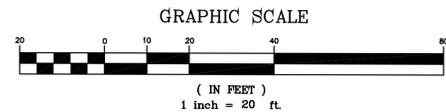
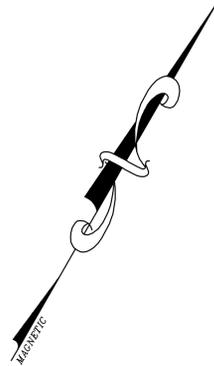
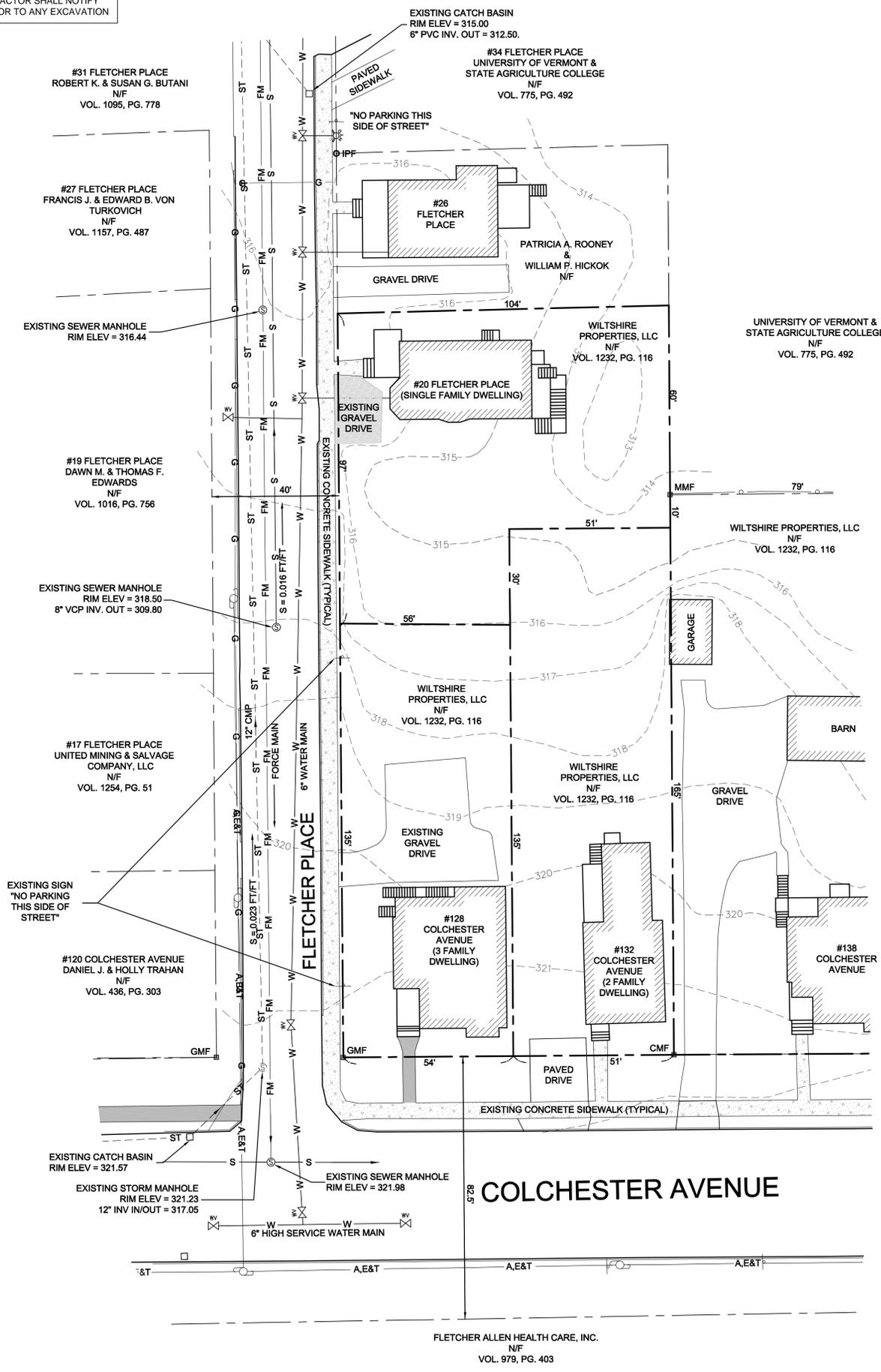


LOCATION PLAN
NTS



THE CONTRACTOR SHALL NOTIFY 'DIGSAFE' PRIOR TO ANY EXCAVATION



LEGEND

- EXISTING PROJECT BOUNDARY
- - - ABUTTING PROPERTY LINE
- - - BUILDING SETBACK
- - - EXISTING GROUND CONTOUR
- - - A,E&T EXISTING UTILITY POLE AND OVERHEAD WIRE
- - - S EXISTING SEWER LINE
- - - W EXISTING WATER LINE
- - - EXISTING CHAIN LINK FENCE

PROJECT STATISTICS

ZONING DISTRICT - INSTITUTIONAL

DIMENSIONAL REQUIREMENTS:	REQUIRED	EXISTING		
MAXIMUM DENSITY	20 DU/ ACRE	20 FLETCHER PLACE 8,746 SF (4 MAX)	128 COLCHESTER AVE. 7,350 SF (3.3 MAX)	132 COLCHESTER AVE. 8,349 SF (3.8 MAX)
MINIMUM FRONT SETBACK	15 FT MIN (AVG. OF 2 NEIGHBORING LOTS)	8 FT	6 FT	4.6 FT
MINIMUM SIDE SETBACK	5 - 20 FT (10% OF LOT WIDTH)	5.3 FT	1.9 FT	2.6 FT
MINIMUM REAR SETBACK	20 - 75 FT (25% OF LOT DEPTH)	32.6 FT	82 FT	95 FT
MAXIMUM COVERAGE	40%	20.0% (1,757 SF)	39.9% (2,935 SF)	17.6% (1,470 SF)

EXISTING USES - SINGLE AND MULTI FAMILY RESIDENTIAL

UTILITIES:
WATER/WASTEWATER - MUNICIPAL SERVICES.

EXISTING PARKING

20 FLETCHER PLACE	2 SPACES PER ZP 12-0868FC
128 COLCHESTER AVE.	6 SPACES PER 1-3-96 APPROVAL
132 COLCHESTER AVE.	2 SPACES

SHEET INDEX

- 1 EXISTING CONDITIONS SITE PLAN
- 2 OVERALL SITE PLAN
- 3 20 FLETCHER PLACE PROPOSED SITE AND UTILITY PLAN
- 4 GRADING PLAN
- 5 LANDSCAPING PLAN
- 6 LIGHTING PLAN
- 7 WATER, STORMWATER & SITE DETAILS AND SPECIFICATIONS
- 8 SEWER, LANDSCAPING & EROSION CONTROL DETAILS AND SPECIFICATIONS

OWNER/APPLICANT

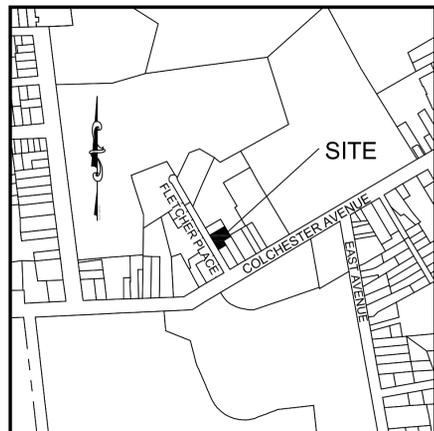
WILTSHIRE PROPERTIES, LLC
c/o MARTHA LANG, Ph.D.
138 COLCHESTER AVENUE
BURLINGTON, VT 05401

NOTES

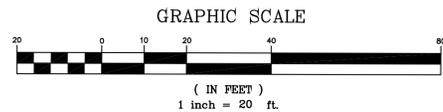
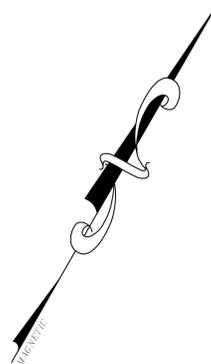
1. THIS IS A SITE PLAN ONLY AND IS NOT INTENDED TO BE USED FOR PROPERTY CONVEYANCES. SEE A PLAN ENTITLED "A PORTION OF LANDS OF WILTSHIRE PROPERTIES, LLC, 20 FLETCHER PLACE, 128 AND 132 COLCHESTER AVENUE, BOUNDARY LINE ADJUSTMENT PLAN" FOR A SURVEY OF THE PROPERTY.
2. THE SOILS ON THIS PROPERTY ARE A COMBINATION OF ADAMS AND WINDSOR LOAMY SANDS AND GEORGIA STONY LOAM SOILS.

