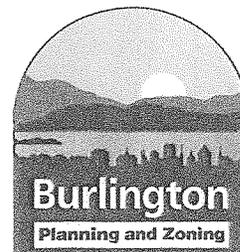


Department of Planning and Zoning

149 Church Street
Burlington, VT 05401
Telephone: (802) 865-7188
(802) 865-7195 (FAX)
(802) 865-7142 (TTY)

David White, AICP, Director
Ken Lerner, Assistant Director
Sandrine Thibault, AICP, Comprehensive Planner
Jay Appleton, GIS Manager
Scott Gustin, AICP, Senior Planner
Mary O'Neil, AICP, Senior Planner
Nic Anderson, Zoning Clerk
Elsie Tillotson, Department Secretary



TO: Development Review Board
FROM: Scott Gustin *AG*
DATE: April 1, 2014
RE: 14-0776CA, 208 Flynn Avenue

Note: These are staff comments only; decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.

Zone: ELM Ward: 5

Owner/Representative: Willis Two / SAS Architects

Request: Construct new accessible entry addition with associated site improvements and interior renovations.

Applicable Regulations:

Article 4 (Maps & Districts), Article 5 (Citywide General Regulations), Article 6 (Development Criteria & Guidelines)

Background Information:

The applicant is seeking approval to construct a new accessible front entry into the existing commercial building. Associated landscaping and hardscaping work is also included. The proposed work will displace several parking spaces that will be relocated elsewhere onsite. This proposal is modest in scope and well designed. No substantial concerns are noted.

Previous zoning actions for this property are noted below.

- 10/28/08, Approval to replace rooftop mechanical unit
- 8/5/08, Approval to install awning over rear deck
- 10/25/07, Approval to install parallel sign
- 5/4/05, Approval to install parallel sign
- 6/25/01, Approval to install two parallel signs
- 2/23/00, Approval to install directory sign
- 1/4/00, Approval to install parallel sign
- 9/25/00, Approval to construct covered stairway entry
- 11/5/99, Approval to remove rear storage/loading areas
- 8/20/99, Approval for parallel sign
- 7/22/99, Approval for façade improvements to existing building
- 5/20/99, Approval of repairs to existing loading dock area
- 2/25/99, Approval of shallow front addition
- 3/15/99, Approval of parallel signs

- 11/13/97, Approval to change office and warehouse to large daycare
- 9/29/92, Approval of parallel sign
- 10/7/88, Approval to pave existing gravel driveway
- 8/19/86, Approval of parallel sign
- 12/29/84, Approval of repairs and door installation in loading dock area
- 4/5/84, Approval to construct entrance on Flynn Ave side of building
- 1/5/83, Approval of parallel sign
- 9/10/80, Approval of warehouse addition
- 10/6/78, Approval to convert portion of warehouse to office and showroom space
- 1/18/78, Approval of partial conversion of warehouse to office space
- 6/8/77, Approval to erect loading platform enclosures with 6 overhead doors
- 4/1/77, Approval to create a caretaker's apartment
- 7/7/75, Approval to install chain link fence
- 11/12/74, Approval of two parallel signs
- 6/25/74, Approval to install relocated gates and pave driveway
- 11/28/73, Approval to install underground gasoline tank

Recommendation: Consent approval as per, and subject to, the following findings and conditions:

I. Findings

Article 4: Maps & Districts

Sec. 4.4.3, Enterprise Districts:

(a) Purpose

(1) Light Manufacturing (E-LM)

The subject property is located in the E-LM zone which is intended as the primary commercial/industrial center of Burlington. The existing commercial use of the property will not change. **(Affirmative finding)**

(b) Dimensional Standards & Density

Building FAR will increase slightly with the new entry addition. No FAR information has been provided. Given that the FAR limit is 2.0 in this zone, it appears to remain compliant; however, an updated FAR number is needed for confirmation.

Lot coverage will remain unchanged at 85%. While this percentage is above the 80% limit, it remains acceptable, as there will be no increase in the degree of nonconformity.

The property is a rear landlocked lot – it has no street frontage and is accessed through the adjacent lot between it and the street. As a result it has no front yard (the definition of front yard specifically refers to the street line of the lot). For setback purposes, all of the yards may be considered sides. No minimum side yard setback applies to this property.

The proposed entry addition is 36' 1" tall. This height is below the maximum permissible 45' height in the E-LM zone. **(Affirmative finding as conditioned)**

(c) Permitted & Conditional Uses

No change in the commercial use of the building is included in this proposal. (**Affirmative finding**)

(d) District Specific Regulations

Not applicable.

Article 5: Citywide General Regulations

Sec. 5.2.3, Lot Coverage Requirements

See Sec. 4.4.3 (b) above.

Sec. 5.2.4, Buildable Area Calculation

Not applicable.

Sec. 5.2.5, Setbacks

See Sec. 4.4.3 (b) above.

Sec. 5.2.6, Building Height Limits

See Sec. 4.4.3 (b) above.

Sec. 5.2.7, Density and Intensity of Development Calculations

See Sec. 4.4.3 (b) above.

Sec. 5.5.1, Nuisance Regulations

Nothing in this proposal appears to constitute a nuisance. (**Affirmative finding**)

Sec. 5.5.2, Outdoor Lighting

New outdoor lighting is proposed, and cutsheets for several fixture types have been submitted. The proposed fixtures utilize acceptable LED lamps. The landscaping plan depicts locations for the bollard and landscape lighting. Presumably, the entry canopy will be illuminated, but there is no such indication on the plans. A “wall wash” fixture is included, but no location is noted. These lighting fixture locations must be depicted on the project plans in order to determine full compliance with this criterion. Note that illumination of building facades, other than of entries, is prohibited. (**Affirmative finding as conditioned**)

Sec. 5.5.3, Stormwater and Erosion Control

This project includes provision for improved stormwater management. The loss of existing green space will be offset by the provision of newly created green space around the entry addition. A rain garden will be provided within this new green space. While the rain garden will discharge overflow into an existing stormwater pipe, it will provide a degree of onsite infiltration not presently available. Details as to capacity of the rain garden and percentage of the site affected by it are subject to review and approval by the Stormwater Administrator.

As this project involves more than 400 sf of earth disturbance, a small project erosion control plan has been submitted. As with stormwater management, it is subject to review and approval by the Stormwater Administrator. (**Affirmative finding as conditioned**)

Article 6: Development Review Standards:

Part 1, Land Division Design Standards

Not applicable.

Part 2, Site Plan Design Standards

Sec. 6.2.2, Review Standards

(a) Protection of important natural features

The northeastern corner of the property is affected by wetland and riparian buffer zones. The site of the proposed entry addition, however, is not affected by these natural resource overlays. The site of the addition contains no significant natural features. **(Affirmative finding)**

(b) Topographical alterations

No significant topographical alterations are proposed. **(Affirmative finding)**

(c) Protection of important public views

There are no important public views on or through the subject property. **(Affirmative finding)**

(d) Protection of important cultural resources

The subject building is historically significant as noted in Sec. 6.3.2 (b) below. The site is not identified as archaeologically significant. **(Affirmative finding)**

(e) Supporting the use of alternative energy

The proposed addition is small and does not make provision for use of alternative energies. As designed; however, the addition includes ample glazing and skylights to flood the interior with natural sunlight. **(Affirmative finding)**

(f) Brownfield sites

The property is not included in the VT DEC Hazardous Site List. **(Affirmative finding)**

(g) Provide for nature's events

See Sec. 5.5.3 for stormwater management. The proposed addition will leave sufficient space for seasonal snow storage. **(Affirmative finding)**

(h) Building location and orientation

Building location and orientation will remain unchanged. The addition, however, will substantially embellish the building's primary entrance. **(Affirmative finding)**

(i) Vehicular access

Vehicular access from Flynn Avenue will remain unchanged and adequate. **(Affirmative finding)**

(j) Pedestrian access

The proposed work will include an enhanced walkway to a substantially improved main entry. **(Affirmative finding)**

(k) Accessibility for the handicapped

The proposed addition is being constructed in order to provide an accessible entrance into the building. **(Affirmative finding)**

(l) Parking and circulation

The proposed entry addition will entail the displacement of 3 parking spaces. These three parking spaces, plus two more, will be relocated on existing asphalt to the west of the building. There will be no net loss of parking spaces. Vehicular circulation remains unchanged. **(Affirmative finding)**

(m) Landscaping and fences

While small in scale, a detailed landscaping plan has been provided. New plantings will be installed to accentuate the new building entry. As noted above, a rain garden is included in the landscaping plan and will provide stormwater management previously devoid at this site. **(Affirmative finding)**

(n) Public plazas and open space

Not applicable.

