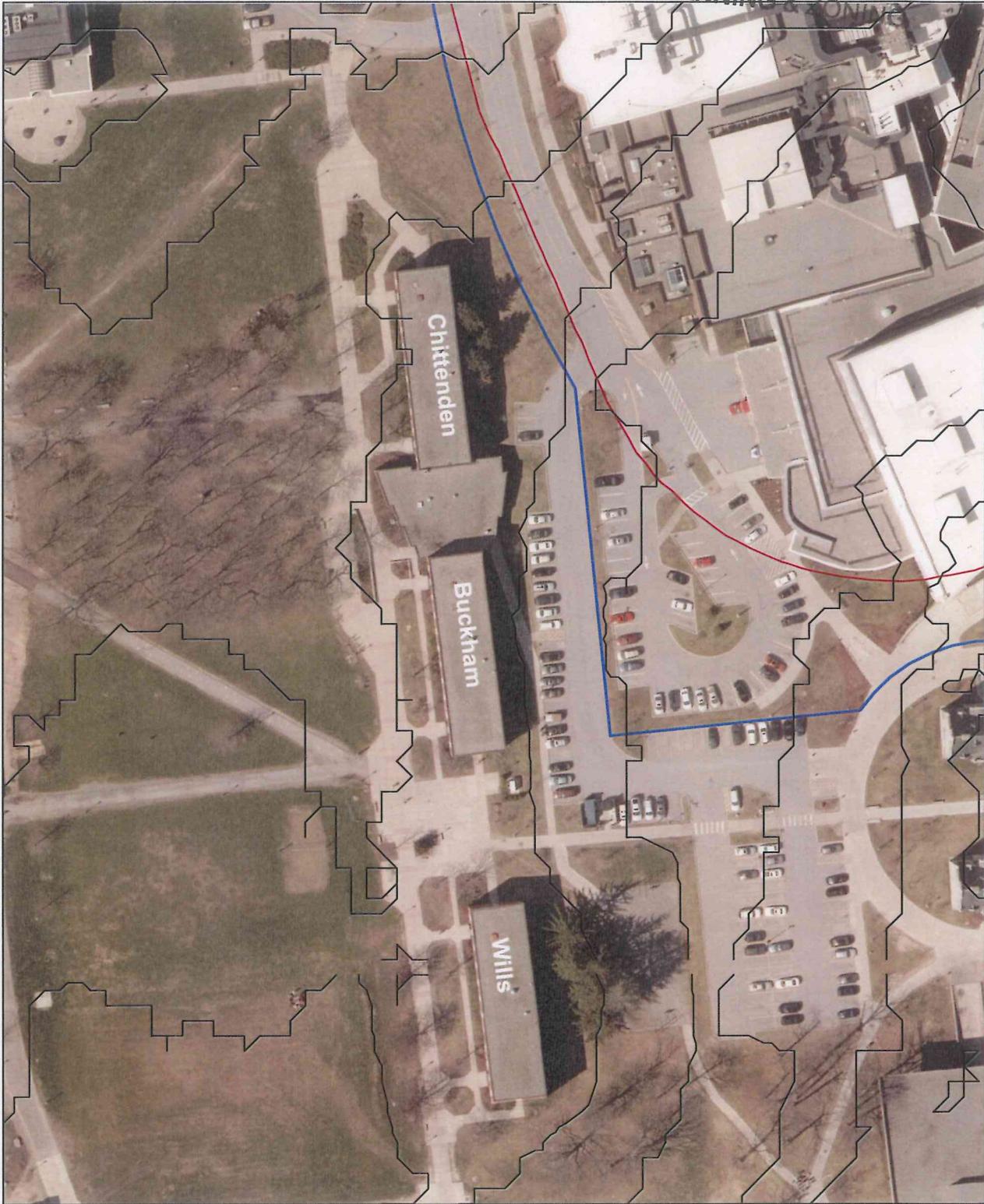
Site Location Map  
Chittenden, Buckham & Wills Halls  
University of Vermont

RECEIVED

JUN 30 2014

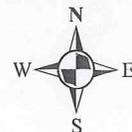
Orthophoto: Spring 2011

DEPARTMENT OF  
PLANNING & ZONING



Prepared by Campus Planning Services  
Date: 6/30/2014

0 45 90 180 Feet



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Chittenden, Buckham & Wills (CBW) Residential Complex Demolition  
71,73 & 79 Colchester Avenue, University of Vermont  
Existing Conditions Photographs



