

LEGEND

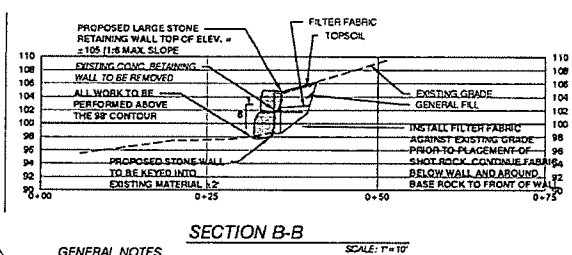
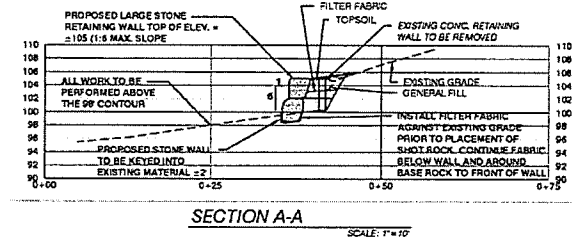
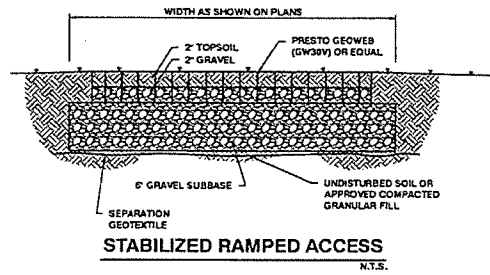
- APPROXIMATE PROPERTY LINE
- APPROXIMATE SETBACK LINE
- - - EXISTING CONTOUR
- EXISTING GAVEL
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- EDGE OF BRUSHWOODS
- IRON ROD PIPE FOUND
- PROJECT BENCHMARK
- △ SURVEY POINT
- AG/BG ABOVE GROUND / BELOW GROUND

EROSION CONTROL LEGEND

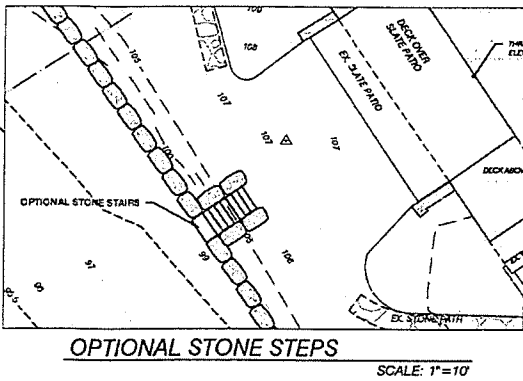
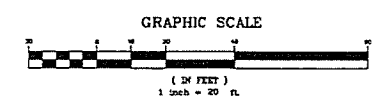
- SILT FENCE
- EROSION MATTING

ZONING DISTRICT: RESIDENTIAL - LOW DENSITY (RLV) DISTRICT
PARCEL = 36,236.2 S.F.

CATEGORY	ZONING REGULATIONS	EXISTING	PROPOSED
COVERAGE		9.5%	9.5%
BUILDING TOTAL	35%	21%	21%
SETBACK			
FRONT YARD	ADV. 2 ADJ LOTS	137'±	137'±
SIDE YARD	10% LOT WIDTH	25'±	25'±
REAR YARD	75' OHW	37'±	37'±
BUILDING HEIGHT	.35'		



- GENERAL NOTES**
- UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL UTILITY CONFLICTS. ALL DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER. THE CONTRACTOR SHALL CONTACT DIS SAFE (888-344-7233) PRIOR TO ANY CONSTRUCTION.
 - THE CONTRACTOR SHALL REPAIR/RESTORE ALL DISTURBED AREAS (ON OR OFF THE SITE) AS A DIRECT OR INDIRECT RESULT OF THE CONSTRUCTION.
 - ALL GRASSED AREAS SHALL BE MAINTAINED UNTIL FULL VEGETATION IS ESTABLISHED.
 - MAINTAIN ALL TREES OUTSIDE OF CONSTRUCTION LIMITS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NECESSARY FOR COMPLETE AND OPERABLE FACILITIES AND UTILITIES.
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL ITEMS AND MATERIALS INCORPORATED INTO THE SITE WORK. WORK SHALL NOT BEGIN ON ANY ITEM UNTIL SHOP DRAWING APPROVAL IS GRANTED.
 - IN ADDITION TO THE REQUIREMENTS SET IN THESE PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL COMPLETE THE WORK IN ACCORDANCE WITH ALL PERMIT CONDITIONS AND ANY LOCAL PUBLIC WORKS STANDARDS.
 - THE TOLERANCE FOR FINISH GRADES FOR ALL PAVEMENT, WALKWAYS AND LAWN AREAS SHALL BE 0.1 FEET.
 - ANY DEMOLITION NECESSARY FOR THE COMPLETION OF THE SITE WORK SHALL BE CONSIDERED AS PART OF THE CONTRACT AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
 - THE CONTRACTOR SHALL COORDINATE ALL WORK WITHIN TOWN ROAD R.O.W. WITH TOWN AUTHORITIES.
 - EXISTING PAVEMENT AND TREE STUMPS TO BE REMOVED SHALL BE DISPOSED OF AT AN APPROVED OFF-SITE LOCATION. ALL PAVEMENT CUTS SHALL BE MADE WITH A PAVEMENT SAW.
 - IF THERE ARE ANY CONFLICTS OR INCONSISTENCIES WITH THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR VERIFICATION BEFORE WORK CONTINUES ON THE ITEM IN QUESTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING TESTING AND INSPECTION SERVICES INDICATED IN THE CONTRACT DOCUMENTS. TYPICAL FOR CONCRETE AND SOIL TESTING.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT AND FIELD ENGINEERING REQUIRED FOR COMPLETION OF THE PROJECT. CIVIL ENGINEERING ASSOCIATES WILL PROVIDE AN AUTOCAD FILE WHERE APPLICABLE.
 - THE OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ANY AND ALL SAFETY FENCES OR RAILS ABOVE EXISTING AND PROPOSED WALLS. THE OWNER SHALL VERIFY LOCAL, STATE AND INSURANCE REQUIREMENT GUIDELINES FOR THE INSTALLATION AND VERIFY ANY AND ALL PERMITTING REQUIREMENTS.



SITE ENGINEER:

CIVIL ENGINEERING ASSOCIATES, INC.
70 MANFRED VIEW LANE, SOUTH BURLINGTON, VT 05403
PL 802-864-2383

DRAWN: MAB
CHECKED: JLM
APPROVED: C/JG

CLIENT: **EGGER**

66 RIDGE HILL FARM ROAD
WELLESLEY, MA 02452

PROJECT: **SHORELINE STABILIZATION**

116 SUNSET CLIFF
BURLINGTON VT

BURLINGTON

LOCATION MAP
1" = 2000'

DATE	REVISION	REVISION

PROPOSED CONDITIONS SITE PLAN

DATE: 03/13/2018
SCALE: 1" = 20'
PROJ. NO.: 18107

DRAWING NUMBER: **C1.1**

P:\MISC\CD\Projects\18107\18107-CADD Files\18107-CADD Files\18107-Site.dwg, 3/13/2018 4:20:56 PM, m.burke