(o) Outdoor lighting

See Sec. 5.5.2.

(p) Integrate infrastructure into the design

An existing electrical “hot box” located by the proposed addition appears as though it may be relocated. To where is unclear. Whether and where this “hot box” will be relocated must be clarified. **(Affirmative finding as conditioned)**

Part 3, Architectural Design Standards

Sec. 6.3.2, Review Standards

(a) Relate development to its environment

1. Massing, Height, and Scale

The proposed addition is appropriately scaled in relation to the existing building. While prominent, it respects the integrity of the existing structure. Massing is broken into distinct, but interrelated, components. The height essentially matches that of the existing building.

(Affirmative finding)

2. Roofs and Rooflines

The flat roof of the proposed entry addition will mirror that of the existing building.

(Affirmative finding)

3. Building Openings

Fenestration within the entry addition is clearly distinct from that of the existing building.

While distinct, the proposed storefront window system in the entry addition ties into the appearance of the single light casement windows in the main building. **(Affirmative finding)**

(b) Protection of important architectural resources

The existing building is included in the Vermont Historic Sites and Structures list and dates to 1918. The building remains largely intact. The proposed addition does not attempt to mimic the historic fabric of the original building and is clearly discernable as new. The massing and materials of the proposed addition acknowledge the industrial heritage of the building it will tie into. The proposed addition will have no adverse impact on this historically significant resource.

(Affirmative finding)

(c) Protection of important public views

See 6.2.2 (c) above.

(d) Provide an active and inviting street edge

The subject property has no street edge. The proposed construction, however, will activate the building's entrance. **(Affirmative finding)**

(e) Quality of materials

The addition will be clad in metal and wood panel siding. Board-formed concrete will be used as well. Metal framed windows will be installed. Sculptural elements acknowledging the building's industrial history will be affixed to the elevator tower. The proposed addition will utilize high quality materials. **(Affirmative finding)**

(f) Reduce energy utilization

The new addition incorporates significant glazing, thereby reducing the need for artificial lighting. **(Affirmative finding)**

(g) Make advertising features complimentary to the site

Not applicable.

(h) Integrate infrastructure into the building design

No roof-mounted mechanical equipment or other infrastructure is included in this project design. **(Affirmative finding)**

(i) Make spaces safe and secure

Emergency service access to the building remains largely unchanged. The proposed construction must comply with current egress requirements. **(Affirmative finding as conditioned)**

II. Conditions of Approval

1. **Prior to release of the zoning permit**, revised plans shall be submitted, subject to staff review and approval. The revised plans shall include:
 - a. Updated FAR number to include the proposed addition.
 - b. Location of all exterior lighting fixtures.
 - c. Whether and where the electrical hot box will be relocated.
2. **EPSC Pre-release Condition:** Prior to release of the zoning permit, the applicant shall obtain written approval of the Erosion Prevention and Sediment Control Plan from the Stormwater Administrator.
3. **Stormwater Management Plan Pre-release condition:** Prior to the release of the zoning permit, the applicant shall obtain the written approval of the Stormwater Management Plan from the Stormwater Administrator.
4. **Prior to issuance of a certificate of occupancy**, the applicant must obtain written certification from the Stormwater Administrator that, among other things, the project EPSC plan as approved has been complied with and final site stabilization has occurred. This certification shall be filed with the Department of Planning & Zoning.
5. The Applicant/Property Owner is responsible for obtaining all necessary Zoning Permits and Building Permits through the Department of Public Works as well as other permit(s) as may be required, and shall meet all energy efficiency and ADA handicap accessibility codes as required.
6. Standard permit conditions 1-15.



BIRDSEYE VIEW OF SUBJECT AND NEIGHBORING PROPERTIES



EXISTING BUILDING FROM THE SOUTHEAST



EXISTING EAST ELEVATION

SMITH
ALVAREZ
SIENKIEWYCZ
ARCHITECTS

117 St. Paul Street
3rd Floor
Burlington, VT
05401

P: 802 • 863 • 2227
F: 802 • 863 • 0093

PROJECT:
SELECT DESIGN ELEVATOR / ENTRANCE ADDITION
208 FLYNN AVENUE, BURLINGTON, VT 05401

PROJECT NO.: 0503

DRAWING:
PHOTOGRAPHS OF SUBJECT
PROPERTY

SCALE:
N.T.S.

DATE:
FEBRUARY 21, 2014

RECEIVED

FEB 24 2014

DEPARTMENT OF
PLANNING & ZONING



SMITH
ALVAREZ
SIENKIEWYCZ
ARCHITECTS
117 St. Paul Street
3rd Floor
Burlington, VT
05401
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F: 802 • 863 • 0093

PROJECT:
SELECT DESIGN ELEVATOR / ENTRANCE ADDITION
208 FLYNN AVENUE, BURLINGTON, VT 05401

PROJECT NO.: 0503

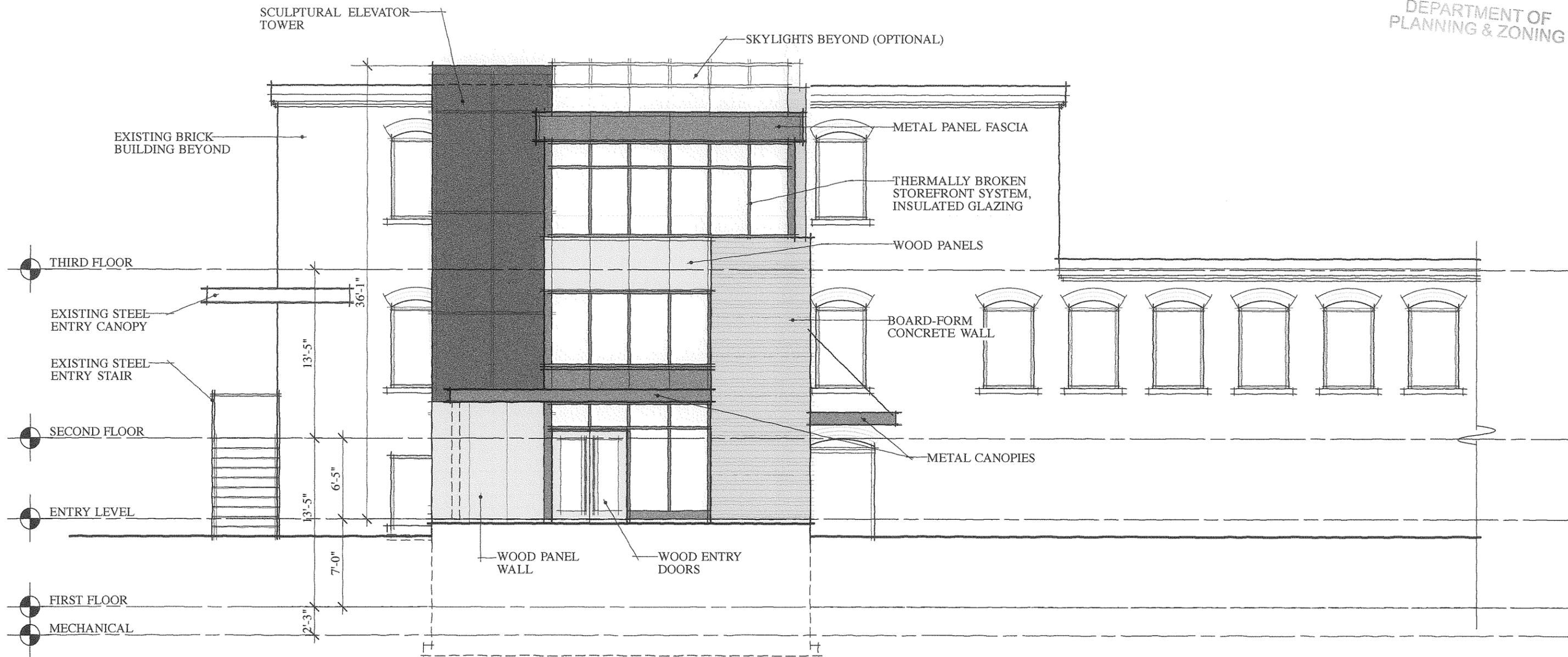
DRAWING:
PERSPECTIVE VIEW FROM
THE SOUTHEAST

