

Department of Planning and Zoning

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Burlington, VT 05401
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Nic Anderson, Zoning Clerk
Elsie Tillotson, Department Secretary



MEMORANDUM

To: Development Review Board
From: Mary O'Neil, AICP, Senior Planner *MO*
Date: October 7, 2014
RE: ZP13-0019CA; 11 Lakeview Terrace

Note: These are staff comments only. Decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.

File: ZP13-0019CA

Location: 11 Lakeview Terrace

Zone: RM Ward: 7

Date application accepted: August 28, 2014

Applicant/ Owner: David DelPiero and Heather Ferrell

Request: One year time extension to renovate existing single family home including structural addition.

Background:

- ZP13-0019CA; Renovate existing single family home including structural addition. Approved September 12, 2012.
- There are no other zoning permits on file for this property.

Overview: Work has been underway to renovate and add an addition to the existing single family home on the very small and challenging lot (1919 sf.) No change in use is proposed: The property will remain a single family residence.

The zoning permit faced expiration September 4, 2014 without an extension (This time extension request submission preceeded that date.)

The Applicants provide that excavation commencement was delayed due to an unusually deep frost from the previous winter. Due to the physical constraints of the site (2 older homes to the north and south, deep drop on the west) the contractor recommended the site work and concrete work to be done in 3 separate 'pours', which would enhance the safety of surrounding structures as well as the work crew. This was not part of the original plan, and incurred additional delays and cost. They have had additional delays as they waited for windows which are being manufactured 'locally' in Quebec, they were closed for 5 weeks this summer, and due to the late start, the order was not placed before this shutdown.

Recommendation: Consent approval, per the following findings and conditions:

I. Findings

Article 3: Applications, Permits and Project Reviews

Section 3.2.9 (d)

Notwithstanding (e) and (f) below, a zoning permit shall become invalid unless the work or action authorized commences within one (1) year after the date of the final decision. All work or action authorized there under shall be completed, and a Final Zoning Certificate or Occupancy received, within two (2) years of the date of decision unless a written extension of time not to exceed one (1) year is granted in advance by the administrative officer. Extensions of time for a zoning permit issued in connection with a conditional use or variance shall require approval by the DRB after a public hearing.

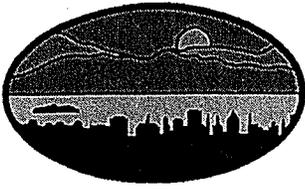
As a Level II zoning permit application, the original permit was subject to review by the Development Review Board. A time extension request has been made in a timely fashion by the applicants to extend the life of their zoning permit. Given the noted delays coupled with the unique challenges of the site, a one year time extension is reasonable to complete the approved plan.

Affirmative finding.

II. Conditions of Approval

1. The owner(s) shall complete the approved project and obtain a UCO (combined Zoning and Building certificates of occupancy) by September 4, 2015 or be subject to enforcement action.
2. All conditions of ZP 13-0019CA not herein altered shall remain in effect.
3. Standard Permit Conditions 1-15.

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**ZONING PERMIT
CERTIFICATE OF APPROPRIATENESS**
City of Burlington, Vermont
Department of Planning and Zoning

Application Date: 7/6/2012

Appeal Expiration Date: 10/4/2012

Project Location: 11 LAKEVIEW TER

District: RM

Owner: David Del Piero

Address: 1332 CIDER MILL RD

MIDDLEBURY VT 05753

Ward: 7

Tax ID: 043-3-004-000

Project Type: Residential - Demolition and New Construction

Project Description: Renovation and addition to existing single family home.

Construction Cost:	\$82,500	Lot Size (Sq Ft):	1,919
Net New Habitable Sq Ft:	1210.00	Net New # of Housing Units:	0
Existing % Lot Coverage:	59.00	Existing # of Parking Spaces:	1
Proposed % Lot Coverage:	58.20	Proposed # of Parking Spaces:	2
Net New % Lot Coverage:	-0.80	Required # of Parking Spaces:	2

Zoning Permit #: 13-0019CA

Decision By: Development Review Board

Level of Review: 2

Decision: Approved w/ Pre-Release Conditions

See Requirements for Permit Release

Decision Date: September 4, 2012

Project File #: 13-0019CA

Zoning Administrative Officer

An interested person may appeal a decision of the Development Review Board to the Vermont Superior Court Environmental Division until 4 pm on October 4, 2012.