Wills, Buckham and Chittenden, South & West Façades, looking North

**RECEIVED**  
JUN 30 2014

DEPARTMENT OF  
PLANNING & ZONING



Chittenden, West Façade

RECEIVED

JUN 3 2010

DEPARTMENT OF  
PLANNING & ZONING



Chittenden, South Entry on West Façade



Chittenden, North Façade



Chittenden, East Façade



Connector Building, East Façade (also looking at Chittenden, South & East Façades)



Connector Building, West Façade



Buckham, South Façade



Buckham, East Façade



Buckham, West Façade



Wills, South Façade



Wills, West Façade



Wills, West Façade, North Entrance



Wills, North Façade



Wills, East Façade

**The University of Vermont  
Temporary Housing Replacement Plan  
As of June 30, 2014**

The University is expediting the demolition of Chittenden-Buckham-Wills Residential Complex (CBW) to allow construction of Fletcher Allen Health Care (FAHC)'s new Inpatient Building Project.

Although UVM would remain in full compliance\* with the 2009 UVM/City Memorandum of Understanding regarding housing, the University plans to keep our housing capacity at the current level of 6,110 beds. In order to achieve this, the University has developed a Temporary Housing Replacement Plan to replace CBW bed capacity. The existing capacity of the CBW is 391 beds (i.e., Chittenden Hall = 130 beds, Buckham Hall = 133 beds, Wills Hall = 128 beds). The following outlines the University's plans to maintain the same number of beds during this interim period as follows:

1. **326 Quarry Hill Road, South Burlington** – UVM entered into a lease with Northeast Quarry, LOLC for the entire building commencing August 15, 2014. The property comprises 32 apartments and will accommodate **126** students. The lease is subject to annual renewal in UVM's sole discretion.
2. **Quarry Hill Road, South Burlington** – UVM is in serious negotiations to occupy an additional building that will provide housing for approximately **150** students. The lease will be for one year, subject to annual renewal in UVM's sole discretion.
3. **870 Williston Road (Sheraton), South Burlington** – UVM is in discussions with the Sheraton regarding rental of 40 guest rooms in the original wing of the Hotel. These rooms will accommodate **80** students.
4. **Reconfiguration of Existing Student Housing Capacity** – UVM's current capacity is over 6,110 beds. The University can reconfigure existing housing to accommodate the additional **35** student beds. The University does this on an annual basis to accommodate fluctuating student levels.

**Total Temporary Housing Replacement Plan = 391 beds**

\*UVM is in full compliance with the 2009 UVM/City MOU on Housing and would remain so even if temporary beds were not leased:

|            | Enrollment | Housing Capacity |
|------------|------------|------------------|
| Fall 2009  | 10,156     | 5,707            |
| Fall 2013  | 9,764      | 6,110            |
| DIFFERENCE | (392)      | 403              |

ATTACHMENT 4 - Temporary Housing Replacement Plan

**RECEIVED**  
JUN 30 2014

DEPARTMENT OF  
PLANNING & ZONING

## GREEN MOUNTAIN WALKWAY

The Green Mountain Walkway is a pedestrian avenue and connective green space that creates a system of linkages through the core of the campus to Trinity District to the north and Redstone Campus to the south. Where University Place represents the historic heart of the campus, Green Mountain Walkway has a more contemporary context, which is reflected in the arcing form of the walkways, its new open spaces, lighting and site furnishings.

The Green Mountain Walkway begins at the north edge of the Main Street North District on Colchester Avenue, where the existing access road to Fletcher Allen Health Care has been realigned to allow the walkway to follow a more direct route. The Green Mountain Walkway moves through the C-B-W Quadrangle with a sequence of gently-arcing walkways that strike a counterbalance with the existing architecture grid of the quad. A secondary system of pathway traces the perimeter of the C-B-W quad, and cuts through it laterally and diagonally. At the Bailey/Howe Library, the Green Mountain Walkway forks, with one branch arcing through the Bailey/Howe Quadrangle, and another towards the foot of the hill at the Aiken Center, where it meets up with a pathway that moves diagonally through the Dudley H. Davis Center Oval, to connect with the Redstone Walkway to the south and the University Gateway Arboretum to the east.

The crescent formed between the arcing and the straight sections of the Green Mountain Walkway in the C-B-W Quad becomes a lawn of gently tilted planes suitable for informal games and lying out in the sun. The east face of the landforms is steeper, and acts as a seating edge looking out onto the walkway.