SCALE:
N.T.S.
DATE:
FEBRUARY 21, 2014

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FEB 24 2014

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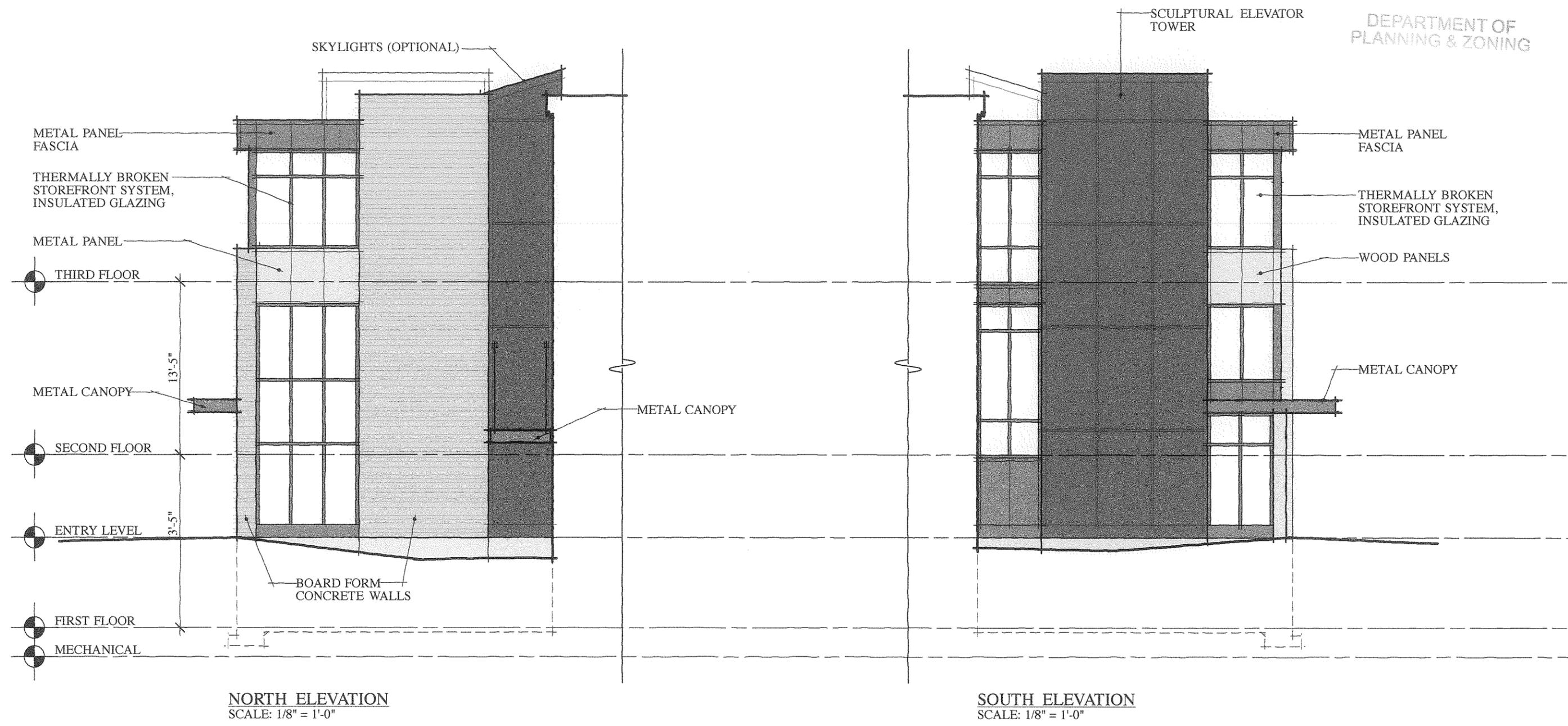


EAST ELEVATION
SCALE: 1/8" = 1'-0"

SMITH ALVAREZ SIENKIEWICZ ARCHITECTS	117 St. Paul Street 3rd Floor Burlington, VT 05401 P: 802 • 863 • 2227 F: 802 • 863 • 0093	PROJECT: SELECT DESIGN ELEVATOR / ENTRANCE ADDITION 208 FLYNN AVENUE, BURLINGTON, VT 05401	DRAWING: EAST ELEVATION	SCALE: 1/8" = 1'-0"
				DATE: FEBRUARY 21, 2014
PROJECT NO.: 0503				

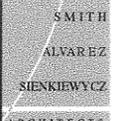
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FEB 24 2014

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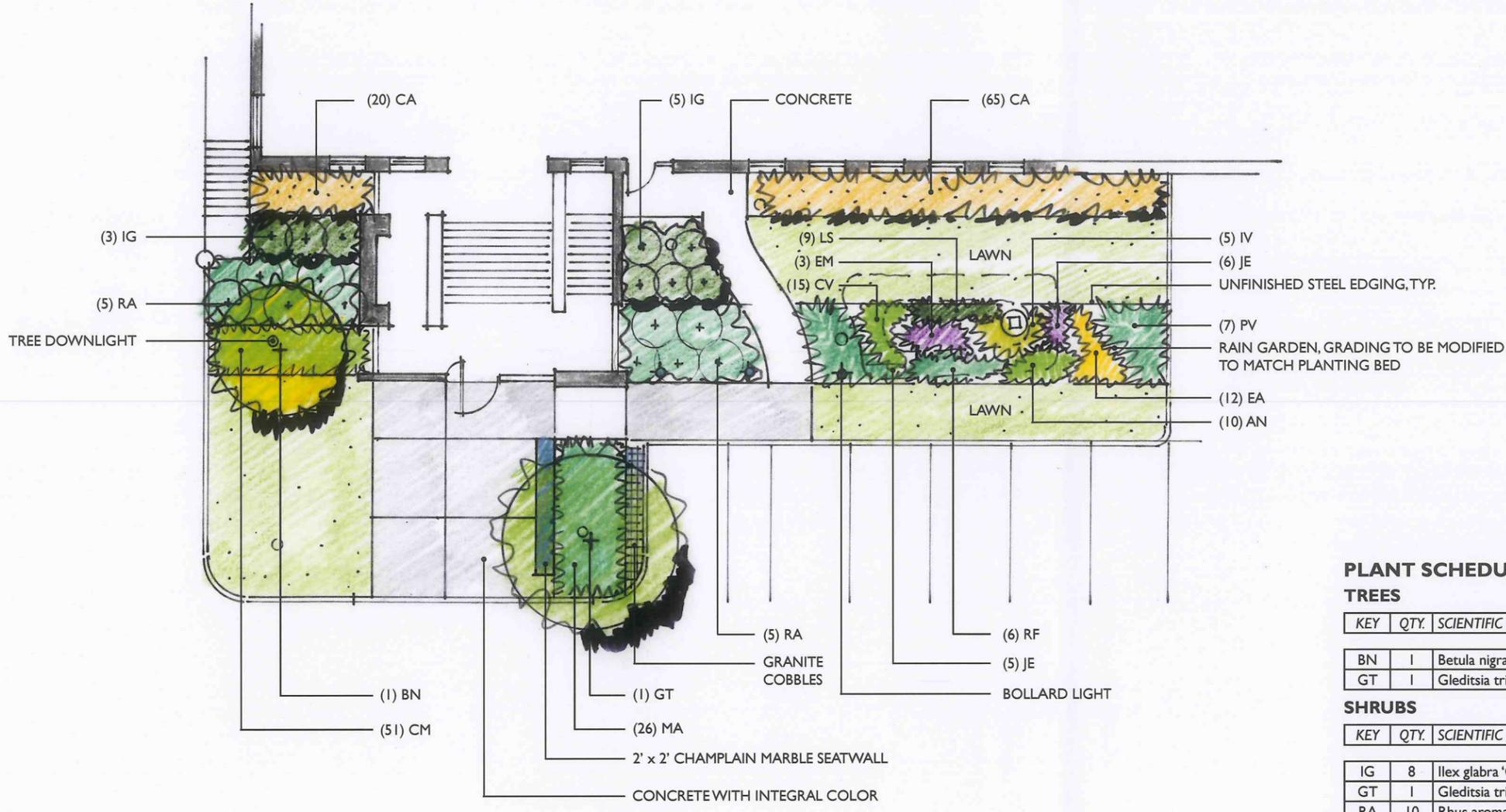
NORTH ELEVATION
SCALE: 1/8" = 1'-0"

SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

	117 St. Paul Street 3rd Floor Burlington, VT 05401	PROJECT: SELECT DESIGN ELEVATOR / ENTRANCE ADDITION 208 FLYNN AVENUE, BURLINGTON, VT 05401	DRAWING: NORTH & SOUTH ELEVATIONS @ ADDITION	SCALE: 1/8" = 1'-0"
	P: 802 • 863 • 2227 F: 802 • 863 • 0093	PROJECT NO.: 0503	DATE: FEBRUARY 21, 2014	

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LANDSCAPE NARRATIVE

The proposed landscaping is intended to complement a new accessible entry.

