

**Department of Planning and Zoning**

149 Church Street  
Burlington, VT 05401  
Telephone: (802) 865-7188  
(802) 865-7195 (FAX)  
(802) 865-7142 (TTY)

*David White, AICP, Director*  
*Ken Lerner, Assistant Director*  
*Sandrine Thibault, AICP, Comprehensive Planner*  
*Jay Appleton, GIS Manager*  
*Scott Gustin, AICP, Senior Planner*  
*Mary O'Neil, AICP, Senior Planner*  
*Nic Anderson, Zoning Clerk*  
*Elsie Tillotson, Department Secretary*



**TO:** Development Review Board  
**FROM:** Scott Gustin *SG*  
**DATE:** April 15, 2014  
**RE:** 14-0799CA; 203 South Willard Street

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**Note: These are staff comments only; decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.**

Zone: I      Ward: 6

Owner/Applicant: Champlain College, Inc.

**Request:** Amendment to zoning permit #14-0383CA/CU to include reuse of existing rear addition on West side of structure, changes to west elevation, and removal of two rear chimneys.

**Applicable Regulations:**

Article 3 (Applications and Reviews), Article 4 (Maps & Districts), Article 5 (Citywide General Regulations), and Article 6 (Development Criteria & Guidelines)

**Background Information:**

The applicant is seeking to amend an existing approval to remove the rear addition from Whiting Hall and to construct a new larger addition. The amendment simply seeks to retain the existing rear addition and to add onto that essentially as previously approved (siding materials will change). This requested change is inconsequential and acceptable as it affects a rear addition constructed in the 1970s.

The proposed amendment also seeks to remove two of three brick chimneys from the original portions of Whiting Hall. This request is problematic as it seeks to remove character-defining elements from this National Historic Register structure. Further, as confirmed by a visit to the site on April 9, 2014, the chimneys have been removed without a zoning permit.

Previous zoning actions for this property are noted below.

- 11/12/13, Approval to remove rear addition and construct new larger rear addition
- 1/13/77, Approval for addition to existing building
- 1/5/77, Approval to erect a rear addition and remove rear porches
- 5/21/76, Approval to repair porch

**Recommendation:** Certificate of Appropriateness approval of the rear addition work as per, and subject to, the following findings and conditions.

**Article 4: Maps & Districts**

*Sec. 4.4.4, Institutional District:*

*(a) Purpose*

The Institutional District is intended to provide for increased development scale and intensity than would be found in adjacent residential areas and to provide for a variety of uses associated with higher education, health care, and cultural and research centers. The proposed construction is associated with the college, and the use will remain unchanged. **(Affirmative finding)**

*(b) Dimensional Standards & Density*

See Sec. 4.5.2 for density, lot coverage, and building setbacks. Building height will remain unchanged, as the addition does not exceed the height of the existing building. **(Affirmative finding)**

*(c) Permitted & Conditional Uses*

The requested amendment does not seek to change or enlarge (beyond the previous approval) an existing use. **(Affirmative finding)**

*Sec. 4.5.2, Institutional Core Campus Overlay Districts*

*(g) District Specific Regulations: Champlain College (ICC-CC)*

*1. Lot Coverage*

Within this overlay district, a maximum aggregate lot coverage of 60% is allowed. There is nothing in the amendment proposal that indicates a change in lot coverage from the prior approval. Confirmation is needed. **(Affirmative finding as conditioned)**

*2. Setbacks*

Within this overlay, a 20' peripheral setback applies to all contiguous Champlain College properties, except where a 30' setback applies along the western boundary with the Edmund's School property. As proposed, the Whiting Hall construction complies with these setbacks. **(Affirmative finding)**

*3. Surface Parking*

No new surface parking is proposed. **(Affirmative finding)**

*4. Density*

Within the residential core campus overlay, a FAR of 1.0 applies concurrently with a limit of 530 beds. The Residential Tri project resulted in an FAR of 0.78 and 469 beds. This project results in a slight increase in FAR, but appears to be less than previously approved. Confirmation is needed. The amendment makes no mention of affecting the previously approved bed count. As previously approved, total bed numbers decrease by 3 to 466. Confirmation is needed. **(Affirmative finding as conditioned)**

**Article 5: Citywide General Regulations**

*Sec. 5.2.3, Lot Coverage Requirements*

See Sec. 4.5.2 (g) above.