The convergence of the Green Mountain Walkway and the pathway leading to Converse Hall is marked with a plaza that is envisioned as a center of social and residential life in the C-B-W Quad.

The arcing paths of the Green Mountain Walkway are lined on either side by a row of deciduous trees. The open spaces on either side of the walkway are planted with more formal groupings of trees, and open glades.

The Green Mountain Walkway is tied together by a consistent and distinct language of materials and site furnishings.

Green Mountain Walkway is also being considered as a possible future location for some of the food vendors currently located on University Place due to the future transformation into a high pedestrian activity zone. This location, convenient to both the core campus and Trinity District along with electrical water hook-ups, would be an excellent place for outdoor eating and informal gathering.

The illustrative plan and perspective represent preliminary concepts only.

**RECEIVED**  
JUN 30 2014  
DEPARTMENT OF  
PLANNING & ZONING

# GREEN MOUNTAIN WALKWAY



CITY OF BURLINGTON AND UNIVERSITY OF VERMONT  
MEMORANDUM OF AGREEMENT  
RE: 2009 ZONING AMENDMENTS

THIS MEMORANDUM OF AGREEMENT ("Agreement") is executed by and between Daniel M. Fogel, as President and on behalf of the University of Vermont and State Agricultural College ("UVM") and Bob Kiss, as Mayor and on behalf of the City of Burlington, Vermont ("the City") (collectively, "the parties").

WHEREAS, UVM has proposed several amendments to the City's zoning ordinance that will enhance development capacity on the UVM Campus; and

WHEREAS, during the process of considering zoning changes related to development on the UVM Campus consistent with the UVM Master Plan, concerns arose about the impact of student housing on residential neighborhoods throughout the City; and

WHEREAS, it is in the best interest of both the City and UVM that an agreement be reached to address those concerns;

NOW THEREFORE, IT IS AGREED by and between the City and UVM as follows:

1. UVM will diligently pursue permits and construction to allow utilization of McAuley Hall for 163 student beds, with a goal of having those beds available Fall 2009.
2. UVM will diligently pursue permits and construction to develop, likely through a third party developer, 400 new beds in an apartment style project on the Redstone campus, in some other location within the institutional districts defined in the Burlington zoning ordinance in effect on March 9, 2009, or outside the boundaries of the City of Burlington, with a goal of having those beds available Fall 2011.

3. After Fall 2009 and continuing throughout the duration of this agreement, UVM agrees to provide, by its own means or by working with a third party developer, student housing within the institutional districts defined in the City zoning ordinance in effect on March 9, 2009, or outside the boundaries of the City of Burlington on a 1:1 basis relative to increased enrollment of undergraduate students beyond the number enrolled in Fall 2009.

a. For the purposes of this agreement undergraduate students are defined as those who are enrolled in an undergraduate degree program for at least 9 credit hours per semester and have not yet earned a baccalaureate degree.

b. The City agrees that the 1:1 requirement would be applicable over a two year time frame. For example, in the Fall of 2011 UVM would certify that the total increased enrollment of undergraduate students between Fall 2009 and Fall 2011 has been matched by the same number of new student beds as described above.

4. UVM agrees to identify the number and where UVM students live off-campus based on information reasonably available to UVM, to enable the City and UVM to work together to address impacts on neighborhoods.

5. City and UVM agree to work together to identify and support potential sites for student housing, including future student housing development on campus within the enhanced capacity for development provided by the amendments to the zoning ordinance.

UVM will also explore the creation of incentives for some students to live at home or outside of Burlington in order to mitigate the need to build additional student housing.

6. City and UVM specifically agree to make good faith efforts to work together to address impediments to developing new student housing, classroom and office space, and

other University facilities on the Redstone Campus and the Trinity Campus in a cost effective, economically viable manner.

7. The City and UVM will continue to make good faith efforts to work together to reduce the current impact of UVM students on neighborhoods.

8. Beginning in 2010, UVM shall provide an annual progress report to the City by June 30 of each year based on its commitments contained in this Agreement.

9. The commitments of the City and UVM specified in this Agreement shall only be effective if the City does not include the On-Campus Student Housing Requirements proposal recommended by the Planning Commission in the currently pending amendment of its zoning ordinance.

10. This Agreement shall become null and void if during the duration of this Agreement the City enacts any ordinance amendment or other mandate that requires UVM to create additional student housing.

11. The duration of this Agreement shall extend until June 30, 2015 and may be extended by joint agreement of the parties for an additional five years.