The rain garden provides a diverse dense plant cover to treat stormwater runoff and withstand the stresses of an urban environment.

Taller plant material screens an existing exit. The selected trees provide shade as well as visual interest. The birch is selected to contrast with the adjacent sculptural elevator tower. The honeylocust provides dappled shade at the small hardscape plaza area and visual defines and frames the edge of the main entry as seen when approaching the site.

PLANT SCHEDULE

TREES

KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING
BN	1	Betula nigra 'Heritage'	HERITAGE RIVER BIRCH	SINGLE STEM 4"-5" CAL.	AS SHOWN
GT	1	Gleditsia triacanthos 'Shademaster'	SHADEMASTER HONEYLOCUST	4" - 5" CAL.	AS SHOWN

SHRUBS

KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING
IG	8	Ilex glabra 'Compacta'	INKBERRY	#5	3' o.c.
GT	1	Gleditsia triacanthos 'Shademaster'	SHADEMASTER HONEYLOCUST	4" - 5" CAL.	AS SHOWN
RA	10	Rhus aromatica 'Gro-Low'	FRAGRANT SUMAC	#5	4' o.c.

ORNAMENTAL GRASSES

KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING
CA	85	Calamagrostis x acutiflora 'Karl Foerster'	FEATHER REED GRASS	#2	24" o.c.
CM	51	Carex morrowii 'Ice Dance'	VARIEGATED SEDGE	#1	18" o.c.
DC	10	Deschampsia cespitosa	TUFTED HAIR GRASS	#2	24" o.c.
MA	26	Miscanthus 'Adagio'	ADAGIO MAIDEN GRASS	#2	30" o.c.
PV	7	Panicum virgatum 'Heavy Metal'	SWITCH GRASS	#2	30" o.c.

PERENNIALS

KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING
AN	10	Aster novae-angliae 'Purple Dome'	PURPLE DOME ASTER	#1	24" o.c.
CV	15	Coreopsis verticillata	THREAD-LEAF TICKSEED	#1	18" o.c.
EA	12	Echinacea 'Alba'	WHITE CONEFLOWER	#1	18" o.c.
EM	3	Eupatorium maculatum	JOE PYE WEED	#1	30" o.c.
IV	5	Iris versicolor	BLUE FLAG	#1	24" o.c.
JE	11	Juncus effusus	SOFT RUSH	#1	18" o.c.
LS	9	Liatris spicata	DENSE BLAZING STAR	#1	15" o.c.
RF	6	Rudbeckia fugilda 'Goldstrum'	BLACK-EYED SUSAN	#1	24" o.c.

WAGNERHODGSON
LANDSCAPE ARCHITECTURE

SMITH
ALVAREZ
SIENKIEWYCZ
ARCHITECTS
117 St. Paul Street
3rd Floor
Burlington, VT
05401
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F: 802 • 863 • 0093

PROJECT:
SELECT DESIGN ELEVATOR / ENTRANCE ADDITION
208 FLYNN AVENUE, BURLINGTON, VT 05401

PROJECT NORTH
PROJECT NO.: 0503

DRAWING:
PROPOSED PLANTING PLAN

SCALE:
1/16" = 1'-0"
DATE:
FEBRUARY 21, 2014

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PLANNING & ZONING

SCALE:
1" = 3'-0"

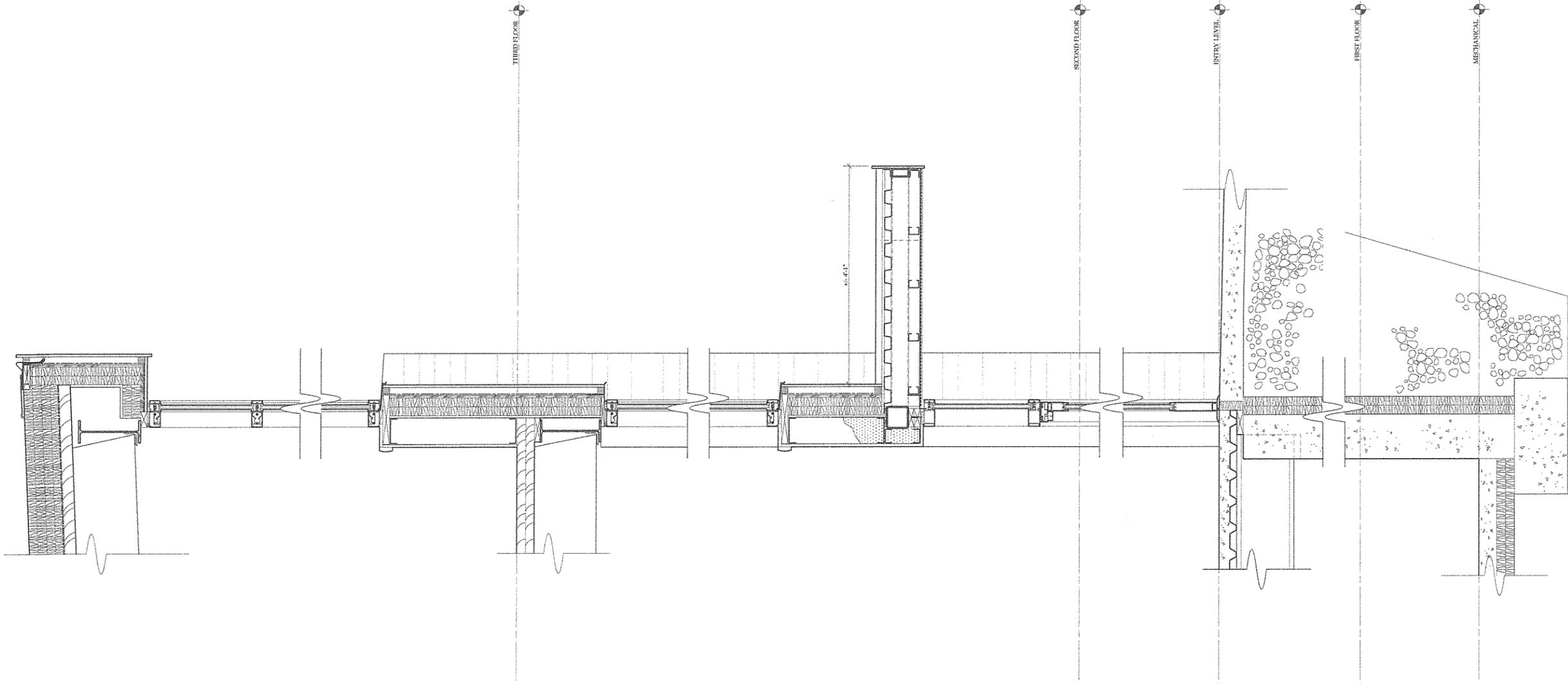
DATE:
FEBRUARY 22, 2014

DRAWING:
WALL SECTION THROUGH
ENTRANCE (FACING NORTH)

PROJECT NO.: 0503

PROJECT:
SELECT DESIGN ELEVATOR / ENTRANCE ADDITION
208 FLYNN AVENUE, BURLINGTON, VT 05401

117 SUPREMI STREET
3rd Floor
Burlington, VT
05401
P: 802 • 863 • 2667
F: 802 • 863 • 0663



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EXISTING PLANTED AREA:
2607 sf

PROPOSED PLANTED AREA:
2607 sf
(see planting plan)

HC

HC

2x2 CHAMPLAIN
MARBLE SEATWALL

INTEGRAL COLOR
CONCRETE W/ SNOW
MELT SYSTEM:
783 sf

EXISTING
1/16" = 1'-0"

PROPOSED
1/16" = 1'-0"