3-7-16	REMOVE PROPOSED LOT LINES	DLH
Date	Revision	By
These plans shall only be used for the purpose shown below:		
<input type="checkbox"/> Sketch/Concept	<input type="checkbox"/> Act 250 Review	
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction	
<input checked="" type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing	
LANDS OF WILTSHIRE PROPERTIES, LLC.		Project No. 15141
ELIZABETH'S PLACE		Survey KMR
20 FLETCHER PL., 128 & 132 COLCHESTER AVE. BURLINGTON, VT 05403		Design DLH
EXISTING CONDITIONS SITE PLAN		Drawn DLH
		Checked DJS
		Date 12-7-15
		Scale AS NOTED
		Sheet number 1

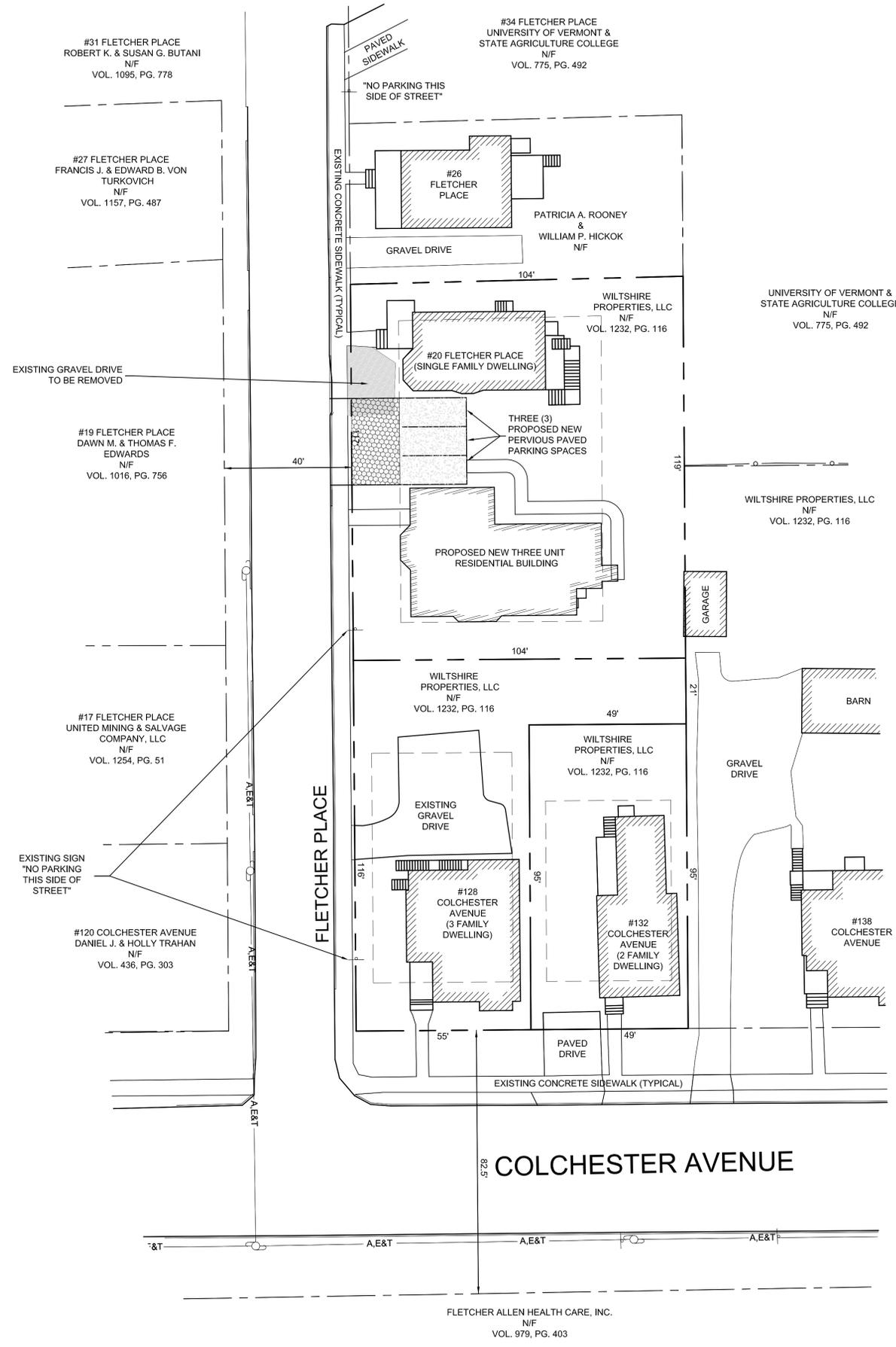




LOCATION PLAN
NTS



THE CONTRACTOR SHALL NOTIFY 'DIGSAFE' PRIOR TO ANY EXCAVATION



LEGEND

- EXISTING PROJECT BOUNDARY
- - - ABUTTING PROPERTY LINE
- - - BUILDING SETBACK
- - - EXISTING GROUND CONTOUR
- - - 316 - - - EXISTING UTILITY POLE AND OVERHEAD WIRE
- - - S - - - EXISTING SEWER LINE
- - - W - - - EXISTING WATER LINE
- - - O - - - EXISTING CHAIN LINK FENCE

PROJECT STATISTICS

ZONING DISTRICT - INSTITUTIONAL

DIMENSIONAL REQUIREMENTS:	REQUIRED	PROPOSED		
		20 FLETCHER PLACE	128 COLCHESTER AVE.	132 COLCHESTER AVE.
LOT SIZE	N/A	12,312 SF	7,350 SF	4,678 SF
MAXIMUM DENSITY	20 DU/ACRE	14 DU/ACRE	17.7 DU/ACRE	19 DU/ACRE
MINIMUM FRONT SETBACK	15 FT MIN.(AVG. OF 2 NEIGHBORING LOTS)*	8 FT (EXISTING)	6 FT (EXISTING)	4.6 FT (EXISTING)
MINIMUM SIDE SETBACK	5 - 20 FT (10% OF LOT WIDTH)	5.3 FT (EXISTING)	1.9 FT (EXISTING)	2.6 FT (EXISTING)
MINIMUM REAR SETBACK	20 - 75 FT (25% OF LOT DEPTH)	32.6 FT (26' REQ'D)	63 FT (29' REQ'D)	25 FT (24' REQ'D)
MAXIMUM COVERAGE	40%	39.8% (4,900 SF)	39.9% (2,935 SF)	31.4% (1,470 SF)

*WHICHEVER IS LESS

EXISTING USES - SINGLE AND MULTI FAMILY RESIDENTIAL

UTILITIES:
WATER/WASTEWATER - MUNICIPAL SERVICES.

EXISTING PARKING

20 FLETCHER PLACE	2 SPACES PER ZP 12-0868FC
128 COLCHESTER AVE.	6 SPACES PER 1-3-96 APPROVAL
132 COLCHESTER AVE.	2 SPACES

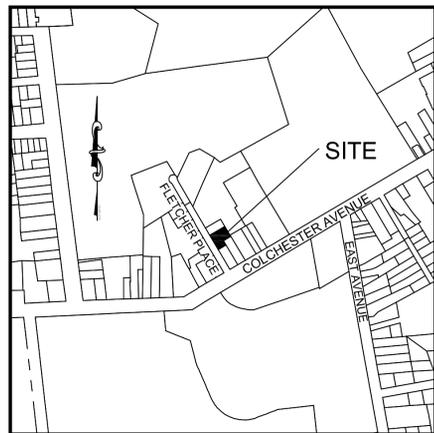
OWNER/APPLICANT

WILTSHIRE PROPERTIES, LLC
c/o MARTHA LANG, Ph.D.
138 COLCHESTER AVENUE
BURLINGTON, VT 05401

NOTES

- THIS IS A SITE PLAN ONLY AND IS NOT INTENDED TO BE USED FOR PROPERTY CONVEYANCES. SEE A PLAN ENTITLED "A PORTION OF LANDS OF WILTSHIRE PROPERTIES, LLC, 20 FLETCHER PLACE, 128 AND 132 COLCHESTER AVENUE, BOUNDARY LINE ADJUSTMENT PLAT" FOR A SURVEY OF THE PROPERTY.
- THE SOILS ON THIS PROPERTY ARE A COMBINATION OF ADAMS AND WINDSOR LOAMY SANDS AND GEORGIA STONY LOAM SOILS.