12. The following agreements entered into between the parties shall remain in full force and effect:

a. Agreement entered into on November 6, 2000, relating to various matters.

b. Agreement for Payment in Lieu of Taxes entered into on March 16, 1989, as amended on May 31, 2001.

c. Letter of Agreement entered into on September 26, 2007, relating to payment for services.

13. This Agreement shall be effective as of the date of its execution by the second party.

14. A copy of notices given under this Agreement shall be delivered as follows:

To the City: City of Burlington  
City Attorney  
City Hall, 149 Church St., Suite 11  
Burlington, Vt. 05401

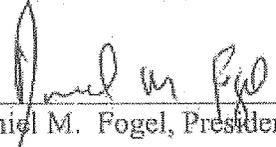
To UVM: University of Vermont  
General Counsel  
Office of the General Counsel  
357 Waterman Bldg.  
Burlington, Vt. 05405

15. No modification to this Agreement shall be effective unless memorialized in writing and signed and dated by duly authorized agents of each party.

16. This Agreement shall be interpreted in accordance with the laws of the State.

AGREED:

FOR THE UNIVERSITY OF VERMONT AND  
STATE AGRICULTURAL COLLEGE:

  
\_\_\_\_\_  
Daniel M. Fogel, President

Date: 4/23/09

~~FOR THE CITY OF BURLINGTON:~~

  
\_\_\_\_\_  
Bob Kiss, Mayor

Date: 9/15/09

lb/kas/c: Resolutions 2009/UVM - MOA re 2009 Zoning Amendment #ZA 09-13

MARTHA R. LANG, PH.D.  
138 COLCHESTER AVENUE  
BURLINGTON, VERMONT 05401  
802-862-1094

Rec e 7/22/14  
DAB mtg.

July 22, 2014

Design Advisory Board  
City Hall  
149 Church Street  
Burlington, VT 05401

Re: 111 Colchester Avenue and 10 University Place

To Whom It May Concern:

I live across the street from FAHC/UVM on Colchester Avenue and own six houses in the immediate area. The following four issues: storm water, the property line adjustment, the historic buildings, and student housing are of concern to me.

1. Storm Water

In the last year I have spent over \$20,000 to repair the damage to my buildings from the storm water run-off in the area. It seems every time FAHC builds on the hill the damage to the foundations and basements of my houses gets worse. If FAHC has not, and is not causing the storm water damage, then what is causing it should be identified and fixed as soon as possible.

2. Property Line Adjustment

How much of the proposed addition to FAHC extends onto UVM property? Could the alternative plan, that does not require a property line adjustment, be reconsidered? If not, why not?

3. Historical Buildings

At the June, Ward 1 NPA FAHC did not mention the historical dorms being demolished. At the DRB sketch plan review only two dorms were identified for demolition. Why are three dorms now being considered for demolition? These buildings are historic, and more importantly they are examples of the first prefab buildings in America.

4. Student Housing.

If the dorms are demolished shouldn't there be a MOU between the City of Burlington and UVM on the school's commitment to provide interim replacement housing for its students. There is a

shortage of housing in Burlington and adding hundreds of student to this situation will only decrease the quality of life for the residents of Burlington.

Thank you.

Sincerely,

A handwritten signature in cursive script that reads "Martha R. Lang". The signature is written in black ink and is positioned above the printed name.

Martha R. Lang, Ph.D.

**PLANT SCHEDULE**

| KEY | QTY. | SCIENTIFIC NAME | COMMON NAME | SIZE | SPACING |
|-----|------|-----------------|-------------|------|---------|
|-----|------|-----------------|-------------|------|---------|