PROPERTY LINE

SMITH ALVAREZ SIENKIEWICZ ARCHITECTS	117 St. Paul Street 3rd Floor Burlington, VT 05401	PROJECT: SELECT DESIGN ELEVATOR / ENTRANCE ADDITION 208 FLYNN AVENUE, BURLINGTON, VT 05401	PROJECT NORTH  PROJECT NO.: 0503	DRAWING: PROPOSED PLANTED AREA	SCALE: 1/16" = 1'-0"
	P: 802 • 863 • 2227 F: 802 • 863 • 0093				DATE: FEBRUARY 21, 2014

DEMOLITION NOTES

1. NO DEMOLITION SHALL COMMENCE UNTIL APPROPRIATE EROSION PREVENTION AND SEDIMENT CONTROL ARE INSTALLED.
2. ALL DEMOLITION ITEMS FROM THE DEMOLITION, UNLESS NOTED BY THE OWNER TO BE STORED OR REUSED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE. EXCESS OR UNSUITABLE SOIL SHALL BE REMOVED FROM THE SITE. CONSTRUCTION MANAGER TO PROVIDE LIST FOR OWNER'S REVIEW FOR SALVAGED EQUIPMENT ETC. FOR OWNER TO RECLAIM.
3. ALL ADJACENT FACILITIES AND STRUCTURES NOT INDICATED AS INCLUDED IN THE SCOPE OF WORK SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATELY REPAIRING OR REPLACING ALL ADJACENT FACILITIES OR STRUCTURES DAMAGED DURING CONSTRUCTION TO PRE-CONSTRUCTION CONDITION OR BETTER.
4. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK AREA NOT ONLY DURING DEMOLITION PROCEDURES, BUT FOR THE DURATION OF CONSTRUCTION.
5. PRIOR TO DEMOLITION, HAND EXCAVATE ANY UNDERGROUND UTILITIES. NOTIFY THE OWNER IF ANY OTHER UTILITIES NOT NOTED ON THE DRAWINGS ARE FOUND.
6. CARE SHALL BE TAKEN NOT TO DAMAGE OR DISTURB ANY TREES AND SITE LIGHTING NOT INDICATED FOR REMOVAL DURING CONSTRUCTION.
7. PROPOSED FEATURES ARE SHOWN ON THIS DRAWING FOR REFERENCE ONLY.
8. ALL EXISTING UTILITIES, FENCING AND SITE FEATURES SHOWN WITH CROSS HATCHING () ARE TO BE REMOVED (PAVING, GRAVEL, WALLS, WALKS, MH, CB, PIPE, ETC).
9. SEED AND MULCH ALL RESULTING DISTURBED AREAS IN ACCORDANCE WITH THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN WHERE NO WORK IS ANTICIPATED WITHIN 48 HOURS.
10. REFER TO DEMOLITION PLANS WITHIN ARCHITECTURAL, MEP AND STRUCTURAL DESIGN DRAWINGS FOR ADDITIONAL WORK ITEMS. CONTRACTOR SHALL COORDINATE PHASING AND DEMOLITION OF THOSE ITEMS WITH OTHER TRADES.
12. THE CONTRACTOR MAY NOT HAVE ACCESS TO PERFORM WORK ON THE ENTIRE SITE AT ALL TIMES. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER PRIOR TO BEGINNING WORK IN ANY AREA.
13. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND BARRIERS TO PREVENT ACCESS TO THE WORK AREA BY PERSONS ON-SITE TO ACCESS THE FACILITIES OCCUPIED BY THE OWNER.
14. REMOVE ALL TEMPORARY AGGREGATE AT THE END OF CONSTRUCTION AND SEED AND MULCH.
15. ALL DEMOLISHED MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH THE WASTE MANAGEMENT PLAN.

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F: 802-863-0093

CIVIL
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208 FLYNN AVE., SUITE 2A
BURLINGTON, VT 05401
P: 802-863-6225

STRUCTURAL
ARTISAN ENGINEERING
873 FERRY ROAD, SUITE 201
P.O. BOX 396
CHARLOTTE, VT 05445
P: 802-425-4350

MEP:
VERMONT MECHANICAL, INC.
P.O. BOX 728
WILSTON, VT 05495
P: 802-862-5900
F: 802-655-7628

SAS PROJECT NUMBER: 0204

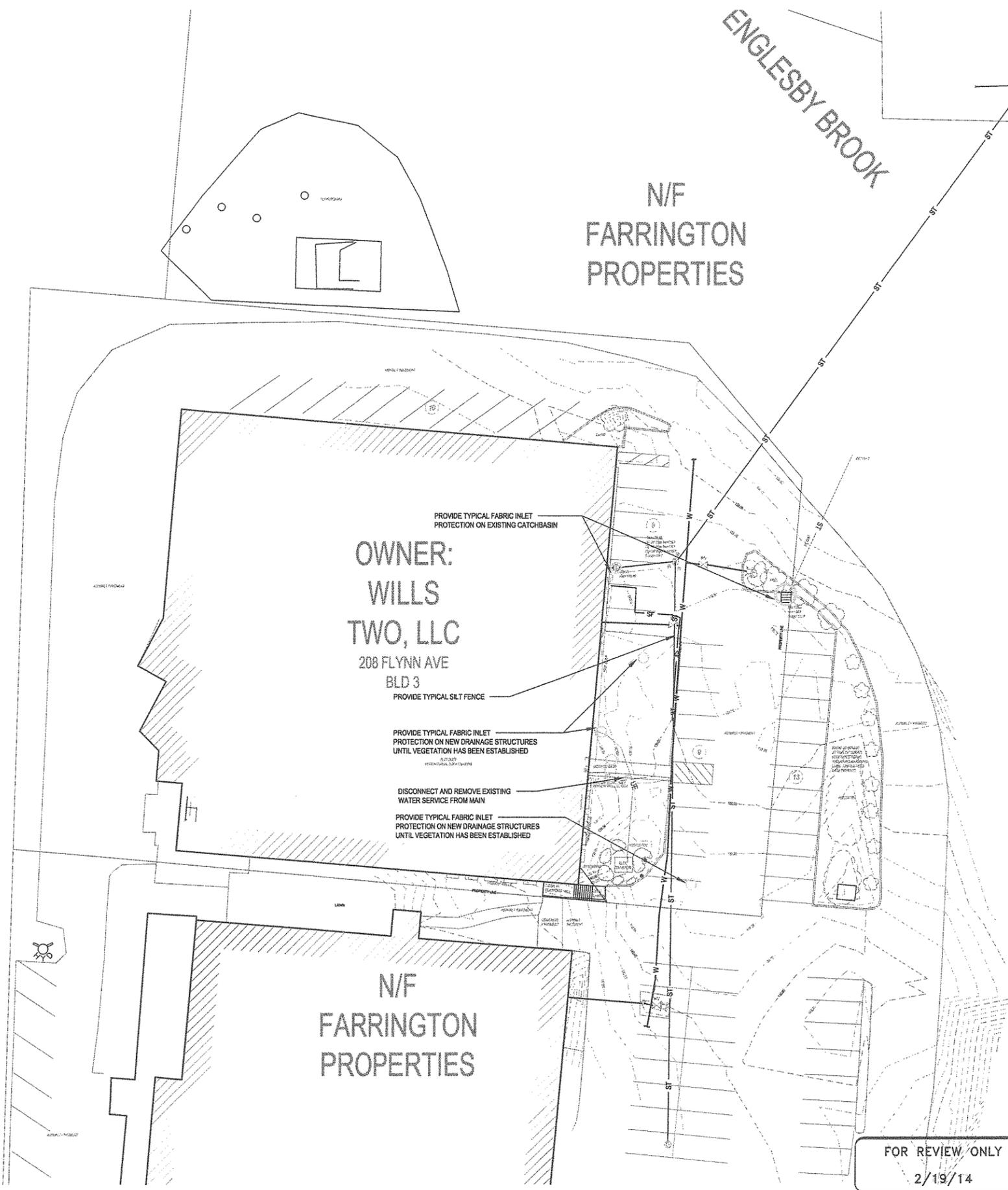
**SELECT DESIGN
RENOVATIONS**

BURLINGTON, VERMONT
DATE: FEBRUARY 19, 2014
SCALE: AS NOTED
CHECKED: JZ
DRAWN BY: JZ

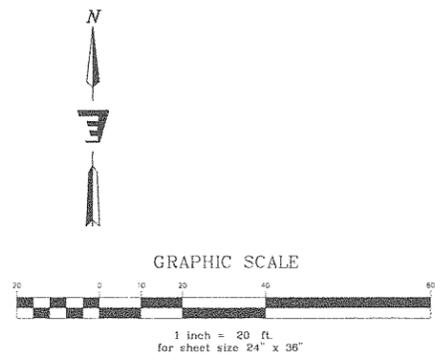
Existing
Conditions
& EPSC
Plan

C1.1
EV# 13667

RAILROAD R.O.W.