Fee Type	Amount	Paid in Full	Balance Due:	\$0.00
Application Fee:	\$275.00	Yes	Date Paid: _____	
Development Review Fee:	\$371.25	Yes	Check # _____	
Impact Fee:	<i>Not Applicable</i>			

Building Permit Required: **Yes**

Permit Received by: _____

Date: _____

RECEIVED

AUG 00 2012

DEPARTMENT OF
PLANNING & ZONING

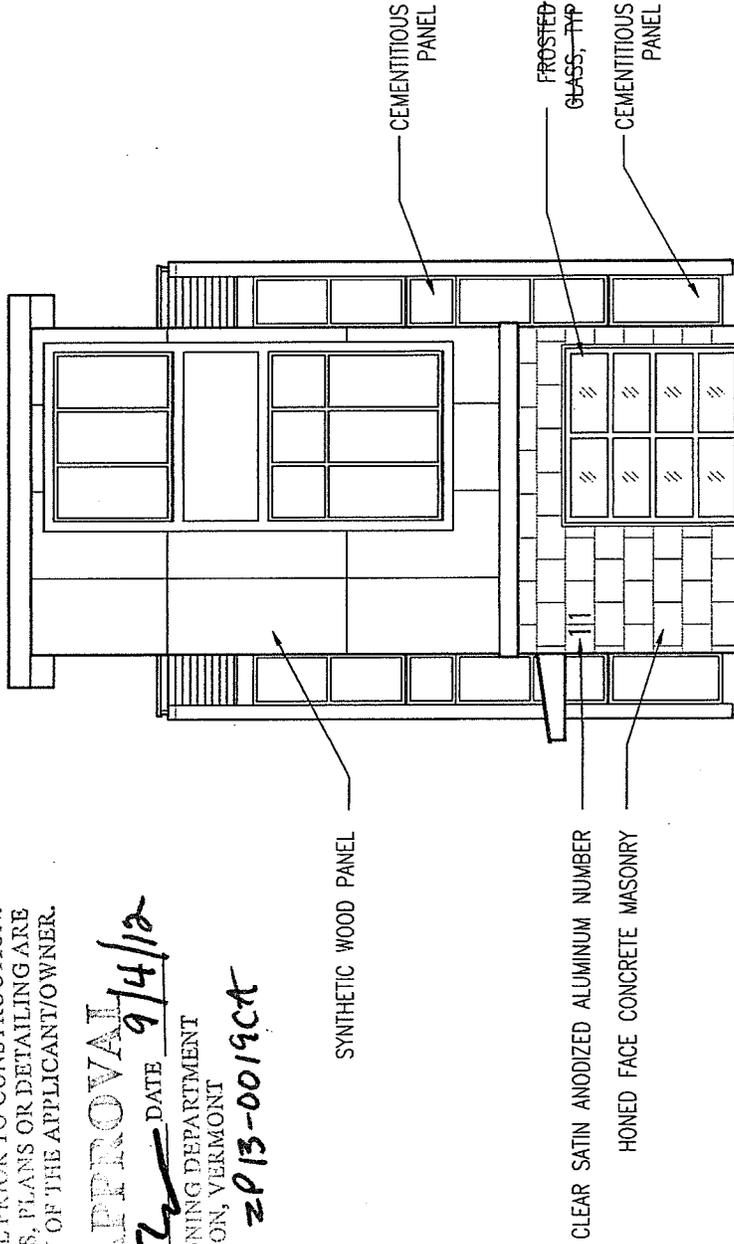
NOTE

ANY MODIFICATIONS OR DEVIATIONS FROM THESE PLANS
REQUIRE ZONING APPROVAL PRIOR TO CONSTRUCTION.
ALL ERRORS IN DIMENSIONS, PLANS OR DETAILING ARE
FULLY THE RESPONSIBILITY OF THE APPLICANT/OWNER.

FINAL APPROVAL DATE 9/4/12

SIGNED [Signature] PLANNING & ZONING DEPARTMENT
BURLINGTON, VERMONT

ZP13-0019CA



Smith / Buckley Architects
431 Pine St. Ste. 210
Burlington, VT 05401
802-540-0323

DEL PIERO / FERRELL RESIDENCE
11 Lakeview Terrace, Burlington, VT

3/16" = 1'-0"