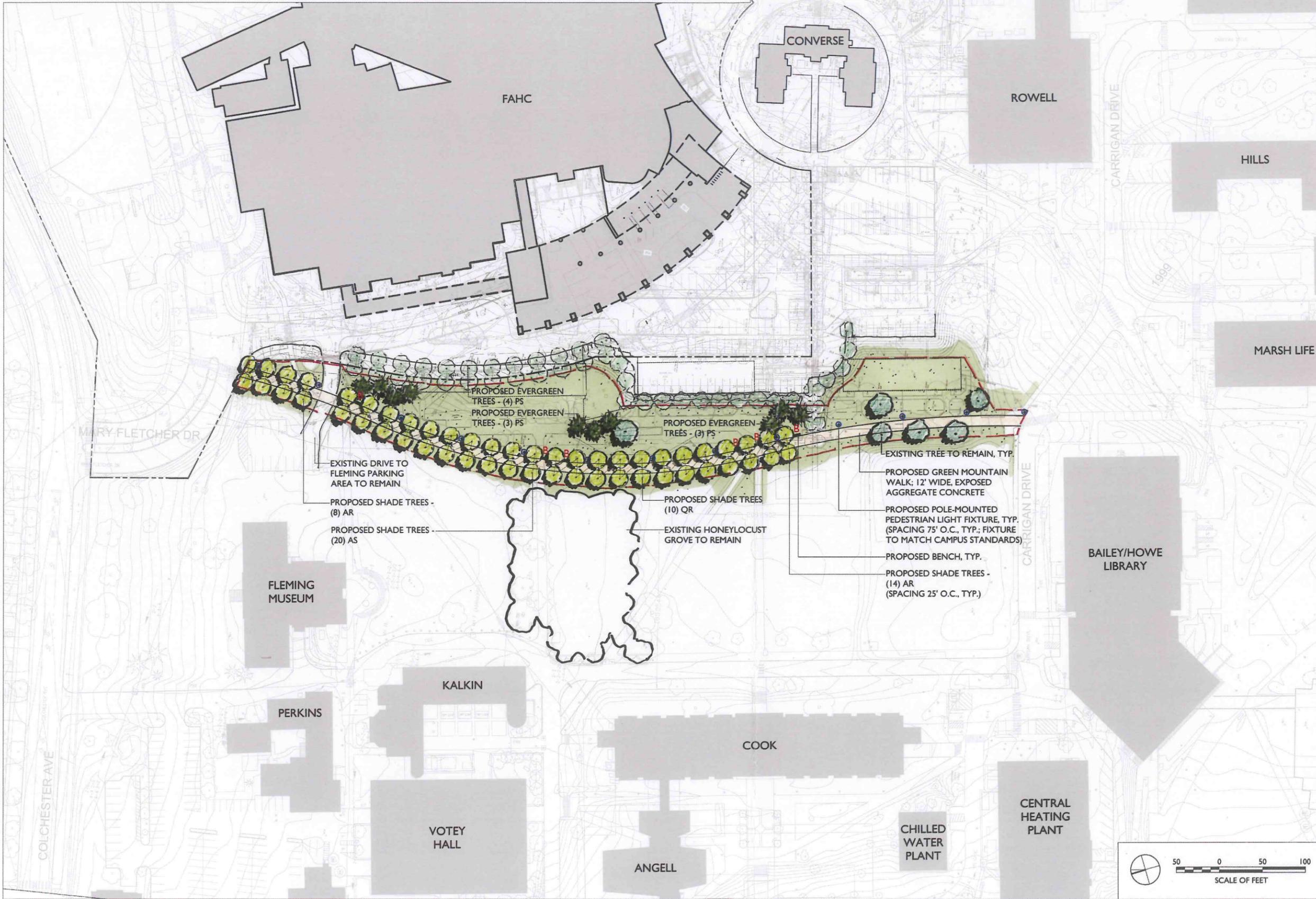
**DECIDUOUS AND EVERGREEN TREES**

|    |    |                |             |             |          |
|----|----|----------------|-------------|-------------|----------|
| AR | 22 | Acer rubrum    | RED MAPLE   | 4" CAL.     | AS SHOWN |
| AS | 20 | Acer saccharum | SUGAR MAPLE | 4" CAL.     | AS SHOWN |
| PS | 10 | Pinus strobus  | WHITE PINE  | 10-12' HGT. | AS SHOWN |
| QR | 10 | Quercus rubra  | RED OAK     | 4" CAL.     | AS SHOWN |

**LIGHTING AND SITE FURNISHINGS SPECS**

| QTY | PRODUCT NAME | SPEC |
|-----|--------------|------|
|-----|--------------|------|

|         |    |                               |   |
|---------|----|-------------------------------|---|
| O POLE  | 13 | LUMEC AM6U-10' HEIGHT         | 1"-GFI-VPA-GN8TX-LMS12808C  |
| FIXTURE | 13 | LUMEC L70-100MH-PC-FC-SE3-QTA | 208-SFO-GN8TX-LMS120301   |
| BULB    | 13 | CLEARLIGHT LED RETROFIT       | SEE UVM STANDARDS   |
| B BENCH | 6  | LANDSCAPE FORMS BANCAL BENCH  | Bancal Bench-88" length bench seat; Backed, 88" offset backrest; No arms. Material: Ipe wood, Powdercoated steel structure for seat and backrest. |