FOR REVIEW ONLY
2/19/14



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 FEB 24 2014
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 PLANNING & ZONING

ENGLESBY BROOK

N/F
 FARRINGTON
 PROPERTIES

SMITH
 ALVARO Z
 SIENKIEWYCZ

ARCHITECTS
 117 St. Paul Street
 3rd Floor
 Burlington, VT
 05401

P: 802-863-2227
 F: 802-863-0093

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 P: 802-863-6225

STRUCTURAL
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 825 FERRY ROAD, SUITE 201
 P.O. BOX 596
 CHARLOTTE, VT 05445
 P: 802-425-4350

MEP:
 VERMONT MECHANICAL, INC.
 P.O. BOX 728
 WILUSTRON, VT 05495
 P: 802-862-5900
 F: 802-655-7828

SAS PROJECT NUMBER: 0204

PROJECT
 SELECT DESIGN
 RENOVATIONS

BURLINGTON, VERMONT
 DATE: FEBRUARY 19, 2014
 SCALE: AS NOTED
 CHECKED: JZ
 DRAWN BY: JZ

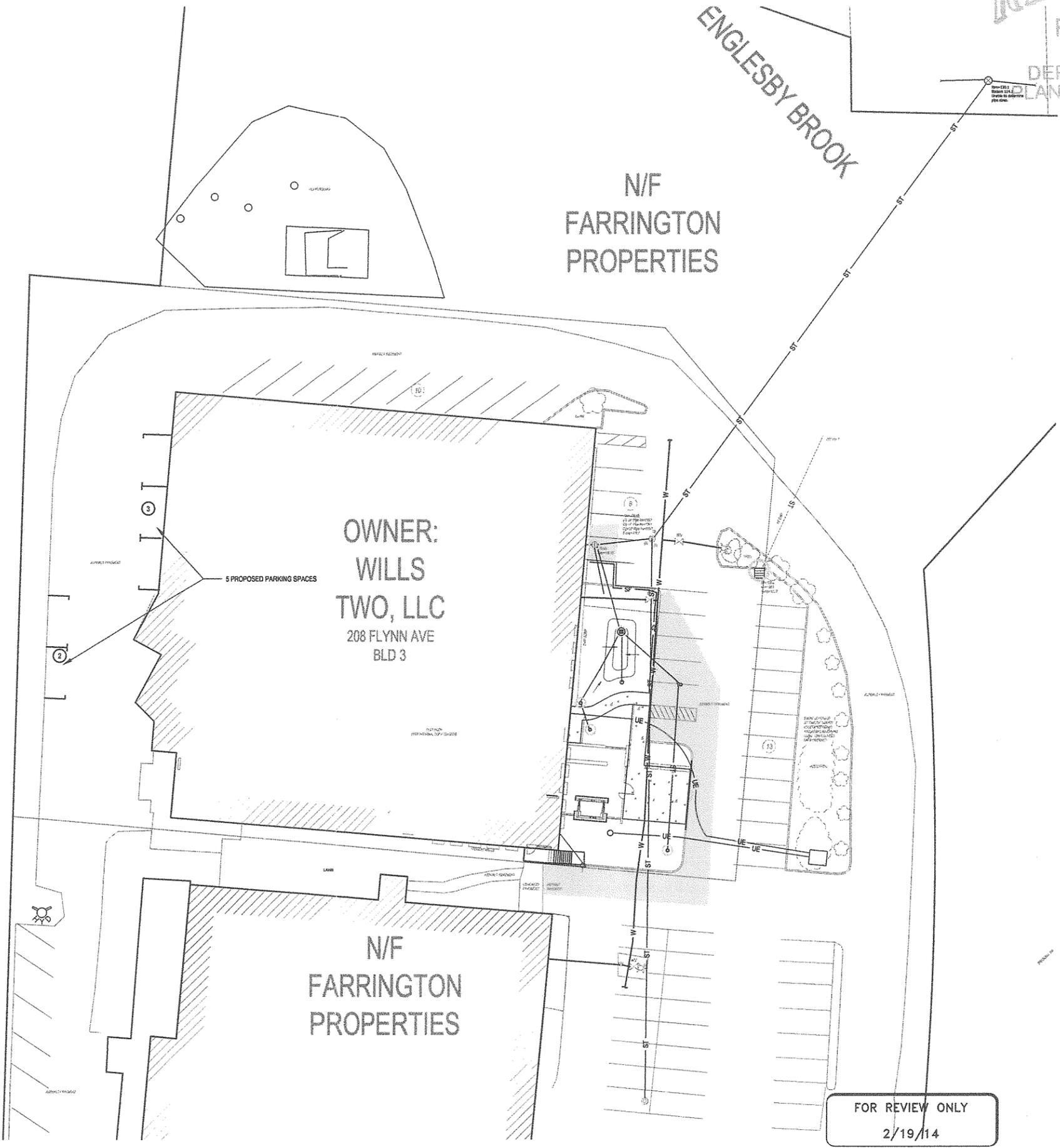
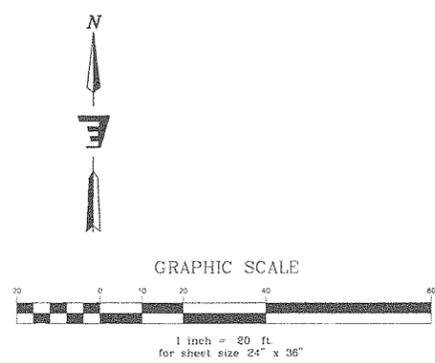
Proposed
 Overall
 Plan

C2.1
 EV# 13667

RAILROAD R.O.W.

OWNER:
 WILLS
 TWO, LLC
 208 FLYNN AVE
 BLD 3

5 PROPOSED PARKING SPACES



FOR REVIEW ONLY
 2/19/14

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 FEB 24 2014
 DEPARTMENT OF
 PLANNING & ZONING

SMITH
 ALVARO
 SIENKIEWYCZ

ARCHITECTS
 117 St. Paul Street
 3rd Floor
 Burlington, VT
 05401

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SAS PROJECT NUMBER: 0204

PROPOSED
 SELECT DESIGN
 RENOVATIONS

BURLINGTON, VERMONT
 DATE: FEBRUARY 19, 2014
 SCALE: AS NOTED
 CHECKED: JZ
 DRAWN BY: JZ

Enlarged
 Proposed
 Conditions

C2.2

EV# 14028

LEGEND

EXISTING FEATURES	PROPOSED FEATURES
⊕	MANHOLE
⊞	CATCH BASIN
⊕	STORM MANHOLE
⊕	HYDRANT
---	SIGN
+100.5	SPOT ELEVATION
---	PROPERTY LINE
---	EDGE OF PAVEMENT