*Sec. 5.2.4, Buildable Area Calculation*

Not applicable in the 'I' zone.

*Sec. 5.2.5, Setbacks*

See Sec. 4.5.2 (g) above.

**Sec. 5.2.6, Building Height Limits**

See Sec. 4.5.2 (g) above.

**Sec. 5.2.7, Density and Intensity of Development Calculations**

See Sec. 4.5.2 (g) above.

**Sec. 5.4.8, Historic Buildings and Sites**

*(b) Standards and Guidelines*

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

No change in the use of Whiting Hall is included in this proposal. **(Affirmative finding)**

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

Whiting Hall is an impressive Italianate brick structure with elaborate wood detailing and redstone foundation. It has three rooftop brick chimneys. Much of the building's original integrity has been retained. The original slate roofing, however, has long ago been replaced by asphalt shingles. The removal of two of the three brick chimneys constitutes a further erosion of the historic integrity of this building. The removal is inconsistent with the intent of this criterion to avoid the removal or alteration of features that characterize a property. The chimneys must be replaced. **(Adverse finding)**

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

No conjectural alterations are proposed. There is no attempt to fabricate faux historic elements. **(Affirmative finding)**

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

The zoning permit records indicate that the rear addition to be retained and altered dates to 1977. It is clearly separate from the original structure. The previous approval allowed for its removal. As now requested, it would be retained and added onto. Window changes are proposed within the western elevation. **(Affirmative finding)**

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

Two of the three brick chimneys on this building, a common defining feature of historic buildings in Burlington, have been removed. Doing so runs contrary to the intent of this criterion that seeks to preserve and retain such features. **(Adverse finding)**

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials recognizing that new technologies may provide an appropriate alternative in order to adapt to ever changing conditions and provide*

*for an efficient contemporary use. Replacement of missing features will be substantiated by documentary and physical evidence.*

The application materials contain no information relative to the condition of the chimneys removed. **(No finding possible)**

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

Not applicable.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

There are no known archeological resources on the property. **(Affirmative finding)**

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*

The proposed alterations and expansion of the rear addition respect the historic integrity of Whiting Hall. They remain clearly distinct from, and subordinate to, the original structure. **(Affirmative finding)**

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

See #9 above.

#### ***Sec. 5.5.1, Nuisance Regulations***

Nothing in the proposal appears to constitute a nuisance under this criterion. **(Affirmative finding)**

#### ***Sec. 5.5.2, Outdoor Lighting***

Not applicable.

#### ***Sec. 5.5.3, Stormwater and Erosion Control***

Not applicable.

### **Article 6: Development Review Standards:**

#### ***Part 1, Land Division Design Standards***

Not applicable.

#### ***Part 2, Site Plan Design Standards***

##### ***Sec. 6.2.2, Review Standards***

Not applicable.

#### ***Part 3, Architectural Design Standards***

##### ***Sec. 6.3.2, Review Standards***

*(a) Relate development to its environment*

*1. Massing, Height, and Scale*

As amended, the proposed construction is small in scope and limited to the rear of the existing Whiting Hall. The project reads as a distinct building component behind the existing structure. The overall massing, height, and scale of the building remain largely unchanged.

**(Affirmative finding)**

*2. Roofs and Rooflines*

The hip roof on the proposed addition differs from the gable roof on the existing building now to be retained; however, the pitch is similar. The proposed roof form helps to differentiate the newest addition from the existing building and is acceptable. **(Affirmative finding)**

*3. Building Openings*

Proposed fenestration changes are limited to the western elevation of the existing rear addition. The proposed changes are consistent with the fenestration pattern included in the prior approval, albeit in a renovated structure versus a new addition. **(Affirmative finding)**

*(b) Protection of important architectural resources*

See Sec. 5.4.8 above.