3-7-16	REVISE PARKING FOR 20 FLETCHER PLACE	DLH
Date	Revision	By
These plans shall only be used for the purpose shown below:		
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<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction	
<input checked="" type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing	
LANDS OF WILTSHIRE PROPERTIES, LLC.		Project No. 15141
ELIZABETH'S PLACE		Survey KMR
20 FLETCHER PL., 128 & 132 COLCHESTER AVE. BURLINGTON, VT 05403		Design DLH
OVERALL SITE PLAN		Drawn DLH
		Checked DJG
		Date 12-7-15
		Scale AS NOTED
		Sheet number
Lamoureux & Dickinson Consulting Engineers, Inc. 14 Morse Drive, Essex, VT 05452 802-878-4450 www.LDengineering.com		2

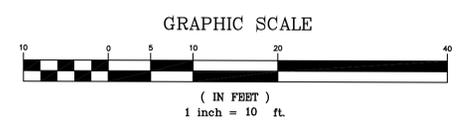
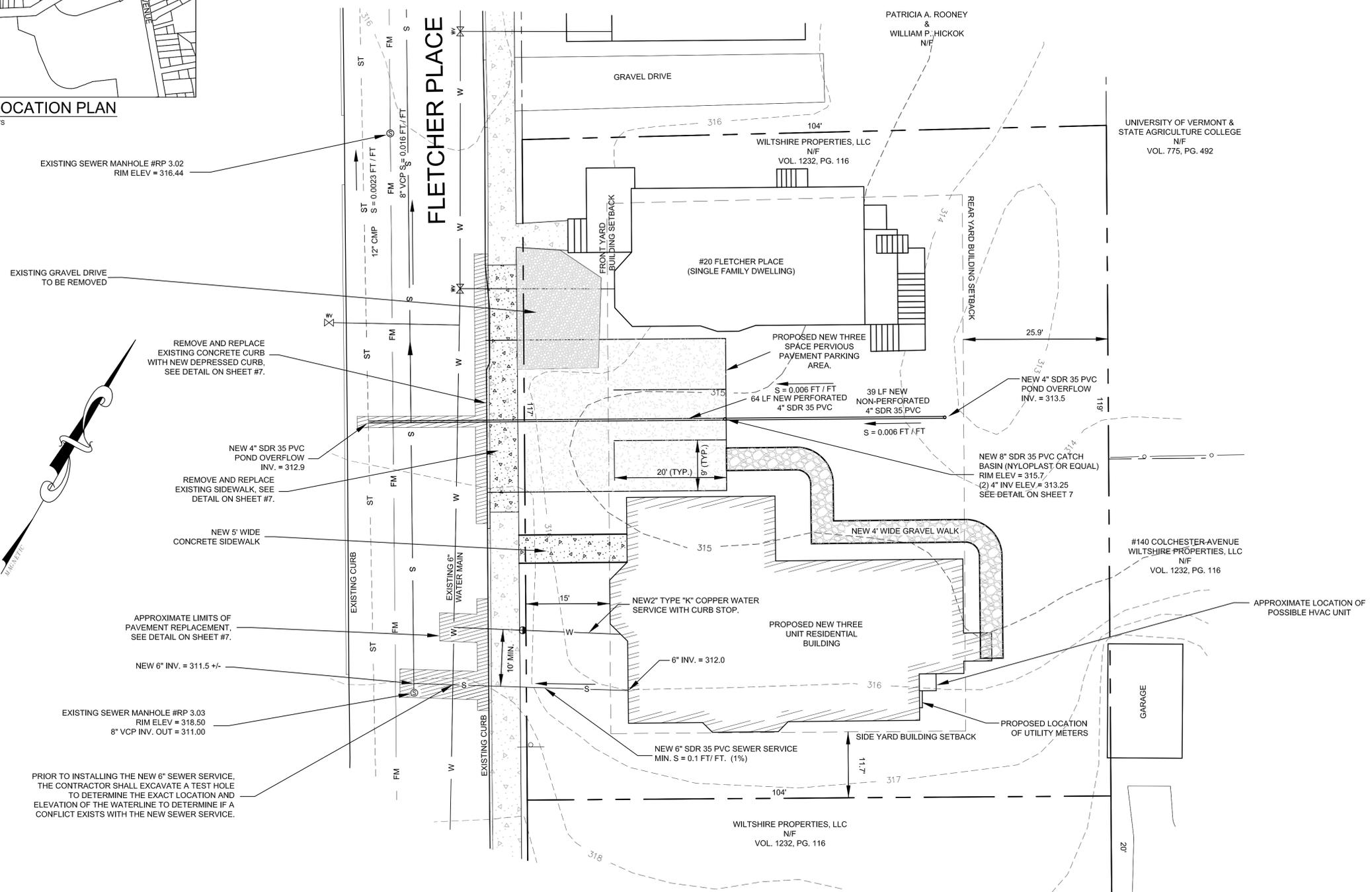


LOCATION PLAN
NTS

THE CONTRACTOR SHALL NOTIFY 'DIGSAFE' PRIOR TO ANY EXCAVATION

LEGEND

- EXISTING PROJECT BOUNDARY
- - - ABUTTING PROPERTY LINE
- - - BUILDING SETBACK
- - - EXISTING GROUND CONTOUR
- A&T --- EXISTING UTILITY POLE AND OVERHEAD WIRE
- S --- EXISTING SEWER LINE
- W --- EXISTING WATER LINE
- o --- EXISTING CHAIN LINK FENCE



NOTES

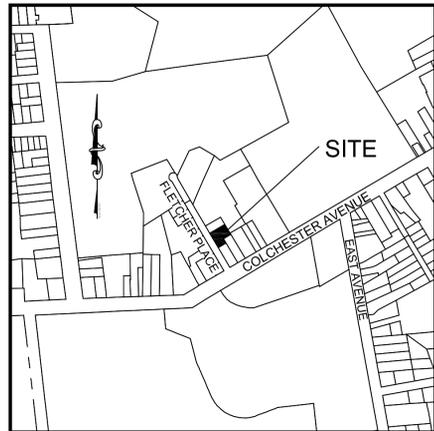
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OWNER/APPLICANT

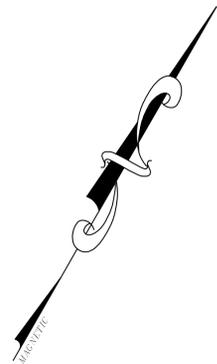
WILTSHIRE PROPERTIES, LLC
c/o MARTHA LANG, Ph.D.
138 COLCHESTER AVENUE
BURLINGTON, VT 05401

3-4-16	REVISE PARKING FOR 20 FLETCHER PLACE	DLH
Date	Revision	By
These plans shall only be used for the purpose shown below:		
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LANDS OF WILTSHIRE PROPERTIES, LLC.		Project No. 15141
ELIZABETH'S PLACE		Survey KMR
20 FLETCHER PL., 128 & 132 COLCHESTER AVE. BURLINGTON, VT 05403		Design DLH
20 FLETCHER PLACE PROPOSED SITE AND UTILITY PLAN		Drawn DLH
		Checked DJG
		Date 12-7-15
		Scale AS NOTED
		Sheet number 3
Lamoureux & Dickinson Consulting Engineers, Inc. 14 Morse Drive, Essex, VT 05452 802-878-4450 www.LDengineering.com		