ELEVATIONS

July 31, 2012

RECEIVED
AUG 06 2012

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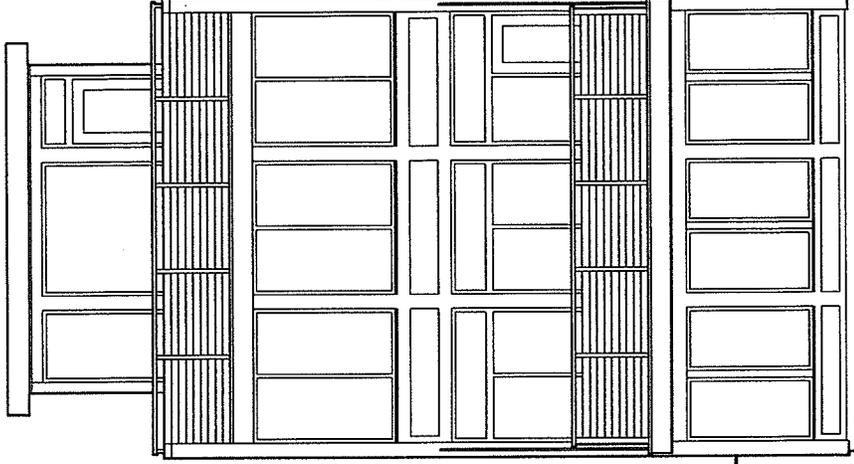
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FINAL APPROVAL
DATE 9/4/12

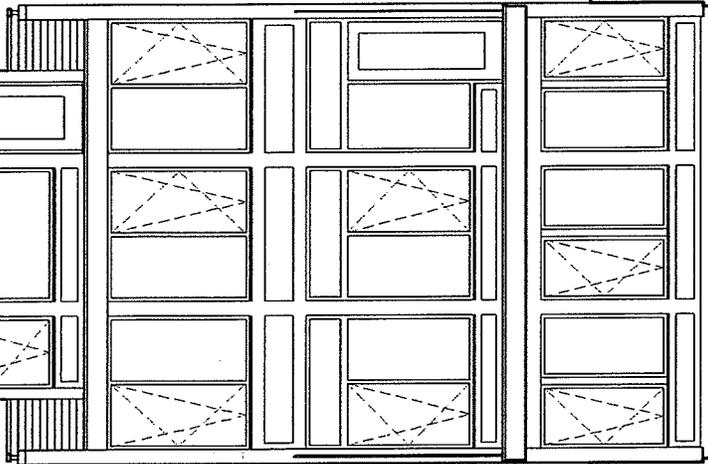
SIGNED

PLANNING & ZONING DEPARTMENT
BURLINGTON, VERMONT

2013-0019CA



WEST



WEST WITHOUT RAILINGS

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431 Pine St. Ste. 210
Burlington, VT 05401
802-540-0323

DEL PIERO / FERRELL RESIDENCE
11 Lakeview Terrace, Burlington, VT

ELEVATIONS

3/16" = 1'-0"

July 31, 2012

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FINAL APPROVAL

SIGNED

PLANNING & ZONING DEPARTMENT
BURLINGTON, VERMONT

2013-0019CA

DATE 9/14/12

SYNTHETIC WOOD PANEL

HONED FACE CONCRETE MASONRY

CORRUGATED METAL SIDING

NORTH

② 2ND FLOOR OVERHANG REDUCED 48" to 24"
GARAGE EXT'D 23.5' to 25.4'

③ WINDOW RE-SIZED!!
ORIGINAL: 4' 3" x 5'
PROPOSED: 4' 3" x 3'
- NORTH ELEVATION ONLY -

- NORTH ELEVATION ONLY -

CABLE SUPPLY REMOVAL

6'

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Burlington, VT 05401
802-540-0323

DEL PIERO FULLY THE RESPONSIBILITY OF THE APPLICANT/OWNER.
11 Lakeview Terrace, Burlington, VT

APPROVAL

SIGNED

DATE

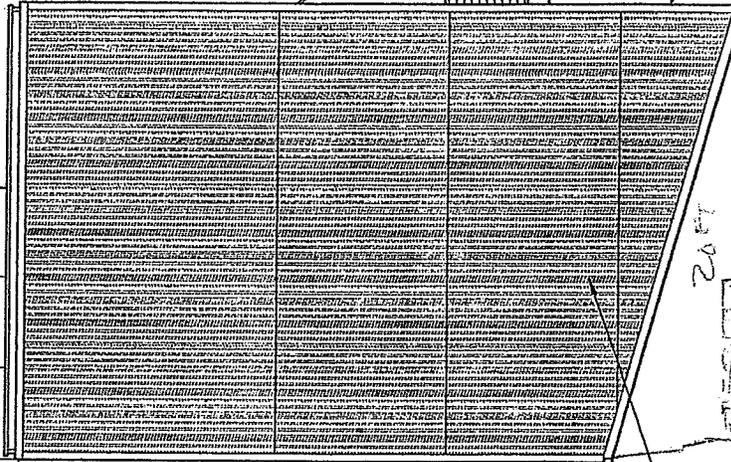
3/16" = 1'-0"