**UVM  
CBW SITE  
CONCEPTUAL  
REDEVELOPMENT  
PLAN  
CONCEPTUAL  
GREEN  
MOUNTAIN  
WALKWAY**

REVISIONS

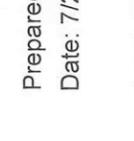
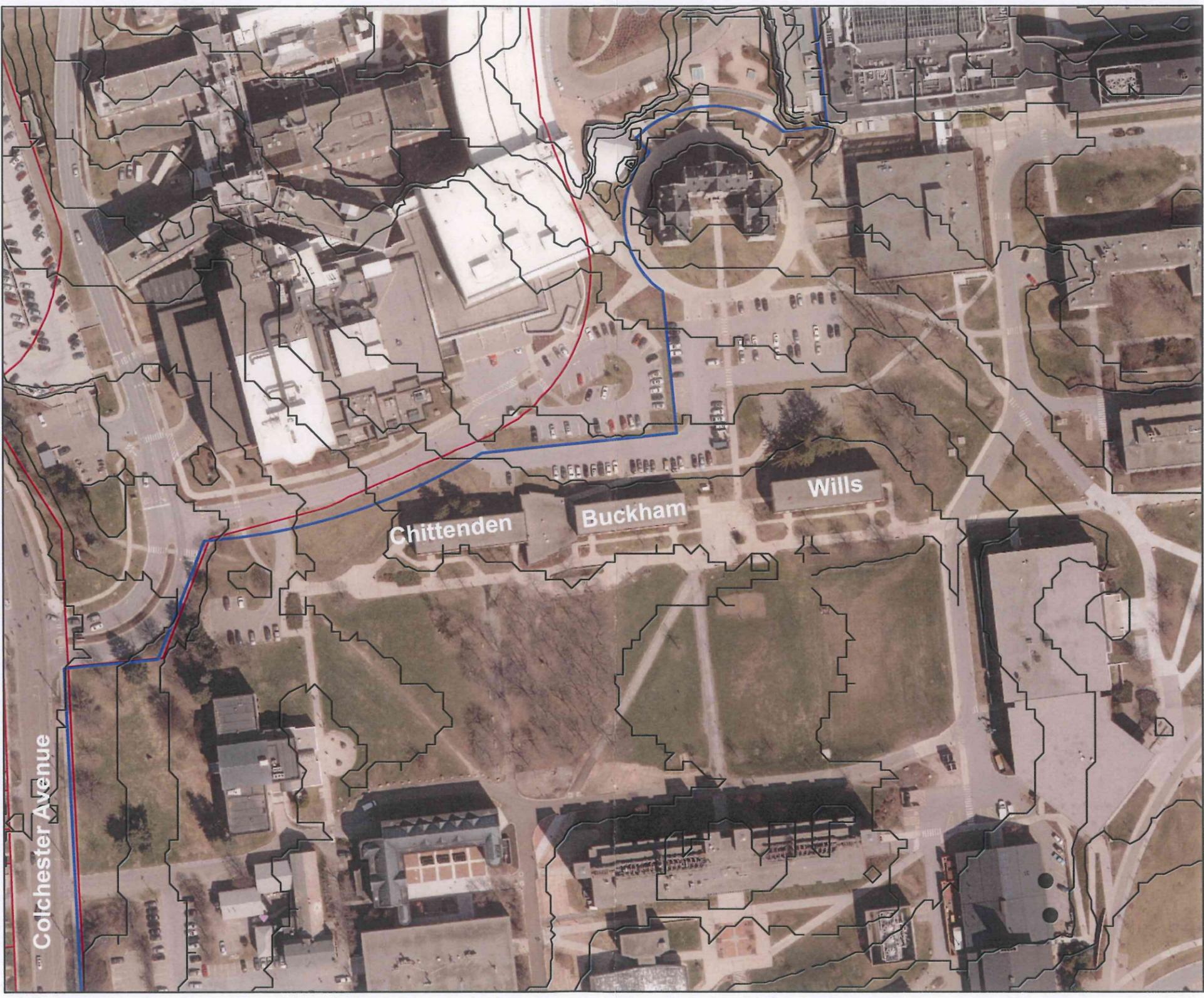
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Revised 7/22/14 DAG MTJ



Site Location Map  
Chittenden, Buckham & Wills Halls  
University of Vermont

Orthophoto: Spring 2011



Prepared by Campus Planning Services  
Date: 7/22/2014

Path: S:\cps\PLANNING\PROJECTS\PLANNING WORK\Lani master.mxd