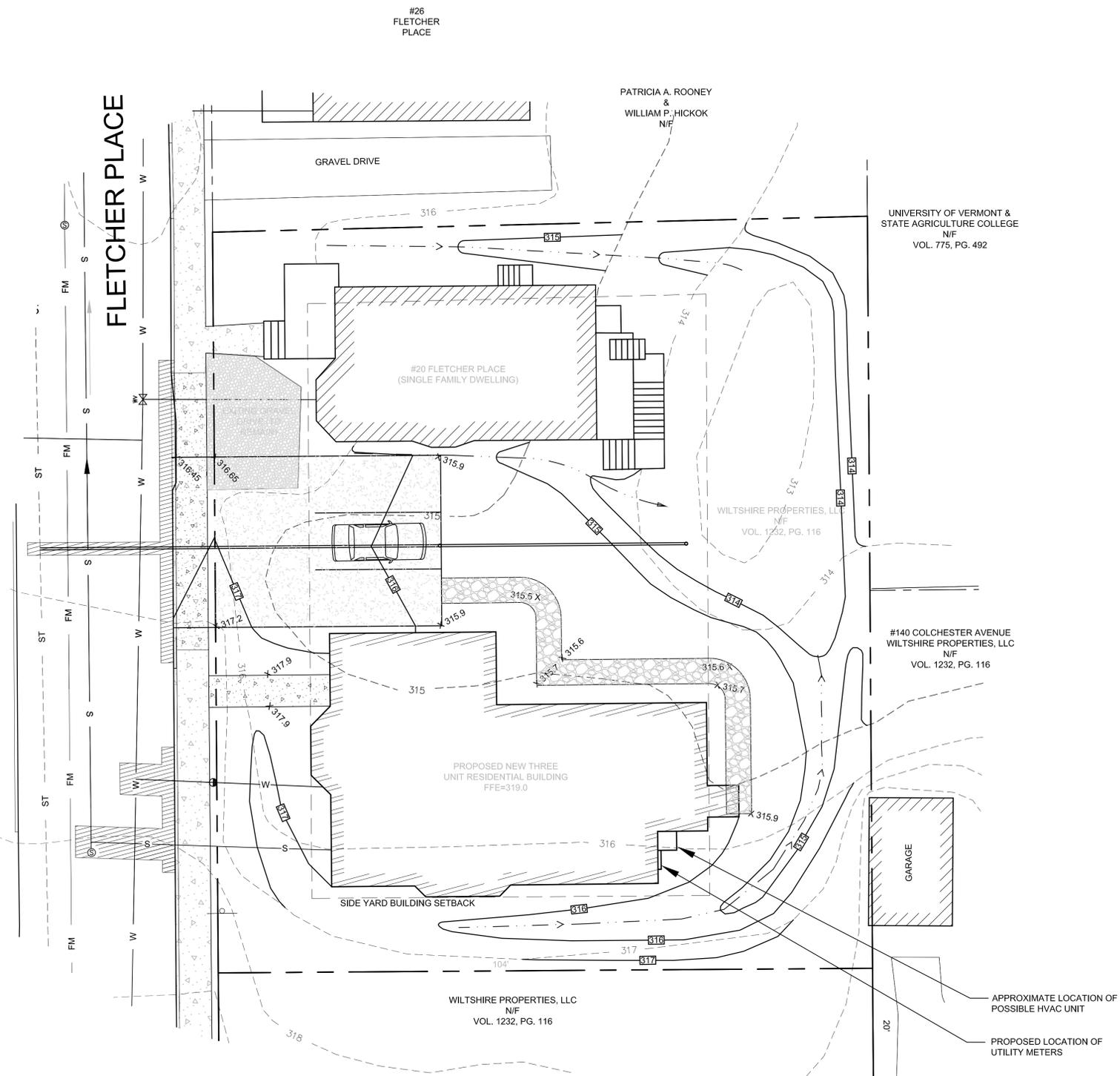
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LOCATION PLAN
NTS

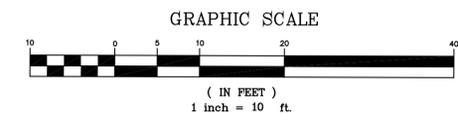


THE CONTRACTOR SHALL NOTIFY 'DIGSAFE' PRIOR TO ANY EXCAVATION



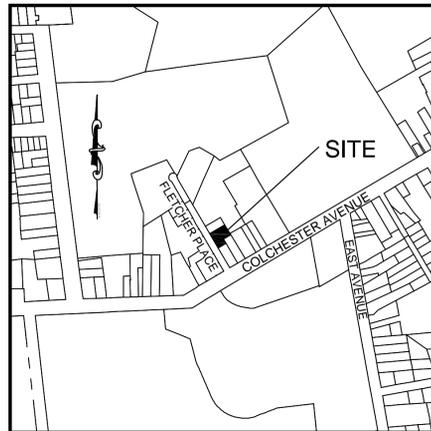
LEGEND

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	ABUTTING PROPERTY LINE
	BUILDING SETBACK
	EXISTING GROUND CONTOUR
	EXISTING UTILITY POLE AND OVERHEAD WIRE
	EXISTING SEWER LINE
	EXISTING WATER LINE
	FENCE
	NEW SWALE

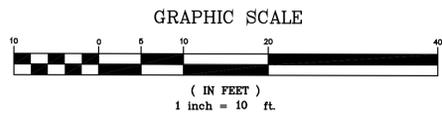
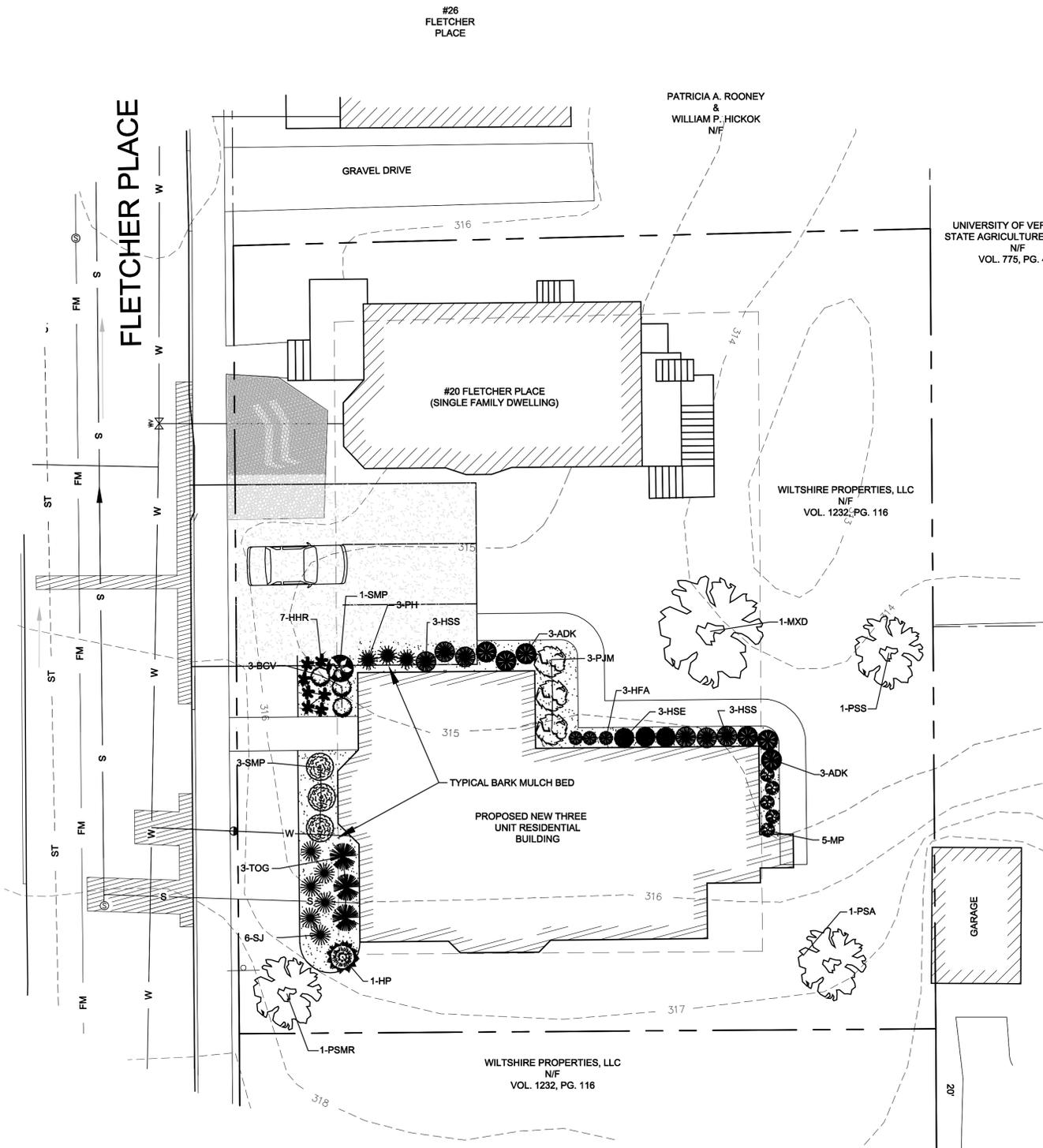
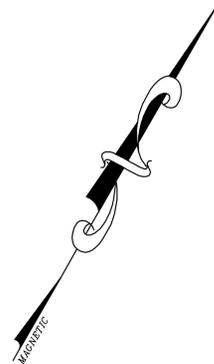


3-1-16	REVISE PARKING FOR 20 FLETCHER PLACE	DLH
Date	Revision	By
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<input checked="" type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing	
LANDS OF WILTSHIRE PROPERTIES, LLC.		Project No. 15141
ELIZABETH'S PLACE		Survey KMR
20 FLETCHER PL., 128 & 132 COLCHESTER AVE. BURLINGTON, VT 05403		Design DLH
GRADING PLAN		Drawn DLH
		Checked DJG
		Date 12-7-15
		Scale AS NOTED
		Sheet number
Lamoureux & Dickinson Consulting Engineers, Inc. 14 Morse Drive, Essex, VT 05452 802-878-4450 www.LDEngineering.com		4