PLANNING & ZONING DEPARTMENT
BURLINGTON, VERMONT

"As-built" modifications
approved 5/16/2013 as not

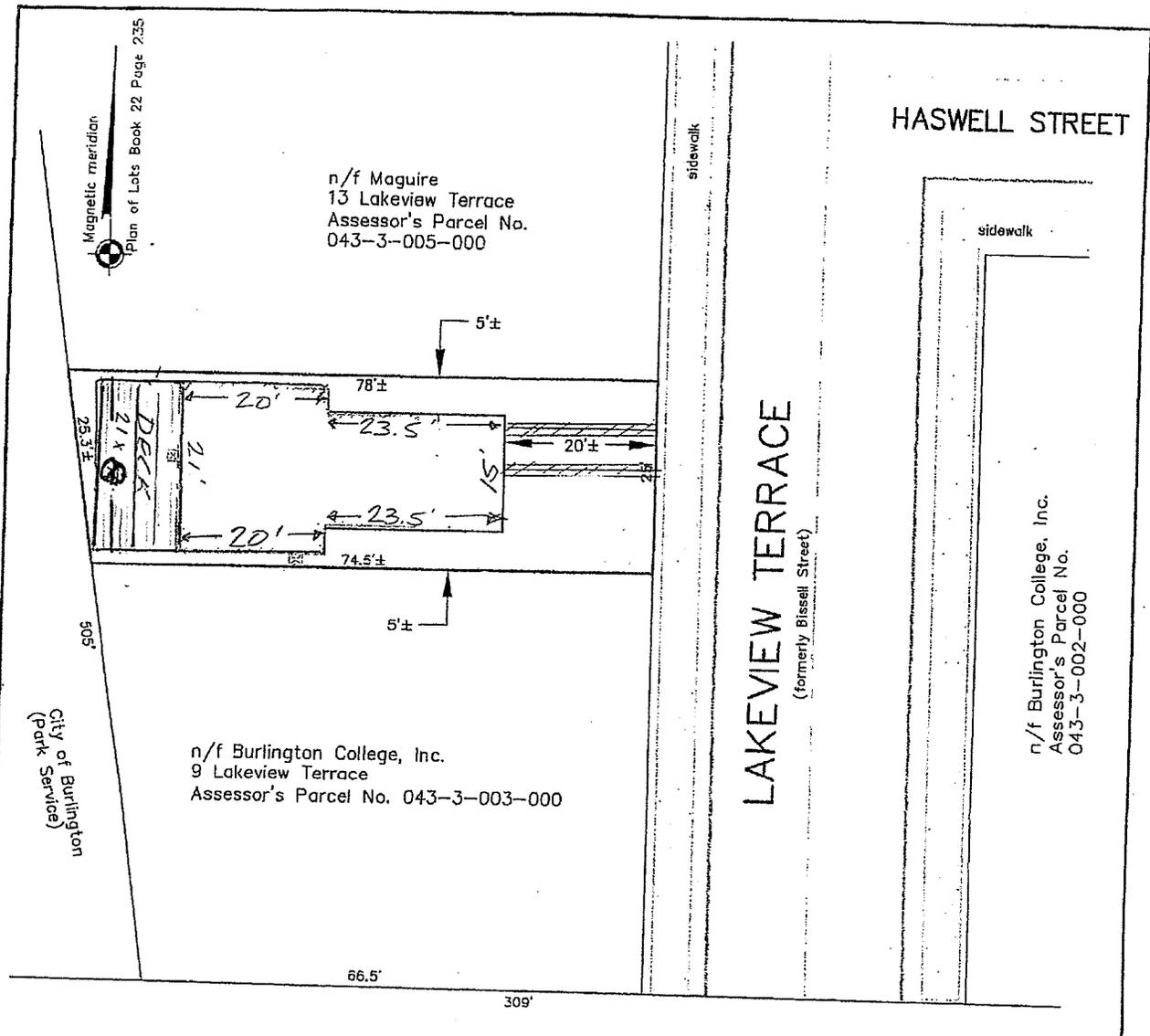
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2012 09 14

DEPARTMENT OF
PLANNING & ZONING



2012

OUTREACH
EMOTIONAL
UNSTABLE
BE RESPONSIBLE
TO THE SAME
DOWNSIDE
LOCATION
DATE 4/23/14



Site Plan Addendum #2 (01 August 2012)

11 Lakeview: Proposed Lot Coverage

House (20X21 + 23.5X15)	772.5 sf
Deck (REDUCED TO 21x8)	168 sf
2nd CAR PARKING (ADDED)	162 sf
WALKWAY (ADDED)	14 sf

PROPOSED lot coverage:	1116.5 sf (1919sf LOT)	58.2%
EXISTING lot coverage:	1132.5 sf (1919sf LOT)	59 %

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NOTE
AUG 9 2012

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PLANNING & ZONING DEPARTMENT
BURLINGTON, VERMONT

2P13-0019CA

see landscaping plan for pedestrian walkway.