*(c) Protection of important public views*

There are no identified public view corridors from or through the subject property. **(Affirmative finding)**

*(d) Provide an active and inviting street edge*

Whiting Hall's street edge remains unchanged. **(Affirmative finding)**

*(e) Quality of materials*

The existing rear addition will be re-clad in wooden clapboard siding. The new addition will also be clad in clapboard siding rather than the previously approved cedar shake siding. Roofing material on the new addition is not noted and must be. A stone foundation continues to be proposed for the addition. Most of the existing windows will be reused in their new openings on the western elevation. Any new windows much match the style and materials of these existing windows. **(Affirmative finding as conditioned)**

*(f) Reduce energy utilization*

This project includes upgrades to the building's thermal envelope as required by city code.

**(Affirmative finding)**

*(g) Make advertising features complimentary to the site*

No new outdoor signage is included in this proposal. **(Not applicable)**

*(h) Integrate infrastructure into the building design*

No new exterior equipment or infrastructure are included in this proposal. **(Affirmative finding)**

*(i) Make spaces safe and secure*

The proposed construction must comply with the city's current egress requirements. **(Affirmative finding)**

## **II. Conditions of Approval**

1. This approval is limited to the changes and addition to the existing rear addition of Whiting Hall. It does not include removal of the two brick chimneys. These chimneys shall be replaced within 3 months of the date of this approval.
2. Except as specifically changed in this amendment, all conditions of approval of zoning permit 14-0383CA/CU shall apply.
3. **Prior to release of the zoning permit**, information relative to lot coverage, total student beds, FAR, and new roofing material shall be submitted, subject to staff review and approval.
4. Any new windows shall match the materials and style of the existing windows.
5. All new utility lines shall be buried. All utility meters shall be screened.
6. All outdoor signs are subject to a separate zoning permit.
7. The proposed structure shall comply with Burlington's current energy efficiency standards and with Burlington's current ingress and egress requirements as established by Burlington Electric Department and Burlington Public Works, respectively.
8. It is the applicant's responsibility to comply with all applicable ADA requirements.
9. Standard permit conditions 1 -15.

United States Department of the Interior  
National Park ServiceNational Register of Historic Places  
Continuation SheetSection number 7 Page 114**114. Drew House (Whiting Hall) (203 South Willard Street); 1880**

Resting picturesquely on a large property lot, this elaborately detailed, brick Italianate structure was originally built for Attorney John Drew with a 3-story rear porch to view the valley to the west. Following Drew's death, shortly after its construction, his wife lived in this 2 1/2 story, rectangular, gable-fronted residence until it was sold to A. C. Whiting in 1888. The porch was removed by the current owner, Champlain College, which constructed enclosed rooms for its use as a dormitory named after the building's second owner. The original windows in the rear elevation were reused in the north, east and west elevations of the addition.

A 2 1/2 story gable ell projects from the south wall and a rectangular, brick chimney pierces the middle of the roof ridge. Four first story bay windows protrude from the plain common bond brick facades, two on each of the north and south facades. Further decorating the brick structure is a deep wood cornice with straight eaves and fascia board entablature, elaborate and heavy wooden gable screens with pendants, stone window sills with raised feet and ornate lintels with shoulders. The deep and ornate cast iron window heads are segmental shaped on the first floor and round and polygonal shaped on the second. Windows are 1/1 with an oculus window piercing the front gable.

The single story porch and deck extends two bays south (left) and is three bays deep connecting with the south gable ell. Two round columns and two pilasters on pedestals support the flat-roofed entrance porch with its full entablature. The tall, ornately carved double-leaf entrance doors are complemented by a fluted surround with rope molding and curved-corner doorhead.

**114A. Carriage Barn; c.1880**

The three original bays of this 2-story brick carriage barn have board and batten wood infill with casement and pane glass modern windows to allow its reuse as a residence. Shed dormers are on the north and south slopes of the wide, clipped gable roof. The original three openings in the second floor front facade, now have single pane windows on the end bays and a large sliding glass window in the center where doors probably once were.