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LOCATION PLAN
NTS



LEGEND

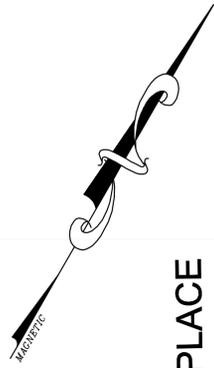
- EXISTING PROJECT BOUNDARY
- ABUTTING PROPERTY LINE
- BUILDING SETBACK
- - - 316 - - - EXISTING GROUND CONTOUR
- - - A,E&T - - - EXISTING UTILITY POLE AND OVERHEAD WIRE
- - - S - - - EXISTING SEWER LINE
- - - W - - - EXISTING WATER LINE

PLANTING SCHEDULE

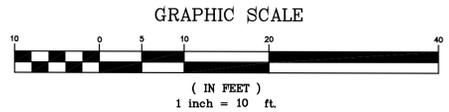
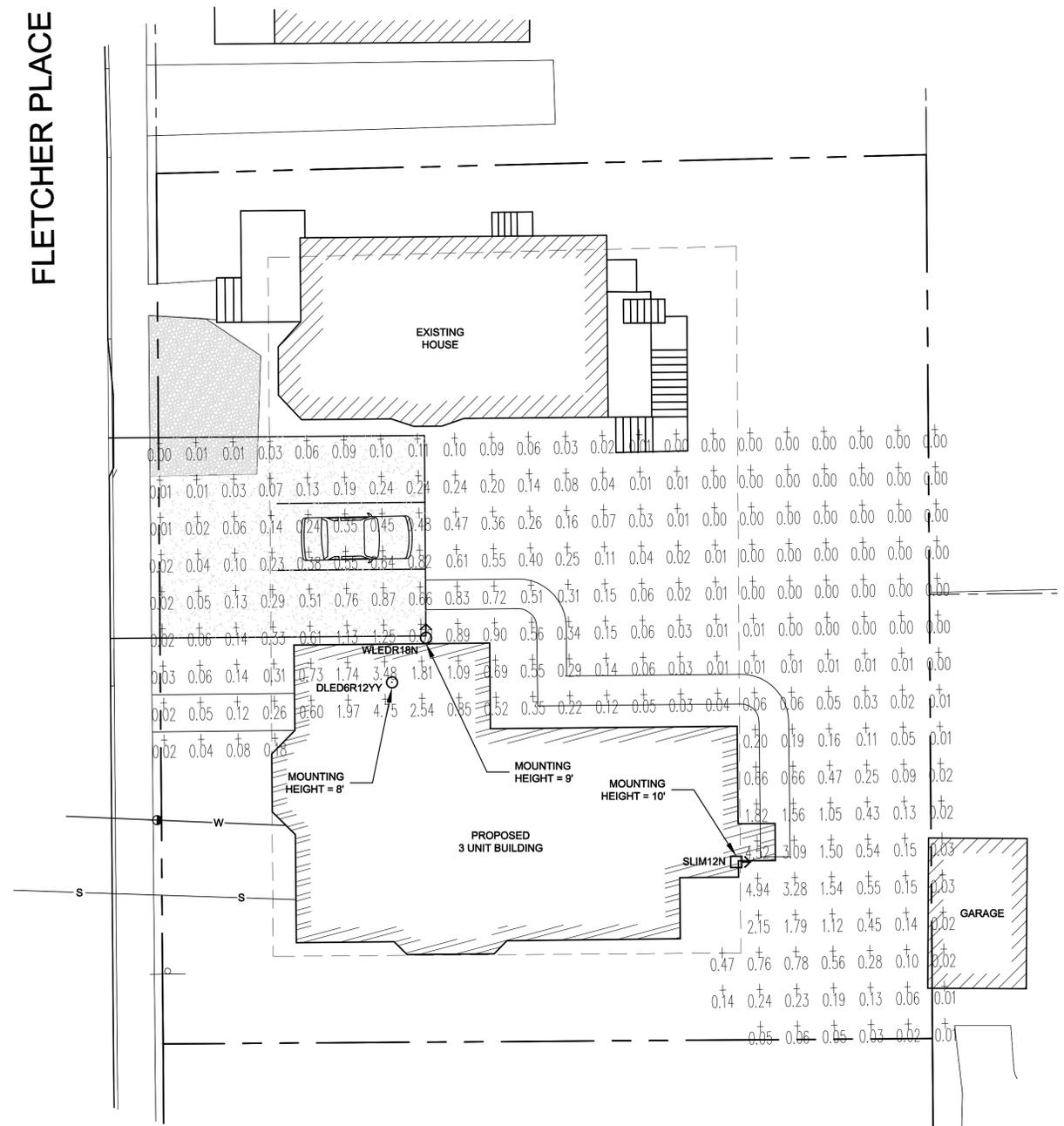
Count	ID	Common Name	Planting Schedule			
			Item Description	Unit	Height	Spread
Trees						
1	MXD	Fireside Apple	Malus x domestica 'Fireside'	5-7 gal	12-15 ft	14 ft
1	PSMR	Mt Royal European Plum	Prunus spp. 'Mt Royal'	5-7 gal	10-12 ft	>12 ft
1	PSA	Anjou Pear	Pyrus spp. 'Anjou'	5-7 gal	10-12 ft	>12 ft
1	PSS	Seckel Pear	Pyrus spp. 'Seckel'	5-7 gal	10-12 ft	>12 ft
Shrubs						
3	BGV	Green Velvet Boxwood	Buxus 'Green Velvet' (COPF)	3 gal	3 - 5 ft.	36 in. - 4 ft.
1	HP	Pinky Winky™ Hardy Hydrangea	Hydrangea paniculata 'DVPinky'	3 gal	4 - 7 ft.	4 - 7 ft.
3	PJM	PJM Rhododendron	Rhododendron 'PJM'	3 gal	3 - 5 ft.	4 - 7 ft.
6	SJ	Neon Flash Spirea	Spiraea japonica 'Neon Flash'	2-3 gal	30 in. - 3 ft.	24 - 36ft.
4	SMP	Dwarf Korean Lilac	Syringa meyeri 'Palibin'	2-3 gal	3 - 5 ft.	4 - 7ft.
3	TOG	Globe Arborvitae	Thuja occidentalis 'Globosa'	2 gal	3 - 5 ft	4 - 7ft.
Herbaceous						
6	ADK	Kneiffi Goat's Beard	Aruncus dioicus 'Kneiffi'	#2	30 in - 3 ft	24 - 36in
7	HHR	Happy Returns Daylily	Hemeroallis 'Happy Returns'	#1	12 - 18 in	<= 12in
3	HFA	Variegated Plantain Lily	Hosta fortunei 'Albomarginata'	#2		
3	HSE	Sieboldiana Elegans Plantain Lily	Hosta sieboldiana 'Elegans'	#2		
6	HSS	Sum & Substance Hosta	Hosta x 'Sum & Substance'	#2	24 - 30 in.	4 - 7 ft.
5	MP	Ostrich Fern	Matteuccia pennsylvanica	#1	30 in - 3 ft	12 - 24 in
3	PH	Cottage Mix Peony	Paeonia hybrids	#2	24 - 30 in.	24 - 36 ft.

3-1-16 REVISE PARKING FOR 20 FLETCHER PLACE		DLH
Date	Revision	By
These plans shall only be used for the purpose shown below:		
<input type="checkbox"/> Sketch/Concept	<input type="checkbox"/> Act 250 Review	
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction	
<input checked="" type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing	
LANDS OF WILTSHIRE PROPERTIES, LLC.		Project No. 15141
ELIZABETH'S PLACE		Survey KMR
20 FLETCHER PL., 128 & 132 COLCHESTER AVE. BURLINGTON, VT 05403		Design DLH
LANDSCAPING PLAN		Drawn DLH
		Checked DJG
		Date 12-7-15
		Scale AS NOTED
		Sheet number 5

LANDSCAPE DESIGN BY:



FLETCHER PLACE



SLIM12N

12, 14 and 26 Watt SLIM wall packs are ultra efficient and deliver impressive light distribution with a compact low-profile design that's super easy to install as a downlight or uplight.
 Color: Bronze Weight: 4.5 lbs

Project:	Type:
Prepared By:	Date:

RAB LIGHTING

Driver Info		LED Info	
Type:	Constant Current	Watts:	12W
120V:	0.12A	Color Temp:	4000K (Neutral)
208V:	0.08A	Color Accuracy:	82 CRI
240V:	0.07A	L70 lifespan:	100,000
277V:	0.06A	Lumens:	1372
Input Watts:	14W	Efficacy:	98 LPW
Efficiency:	85%		