GENERAL NOTES

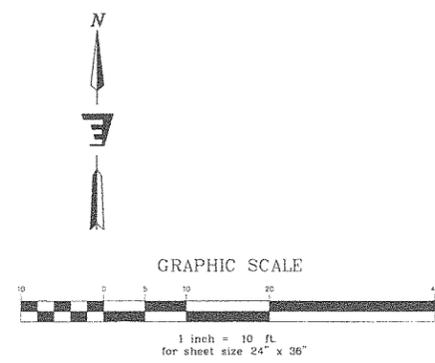
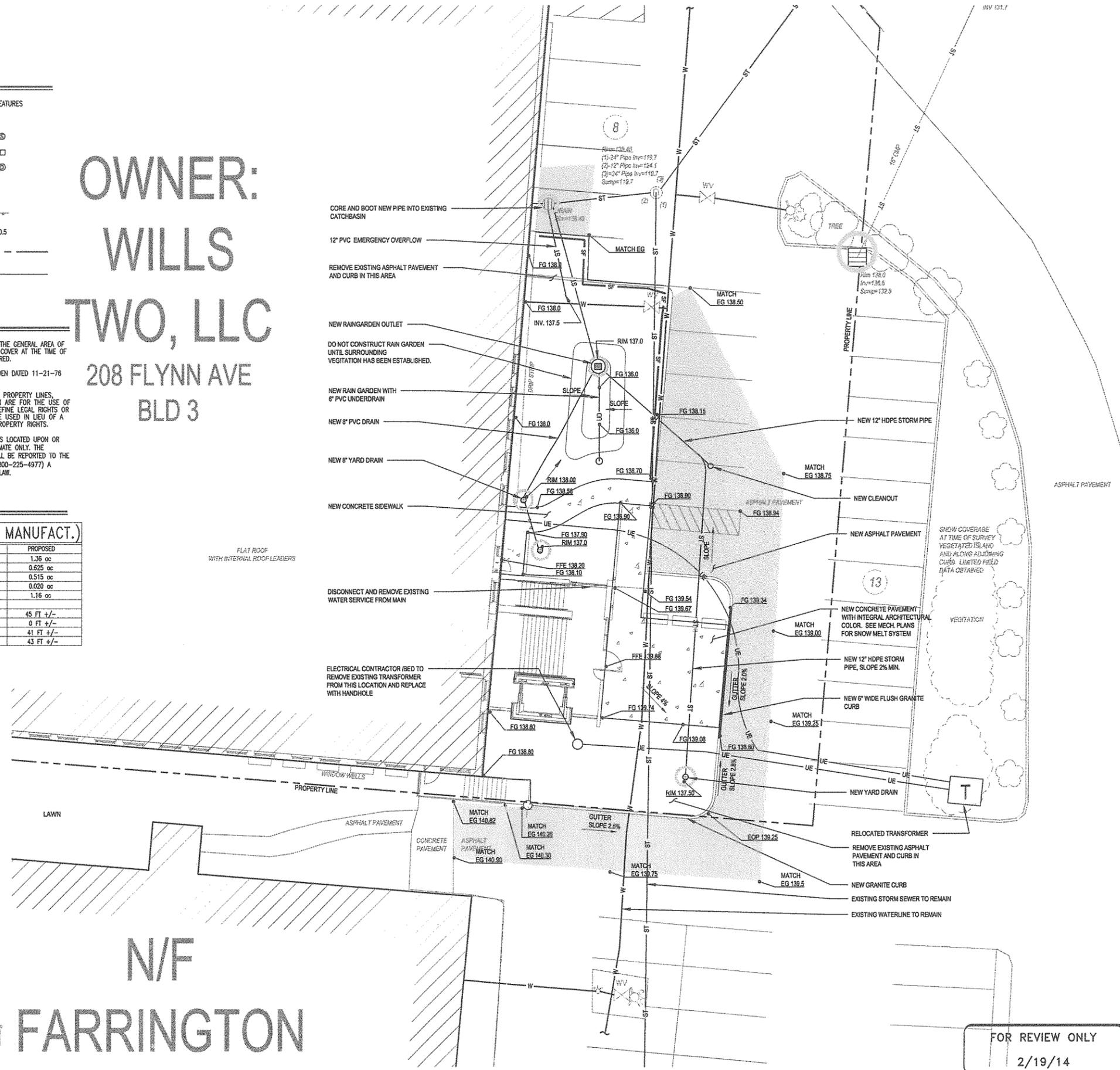
- THIS PLAN IS BASED ON:
 - A TOPOGRAPHIC AND EXISTING CONDITIONS FIELD SURVEY LIMITED TO THE GENERAL AREA OF THE PROPOSED PROJECT IN JANUARY, 2014. THERE WAS PARTIAL SNOW COVER AT THE TIME OF THE FIELD SURVEY AND SOME EXISTING CONDITION FEATURES WERE INFERRED.
 - A SURVEY TITLED UNITED REALTY CORP. SUBDIVISION BY JAMES R. OGDEN DATED 11-21-76 AND RECORDED ON SLIDE 98 IN THE BURLINGTON LAND RECORDS.
- ENGINEERING VENTURES HAS NOT PERFORMED A BOUNDARY SURVEY. THE PROPERTY LINES, EASEMENTS AND OTHER REAL PROPERTY DESCRIPTIONS PROVIDED IN THIS PLAN ARE FOR THE USE OF THE CITY OF BURLINGTON AND FOR LOCAL PERMITTING ONLY. THEY DO NOT DEFINE LEGAL RIGHTS OR MEET VERMONT LEGAL REQUIREMENTS FOR A LAND SURVEY AND SHALL NOT BE USED IN LIEU OF A SURVEY AS THE BASIS OF ANY LAND TRANSFER OR ESTABLISHMENT OF ANY PROPERTY RIGHTS.
- UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL UTILITY CONFLICTS. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT, OWNER, AND ENGINEER. THE CONTRACTOR SHALL CONTACT DIG SAFE (800-225-4977) A MINIMUM OF 48 HOURS PRIOR TO ANY CONSTRUCTION AND IN ACCORDANCE WITH LAW.

LOT COVERAGE SUMMARY

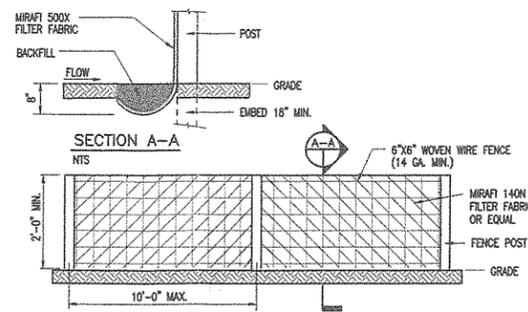
ZONING DISTRICT: ELM (ENTERPRISE LGT MANUFACT.)

	REQUIRED (MAX./MIN.)	EXISTING	CHANGE	PROPOSED
LOT SIZE		1.36 ac	1.36 ac	1.36 ac
BUILDING		0.61 ac	0.015 ac	0.625 ac
DRIVE/PARKING		0.54 ac	-0.25 ac	0.515 ac
WALKWAYS		0.01 ac	0.010 ac	0.020 ac
TOTAL		1.16 ac	1.16 ac	1.16 ac
LOT COVERAGE	80%	85.2%	0	0
FRONT SETBACK (EAST)	5'	58 FT +/-	-13 FT	45 FT +/-
SIDE SETBACK (SOUTH)	0'	0 FT +/-	0	0 FT +/-
SIDE SETBACK (NORTH)	0'	41 FT +/-	0	41 FT +/-
REAR SETBACK	10% (25 FT)	43 FT +/-	0	43 FT +/-

OWNER:
 WILLS
 TWO, LLC
 208 FLYNN AVE
 BLD 3



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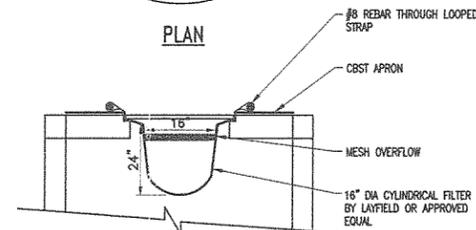
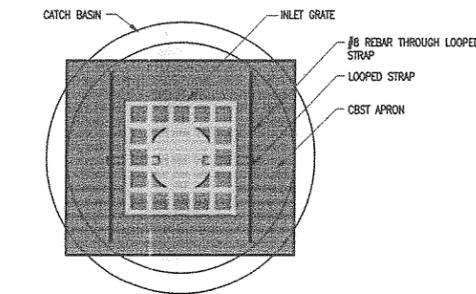


SILT FENCE NOTES

- SILT FENCE SHALL BE PRE-FABRICATED EROSION CONTROL FENCE BY MIRAFI OR EQUAL, OR CONSTRUCTED IN PLACE AS SPECIFIED HEREIN.
- CONSTRUCTED IN PLACE SILT FENCE:
 - WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER FABRIC TO BE FASTENED SECURELY TO WOVEN WIRE FENCE TIES SPACED EVERY 24" AT TOP OF MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6", FOLDED AND STAPLED.
- INSPECTION SHALL BE FREQUENT (MINIMUM ONCE A WEEK AND AFTER EVERY RAINFALL). MAINTENANCE SHALL BE PERFORMED AS NEEDED, AND SEDIMENT REMOVED WHEN "BULGES" DEVELOP IN SILT FENCE.