Chimney  
to  
Remain

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*Chimney  
to  
Remain*

*Chimneys to BE  
Removed*



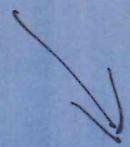
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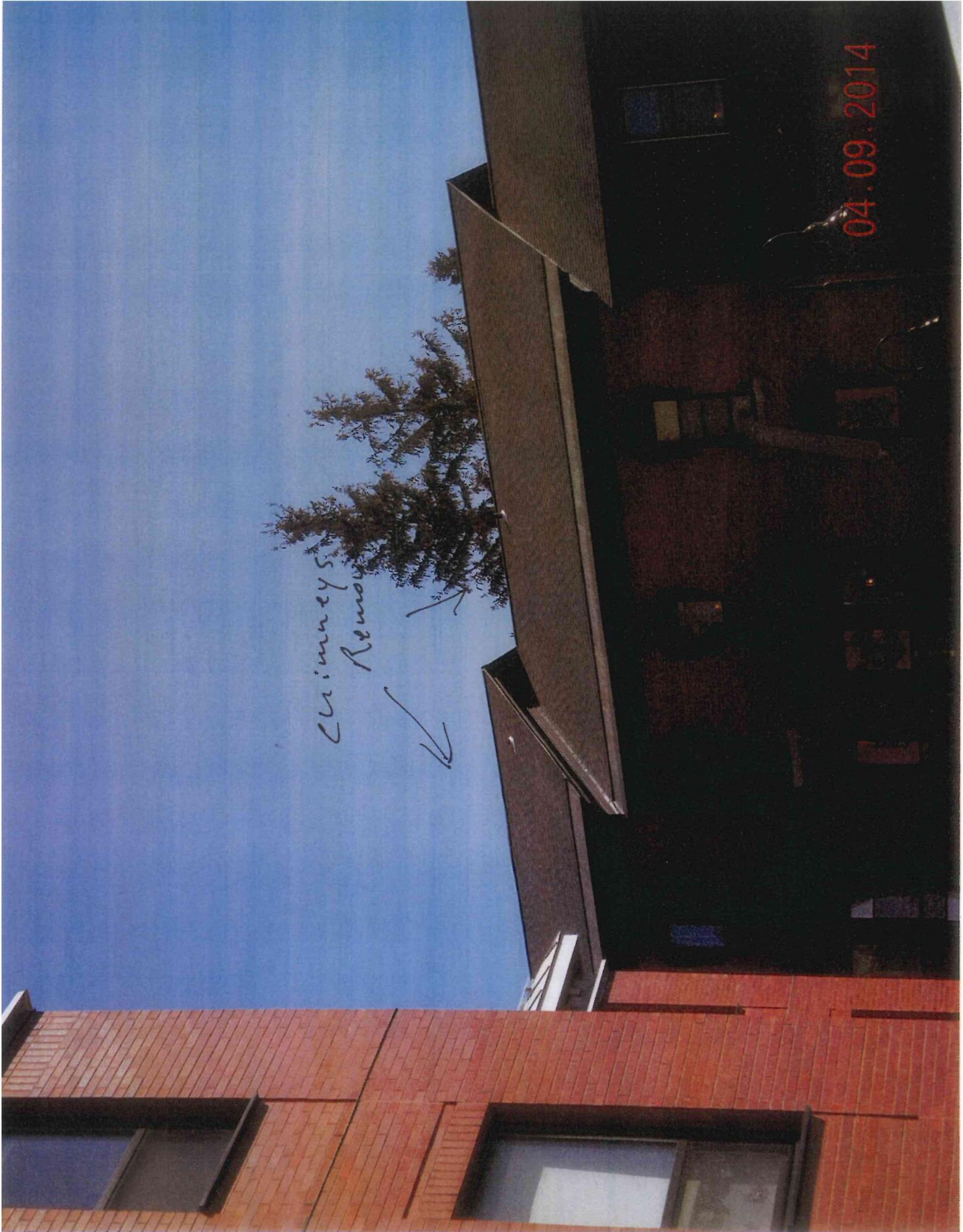
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West  
Elevation

WHITING ELEVATION STUDY 2-7-14

The following items shown on the sketch:

- 1 existing addition to remain
- 2 reuse most of the windows
- 3 clapboards with wider corner boards and base 5 quarter
- 4 keep the existing asphalt shingle roof
- 5 provide new entrance and sidelights open to the living room
- 6 existing concrete foundation to remain
- 7 connection and tower to remain as detailed with connector having a flat roof
- 8 mdo in lieu of spandrel glass for the reveal at the tower top
- 9 stone to be Canada pink with tinted mortar...(Campus standard)
- 10 clapboards new due to the relocation of the windows on the west elevation
- 11 paint siding (not green)

*Proposed*