Technical Specifications

<p>Listings: UL Listing: Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground. ADA Compliant: SLIM™ is ADA Compliant. DLC Listed: This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from Dark Sky Approved. IESNA LM-79 & LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have received the Department of Energy "Lighting Facts" label. Construction: IP Rating: Ingress Protection rating of IP68 for dust and water. Cold Weather Starting: The minimum starting temperature is -40°F/-40°C. Ambient Temperature: Suitable for use in 43°C (104°F) ambient temperatures. Thermal Management: Superior heat sinking with internal Air-Flow fins.</p>	<p>Housing: Precision die-cast aluminum housing. Mounting: Heavy-duty mounting bracket with hinged housing for easy installation. Recommended Mounting Height: Up to 8 ft. Lens: Tempered glass lens. Reflector: Specular thermoplastic. Gaskets: High temperature silicone. Finish: Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals. Green Technology: Mercury and UV free, and RoHS compliant. LED Characteristics: LED: Multi-chip, long life LED.</p>	<p>Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations. Color Consistency: 3-step MacAdam Ellipse binning to achieve consistent future-to-future color. Color Stability: LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period. Color Uniformity: RAB is range of CCT (Correlated Color Temperature) follows the guidelines for the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2011. Electrical: Driver: Constant Current, Class 2, 100-277V, 50/60 Hz, 4kV surge protection, 300mA, 100-240VAC 0.3-0.15 Amps, 277VAC, 0.15Amps, Power Factor 99%. TiD: 10.1% at 120V Other: HID Replacement Range: The SLIM12 can be used to replace 70W MH based on delivered lumens. California Title 24: SLIM12 complies with 2013 California Title 24 building and electrical codes as a recessed outdoor luminaire. See SLIM12PC for a model that complies as a commercial outdoor recessed luminaire_s_30 Walls.</p>
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Need help? Tech help line: 888-RAB-1090 Email: sales@rabweb.com Website: www.rabweb.com
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DLEDR12YY

LED retrofit downlights are perfect for updating existing recessed lighting without changing the fixture. Equivalent to 80W PAR.
 Color: White Weight: 1.4 lbs

Project:	Type:
Prepared By:	Date:

RAB LIGHTING

Driver Info		LED Info	
Type:	Constant Current	Watts:	12W
120V:	0.11A	Color Temp:	2700K
208V:	NA	Color Accuracy:	84 CRI
240V:	NA	L70 lifespan:	100,000
277V:	NA	Lumens:	875
Input Watts:	13W	Efficacy:	53 LPW
Efficiency:	94%		

Technical Specifications

<p>Listings: UL Listing: Suitable for damp locations. IESNA LM-79 & LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have received the Department of Energy "Lighting Facts" label. Electrical: Driver: Innovative integrated driver technology with 120V TRIAC and ELV dimming. Surge Protection: 2.5kV Construction: Lens: Polycarbonate diffusion lens for smooth light output. Compatibility: Low-profile design for maximum compatibility with 6" incandescent recessed downlight housings. Ambient Temperature: Suitable for use in 40°C ambient temperatures.</p>	<p>Cold Weather Starting: The minimum starting temperature is -22°F/-50°C. Housing: Professional-grade, die-cast aluminum construction. Adapters: Edison E26 medium base adapter included. GU24 socket adapter sold separately. Installation: Pre-installed Torx screws and optional friction clips are both included to aid in attaching and securing the DLEDR12 to the incandescent housing. Finish: Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals. Green Technology: Mercury and UV free, and RoHS compliant. LED Characteristics: Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.</p>	<p>LEDs: High-output, long-life LEDs with 3-step binning and integrated driver technology. Color Consistency: 3-step MacAdam Ellipse binning to achieve consistent future-to-future color. Other: ENERGY STAR: This product is ENERGY STAR® qualified. Equivalency: 12W replaces 80W PAR. California Title 24: DLEDR12 complies with 2013 California Title 24 building and electrical codes as a commercial indoor luminaire for general spaces when used with a vacancy sensor and TRIAC dimming control. Select a vacancy sensor using catalog number LV9500. TRIAC dimmer available by other. Warranty: RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and future finish.</p>
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WLED18N

18 Watt LED wall sconce. Die-cast aluminum wall bracket with five 1/2" conduit openings with plugs.
 Color: Bronze Weight: 11.4 lbs

Project:	Type:
Prepared By:	Date:

RAB LIGHTING

Driver Info		LED Info	
Type:	Constant Current	Watts:	18W
120V:	0.24A	Color Temp:	4000K (Neutral)
208V:	0.18A	Color Accuracy:	87 CRI
240V:	0.15A	L70 lifespan:	100,000
277V:	0.12A	Lumens:	522
Input Watts:	22W	Efficacy:	42 LPW
Efficiency:	81%		

Technical Specifications

<p>Listings: UL Listing: Suitable for wet locations. Suitable for mounting within 4 ft (1.2m) of the ground. IESNA LM-79 & IESNA LM-80 Testing: RAB LED fixtures have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label. LED Characteristics: LED: 6W multi-chip, long-life LEDs Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations. Color Consistency: 3-step MacAdam Ellipse binning to achieve consistent future-to-future color. Color Stability: LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period. Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines for the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2011. Electrical: Driver: Constant Current, Class 2, 100-277V, 50/60 Hz, 6V Surge Protection, 700mA, 100-277VAC 0.04 A.</p>	<p>THD: 18.6% at 120V Construction: Ambient Temperature: Suitable for use in 40°C (104°F) ambient temperatures. Cold Weather Starting: Minimum starting temperature is -40°F/-40°C. Thermal Management: Cast aluminum Thermal Management system for optimal heat sinking. The WLED is designed for cool operation, maximum efficiency and long life by minimizing LED junction temperature. Housing: Die-cast aluminum with extruded aluminum bollard skirt. Reflector: Specular polycarbonate. Gaskets: High-temperature silicone gaskets seal out moisture gaskets seal out moisture.</p>	<p>Mounting: Die-cast aluminum wall bracket with five (5) 1/2" conduit openings with plugs. Gaskets: High-temperature silicone gaskets seal out moisture. Finish: Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals. Green Technology: Mercury and UV free, and RoHS compliant. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals. California Title: See WLED18N1PC for a 2013 California Title 24 compliant model. Patents: The design of WLED is protected by patents pending in US, Canada, China, Taiwan and Mexico. Warranty: RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and future finish. Optical: BUG Rating: BI U1 G1</p>
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Need help? Tech help line: 888-RAB-1090 Email: sales@rabweb.com Website: www.rabweb.com
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Legend

- DLEDR12YY PROPOSED LUMINAIRE
- WLED18N PROPOSED LUMINAIRE
- SLIM12N PROPOSED LUMINAIRE
- LIGHTING LEVEL (FOOTCANDLES)

LIGHTING SUMMARY TABLE	
LUMINAIRES:	RAB DLEDR12YY RECESSED CAN LIGHT
	RAB WLED18N WALL SCONCE
	RAB SLIM 12N WALLPACK
ZONING AREA:	INSTITUTIONAL
MOUNTING HEIGHT:	VARIES - SEE PLAN
MAX ILLUMINATION:	4.95 foot-candles
MIN ILLUMINATION:	0.05 foot-candles
AVG. ILLUMINATION:	0.85 foot-candles
UNIFORMITY RATIO (AVG/MIN):	17.1

LIGHTING LEVELS ARE BASED ON INTENDED ILLUMINATION AREAS ONLY AND ARE NOT REPRESENTATIVE OF THE ENTIRE LIGHTING GRID SHOWN ON THIS PLAN.