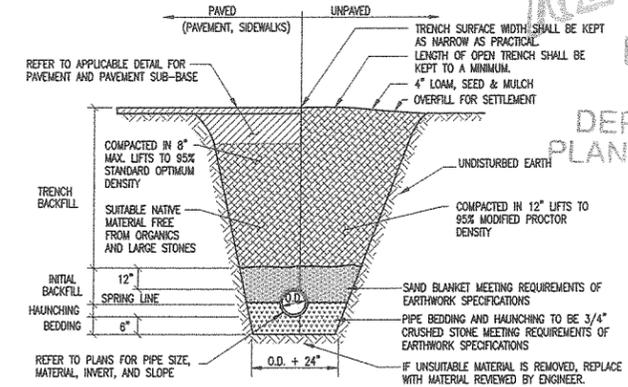
TYPICAL SILT FENCE DETAIL

NOT TO SCALE



TYPICAL FABRIC INLET PROTECTION

NOT TO SCALE

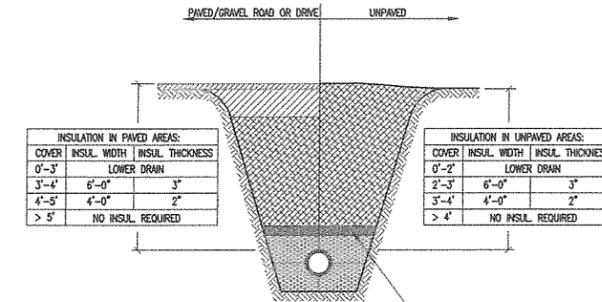


STORM DRAIN TRENCH NOTES

- UNLESS OTHERWISE NOTED, ASSUME CLASS "C" SOILS. PERFORM ALL EXCAVATIONS TO OSHA REQUIREMENTS.
- BEDDING TO PROVIDE A FIRM, STABLE, CONTINUOUS AND UNIFORM SUPPORT FOR THE FULL LENGTH OF PIPE.
- WHEN APPLICABLE, INSTALL PIPE WITH BELL ENDS DOWN SLOPE. PREVENT SEDIMENT FROM ENTERING NEW STORM DRAIN SYSTEM DURING CONSTRUCTION.
- NO MECHANICAL TAMPERS SHALL BE USED DIRECTLY OVER PIPE TO INSURE PIPE IS NOT DAMAGED.
- PROVIDE 6" OF COVER OVER PIPE IN PAVED AREAS AND 5" OF COVER OVER PIPE IN UNPAVED AREAS. REFER TO INSULATION DETAIL FOR AREAS WHERE PROPER COVER CAN NOT BE ACHIEVED.

TYPICAL STORM DRAIN TRENCH DETAIL

SCALE: NONE



TRENCH NOTES:

- REFER TO APPLICABLE TRENCH DETAIL FOR SPECIFIC BACKFILL INFORMATION.

INSULATION OVER SHALLOW SEWER LINE DETAIL

SCALE: NONE

RECEIVED
FEB 24 2014
PROJECT PRINT
NOT FOR CONSTRUCTION

DEPARTMENT OF
PLANNING & DEVELOPMENT

SMITH
ALVARO
SIENKIEWICZ

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SAS PROJECT NUMBER: 0204

PROJECT

SELECT DESIGN
RENOVATIONS

BURLINGTON, VERMONT

DATE: FEBRUARY 19, 2014
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DRAWN BY: JZ

REVISIONS

Stormwater
Details

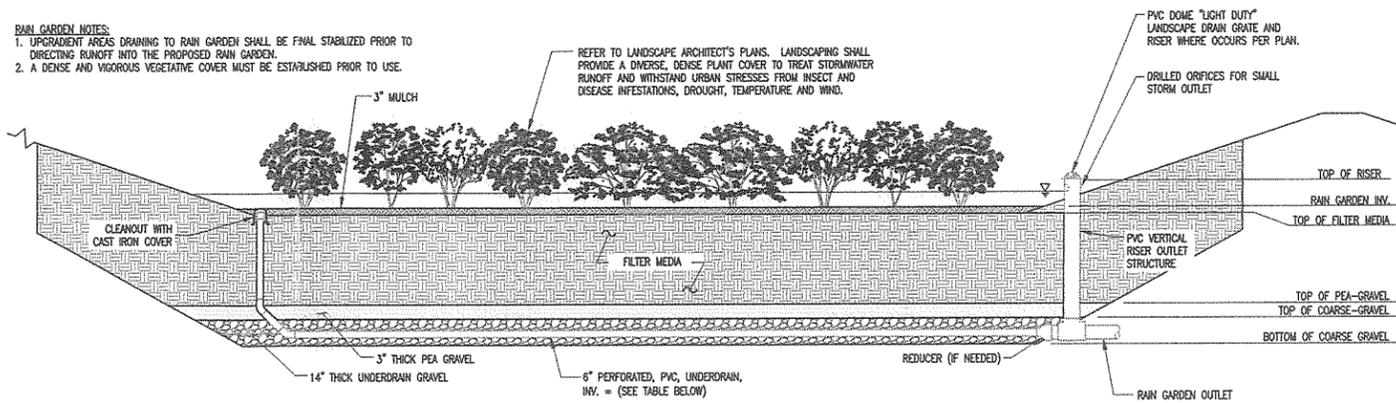
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2/19/14

C3.2

RAIN GARDEN NOTES:

1. UPGRADIENT AREAS DRAINING TO RAIN GARDEN SHALL BE FINAL STABILIZED PRIOR TO DIRECTING RUNOFF INTO THE PROPOSED RAIN GARDEN.
2. A DENSE AND VIGOROUS VEGETATIVE COVER MUST BE ESTABLISHED PRIOR TO USE.

REFER TO LANDSCAPE ARCHITECT'S PLANS. LANDSCAPING SHALL PROVIDE A DIVERSE, DENSE PLANT COVER TO TREAT STORMWATER RUNOFF AND WITHSTAND URBAN STRESSES FROM INSECT AND DISEASE INFESTATIONS, DROUGHT, TEMPERATURE AND WIND.



MATERIALS SPECIFICATIONS:					
PARAMETER	SPECIFICATION		SIZE	SEPARATION OF MATERIAL	NOTES
FILTER MEDIA [29" DEEP]	COMPONENT MATERIAL	PERCENT OF MIXTURE BY VOLUME	SEPARATION OF MATERIAL		BARK MULCH SHALL BE MODERATELY FINE, SHREDDED BARK OR WOOD FIBER MULCH, WITH FINES AS INDICATED. USDA SOIL TYPE FOR LOAMY COARSE SAND
			SIEM. NO.	% PASSING	
	BARK MULCH	20% TO 30%	200	<5	
			10	85 to 100	
LOAMY COARSE SAND	70% TO 80%	20	70 to 100		
		60	15 to 40		
		200	8 to 15		
MULCH [3" DEEP]	SHREDDED HARDWOOD				AGED 6 MONTHS, MINIMUM
PEA GRAVEL	ASTM C33-03		NO. 8 (3/8" TO #8)		
UNDERDRAIN GRAVEL	ASTM C33-03		NO. 6 (3/4" TO 3/8")		

RAIN GARDEN SCHEDULE	
RISER OUTLET DIA. (IN)	12
RISER OUTLET RIM ELEV.	137.00
RISER LATERAL QTY	1
RISER ORIFICE SIZE (IN)	1
RISER LATERAL ORIFICE INV.	136.25
RAIN GARDEN SURFACE	136.00
MULCH DEPTH (IN)	4
TOP OF FILTER MEDIA ELEV.	135.66
FILTER MEDIA DEPTH (IN)	24
TOP OF PEA GRAVEL ELEV.	133.66
TOP OF COARSE-GRAVEL ELEV.	133.41
6" PERF. UNDERDRAIN INV.	132.41
BOT. OF COARSE GRAVEL ELEV.	132.25

FILTER MEDIA:

THE SOIL SHOULD BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHOULD BE MIXED OR DUMPED WITHIN THE BIORETENTION AREA THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE FILTER MEDIA SHOULD BE FREE OF NOXIOUS WEEDS. THE FILTER MEDIA SHOULD BE TESTED AND SHOULD MEET THE FOLLOWING CRITERIA:

- PH RANGE 5.2 - 7.0
- ORGANIC MATTER 1.5 - 4%
- MAGNESIUM 35 LB./AC
- PHOSPHORUS P205 75 LB./AC
- POTASSIUM K2O 85 LB./AC
- SOLUBLE SALTS NOT TO EXCEED 500 PPM

BIORETENTION DETAIL

SCALE: NONE

PROGRESS PRINT
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SMITH
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Rain
Garden
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C3.3

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