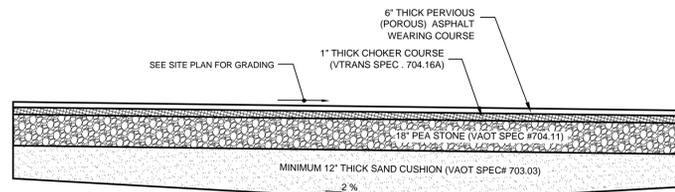
3-7-16	REVISE PARKING FOR 20 FLETCHER PLACE	DLH						
Date	Revision	By						
<p>These plans shall only be used for the purpose shown below:</p> <table border="0" style="width: 100%;"> <tr> <td><input type="checkbox"/> Sketch/Concept</td> <td><input type="checkbox"/> Act 250 Review</td> </tr> <tr> <td><input type="checkbox"/> Preliminary</td> <td><input type="checkbox"/> Construction</td> </tr> <tr> <td><input checked="" type="checkbox"/> Final Local Review</td> <td><input type="checkbox"/> Record Drawing</td> </tr> </table>			<input type="checkbox"/> Sketch/Concept	<input type="checkbox"/> Act 250 Review	<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction	<input checked="" type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing
<input type="checkbox"/> Sketch/Concept	<input type="checkbox"/> Act 250 Review							
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction							
<input checked="" type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing							
<p>LANDS OF WILTSHIRE PROPERTIES, LLC.</p> <p>ELIZABETH'S PLACE</p> <p>20 FLETCHER PL., 128 & 132 COLCHESTER AVE. BURLINGTON, VT 05403</p>		<p>Project No. 15141</p> <p>Survey KMR</p> <p>Design DLH</p> <p>Drawn DLH</p> <p>Checked DJS</p> <p>Date 12-7-15</p> <p>Scale AS NOTED</p> <p>Sheet number 6</p>						
<p>Lamoureux & Dickinson Consulting Engineers, Inc. 14 Morse Drive, Essex, VT 05452 802-878-4450 www.LDengineering.com</p>								

GENERAL CONSTRUCTION NOTES

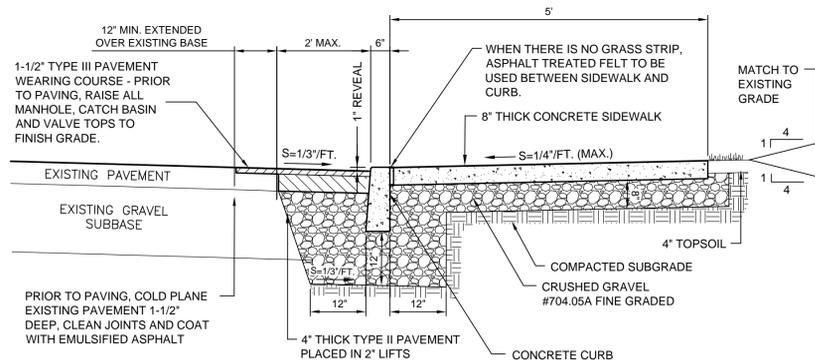
- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST VERMONT AGENCY OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION 2008, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (2003 EDITION), THE CITY OF BURLINGTON PUBLIC WORKS SPECIFICATION REQUIREMENTS, AND THESE PLANS.
- THE CONTRACTOR SHALL CONTACT ALL UTILITIES BEFORE EXCAVATION TO VERIFY THE LOCATION OF ANY UNDERGROUND LINES. THE CONTRACTOR SHALL NOTIFY "DISSAFE" AT 1-888-344-7233 (1-888-DIG-SAFE).
- UTILITIES INFORMATION SHOWN HEREON WERE OBTAINED FROM BEST AVAILABLE SOURCES AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY, PUBLIC OR PRIVATE, SHOWN OR NOT SHOWN HEREON. THE CONTRACTOR SHALL CONNECT OR RECONNECT ALL UTILITIES TO THE NEAREST SOURCE THROUGH COORDINATION WITH UTILITY OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING SURFACES, SOILS, VEGETATION, PAVEMENT AND STRUCTURES NECESSARY TO CONSTRUCT THIS PROJECT UNLESS OTHERWISE NOTED ON THESE PLANS. THE CONTRACTOR SHALL REMOVE ALL EXCESS MATERIAL, DEBRIS AND TRASH FROM THE SITE UPON COMPLETION OF CONSTRUCTION, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE DUST CREATED AS A RESULT OF CONSTRUCTION DOES NOT CREATE A NUISANCE OR A SAFETY HAZARD. WHERE AND WHEN DEEMED NECESSARY BY THE ENGINEER OR OWNER, THE CONTRACTOR SHALL BE REQUIRED TO WET SECTIONS OF THE CONSTRUCTION AREA WITH WATER, APPLY CALCIUM CHLORIDE OR SWEEP ASPHALT ROADS WITH A POWER BROOM AS DUST CONTROL.
- ANY SURFACES, LINES, OR STRUCTURES WHICH HAVE BEEN DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THE CONDITION AT LEAST EQUAL TO THAT IN WHICH THEY WERE FOUND IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS.
- CONSTRUCTION OBSERVATION AND CERTIFICATION IS OFTEN REQUIRED AS A CONDITION OF STATE AND LOCAL PERMITS. IT IS RECOMMENDED THAT CONSTRUCTION OF THE IMPROVEMENTS DETAILED ON THESE PLANS BE OBSERVED BY LAMOUREUX & DICKINSON CONSULTING ENGINEERS INC. (L&D) TO DETERMINE IF THE WORK IS BEING PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. L&D WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS THAT MAY ARISE FROM FAILURE TO FOLLOW THESE PLANS AND SPECIFICATIONS AND THE DESIGN INTENT THAT THEY SPECIFIED. ANY CHANGES MADE IN THE PLANS AND SPECIFICATIONS OR IN THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS WITHOUT L&D'S PRIOR KNOWLEDGE AND CONSENT, AND/OR FAILURE TO SCHEDULE OBSERVATION OF THE WORK AND TESTING IN PROGRESS.
- FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY A MINIMUM OF ONE-WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES. CONTINUOUS TWO-WAY TRAFFIC WILL BE REQUIRED AT NIGHT, DURING PEAK HOURS, AND WHENEVER POSSIBLE DURING ACTUAL CONSTRUCTION ACTIVITIES. TEMPORARY CONSTRUCTION SIGNS AND TRAFFIC CONTROL SIGNS SHALL BE ERRECTED BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND CITY STANDARDS.
- TO ASSURE COMPLIANCE WITH THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER 24 HOURS IN ADVANCE OF STARTING ANY WORK, BEGINNING INSTALLATION OF ANY UTILITIES, BRINGING IN ANY NEW GRAVEL FOR THE NEW PAVED AREAS, PAVING, AND FINAL INSPECTION.
- TOPSOIL SHALL BE STOCKPILED, SEEDED, AND MULCHED UNTIL REUSED. SILT FENCE SHALL BE PLACED AND STAKED CONTINUOUSLY AROUND THE DOWNSLOPE PERIMETER OF THE TOPSOIL PILES.
- HEALTHY EXISTING TREES AS SHOWN ON THE SITE PLAN TO BE SAVED SHALL BE PROTECTED BY THE CONTRACTOR.
- OPEN CUT AREAS SHALL BE MULCHED OUTSIDE OF ACTUAL WORK AREAS, AND SILT FENCE SHALL BE EMPLOYED TO CONFINE SHEET WASH AND RUNOFF TO THE IMMEDIATE OPEN AREA AS ORDERED BY THE ENGINEER.
- AT COMPLETION OF GRADING, SLOPES, DITCHES, AND ALL DISTURBED AREAS SHALL BE SMOOTH AND FREE OF POCKETS WITH SUFFICIENT SLOPE TO ENSURE DRAINAGE.
- ALL FILL SHALL BE PLACED IN 6 INCH LIFTS AND THOROUGHLY COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698 STANDARD PROCTOR, UNLESS OTHERWISE SPECIFIED.

PERVIOUS PAVEMENT COMPOSITION

SIEVE SIZE	% BY WEIGHT PASSING SQUARE SIEVES
100	100
3/4"	85-100
1/2"	55-75
3/8"	10-25
4	5-10
8	2-4
200	2-4
TOTAL AGGREGATE	92-94.5
BITUMEN % OF TOTAL MIX	5.5 - 8



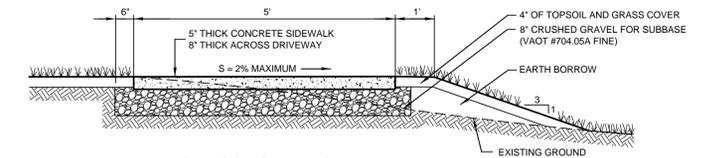
TYPICAL PERVIOUS DRIVE / PARKING AREA CROSS SECTION
N.T.S.



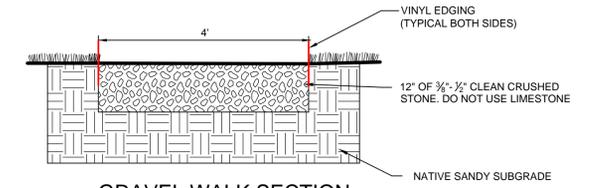
TYPICAL CONCRETE SIDEWALK WITH DEPRESSED CONCRETE CURB SECTION
N.T.S.

GRADATION REQUIREMENTS

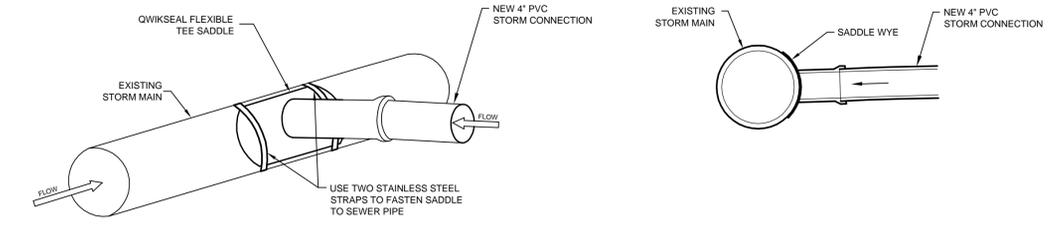
MATERIAL	SIEVE SIZE	PERCENT (%) PASSING
SAND BORROW AND CUSHION - VT SPEC 703.03	2"	100 %
	1 1/2"	90-100 %
	1/2"	70-100 %
	#4	60-100 %
	#100	0-20 %
PEASTONE - VT SPEC 704.11	3/4"	100 %
	5/8"	90 TO 100% 0-5%
DRAINAGE AGGREGATE VT SPEC 704.16A FINE	1"	100 %
	3/4"	90-100 %
	3/8"	20-55 %
	#8	0-10 %
CRUSHED GRAVEL FOR SUBBASE VT SPEC 704.05A-FINE	2"	100 %
	1 1/2"	90-100%
	#4	30-50%
	#100	0-12%
	#200	0-6 %
DENSE GRADED CRUSHED STONE VT SPEC 704.06	3 1/2"	100 %
	3"	90-100%
	1"	75-100%
	1/2"	50-80%
	#4	30-50%
	#200	15-40% 0-6 %



TYPICAL CONCRETE SIDEWALK
N.T.S.



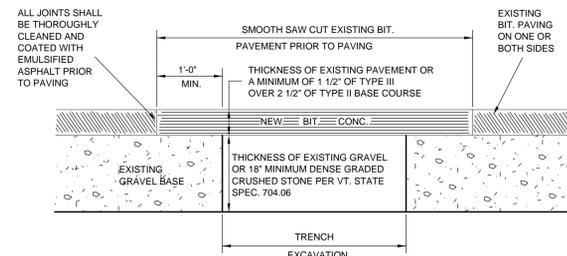
GRAVEL WALK SECTION
N.T.S.



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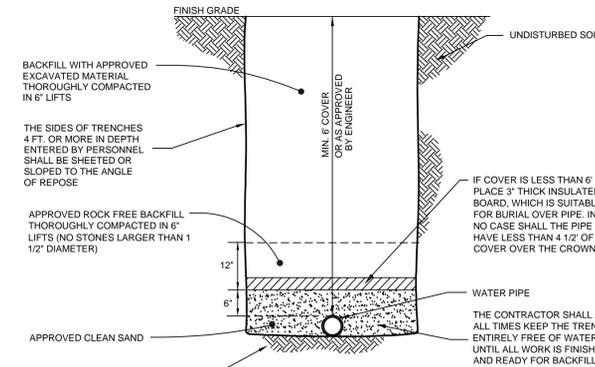
WATER PIPING SPECIFICATIONS

- INSTALLATION - PIPES, FITTINGS, AND ACCESSORIES SHALL BE CAREFULLY HANDLED TO AVOID DAMAGE. PRIOR TO THE DATE OF ACCEPTANCE OF THE PROJECT WORK BY THE OWNER, THE CONTRACTOR SHALL REPLACE ANY NEW PIPE OR ACCESSORY FOUND TO BE DEFECTIVE AT ANY TIME, INCLUDING AFTER INSTALLATION, AT NO EXPENSE TO THE OWNER. ALL INSTALLATION AND TESTING SHALL BE DONE IN ACCORDANCE WITH AWWA STANDARD C-600 AND ANSI SPECIFICATION A21.11. ALL PIPES SHOWING CRACKS SHALL BE REJECTED. IF CRACKS OCCUR IN THE PIPE, THE CONTRACTOR MAY, AT HIS OWN EXPENSE AND WITH THE APPROVAL OF THE ENGINEER, CUT OFF THE CRACKED PORTIONS AT A POINT AT LEAST TWELVE INCHES (12") FROM THE VISIBLE LIMITS OF THE CRACK AND USE THE SOUND PORTION OF THE PIPE. ALL PIPES AND FITTINGS SHALL BE CLEARED OF ALL FOREIGN MATTER AND DEBRIS PRIOR TO INSTALLATION AND SHALL BE KEPT CLEAN UNTIL THE TIME OF ACCEPTANCE BY THE OWNER. AT ALL TIMES, WHEN THE PIPE LAYING IS NOT ACTUALLY IN PROGRESS, THE OPEN ENDS OF THE PIPE SHALL BE CLOSED BY TIGHTLY FITTING PLUGS OR BY OTHER APPROVED MEANS. IF WATER IS IN THE TRENCH WHEN WORK IS RESUMED, THE PLUG SHALL NOT BE REMOVED UNTIL ALL DANGER OF WATER ENTERING THE PIPE HAS PASSED. THE PIPE SHALL BE INSTALLED IN TRENCHES AND AT THE LINE AND GRADE SHOWN ON THE CONTRACT DRAWINGS. ANY CHANGES MADE IN THE DESIGN SHALL BE WITHIN THE LIMITS SPECIFIED BY THE MANUFACTURER. ALL PIPING AND APPURTENANCES CONNECTED TO THE EQUIPMENT SHALL BE SUPPORTED SO THAT NO STRAIN WILL BE IMPOSED ON THE EQUIPMENT. IF THE EQUIPMENT MANUFACTURER'S SPECIFICATIONS INCLUDE THAT PIPING LOADS ARE NOT TO BE TRANSFERRED, THE CONTRACTOR SHALL SUBMIT CERTIFICATION OF COMPLIANCE. WHENEVER SEWERS CROSS UNDER WATERMANS, THE WATERMAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATERMAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER. THIS VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN FEET (10') HORIZONTALLY OF ANY SEWER IT CROSSES. THERE SHALL BE NO PHYSICAL CONNECTION BETWEEN THE DISTRIBUTION SYSTEM AND ANY PIPES, PUMPS, HYDRANTS, OR TANKS WHICH ARE SUPPLIED OR MAY BE SUPPLIED WITH WATER THAT IS, OR MAY BE, CONTAMINATED. IN INSTANCES WHERE THE USE OF DIFFERENT TYPES OF PIPE REQUIRE JOINING, THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY ADAPTERS. ALL TRENCHING SAFETY STANDARDS SHALL BE IN CONFORMANCE WITH ALL APPLICABLE STATE AND FEDERAL GUIDELINES AND AS SPECIFIED ON THE PLANS. THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE TRENCHES ENTIRELY FREE OF WATER UNTIL ALL WORK IS FINISHED AND READY FOR BACKFILLING. AFTER THE VARIOUS PIPELINES HAVE BEEN INSTALLED, THE TRENCHES AND OTHER AREAS TO BE FILLED SHALL BE BACKFILLED TO SUBGRADE WITH, WHEREVER POSSIBLE, MATERIAL EXCAVATED FROM THE TRENCH. NO BACKFILLING WILL BE ALLOWED UNTIL ANY CONCRETE MASONRY HAS SET SUFFICIENTLY, AS DETERMINED BY THE ENGINEER. ALL MATERIAL FOR BACKFILLING SHALL BE FREE OF ROOTS, STUMPS, AND FROST. MATERIALS USED FOR BACKFILLING TRENCHES SHALL BE FREE OF STONES WEIGHING OVER 90 POUNDS. NO STONES MEASURING OVER ONE AND ONE-HALF INCHES (1 1/2") IN THE LONGEST DIMENSION SHALL BE PLACED WITHIN ONE FOOT (1') OF THE PIPELINE BEING BACKFILLED. BACKFILL FOR ALL PIPELINES SHALL BE PLACED IN SIX INCH (6") LAYERS, EACH LAYER BEING THOROUGHLY COMPACTED TO NOT LESS THAN 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO-T-99 STANDARD PROCTOR. PARTICULAR PRECAUTIONS SHALL BE TAKEN IN THE PLACEMENT AND COMPACTION OF THE BACKFILL MATERIAL IN ORDER NOT TO DAMAGE THE PIPE OR STRUCTURE. THE BACKFILL SHALL BE BROUGHT UP EVENLY. ALL WATER LINES SHALL BE INSTALLED WITH A MINIMUM COVER DEPTH OF SIX (6)'. SURPLUS EXCAVATED MATERIALS NOT USED FOR BACKFILL SHALL BE DISPOSED OF IN A MANNER SATISFACTORY TO THE ENGINEER. ALL SURPLUS MATERIAL OR SPOIL SHALL BE REMOVED PROMPTLY AND DISPOSED OF SO AS NOT TO BE OBJECTIONABLE TO ADJUTERS OR TO THE GENERAL PUBLIC.

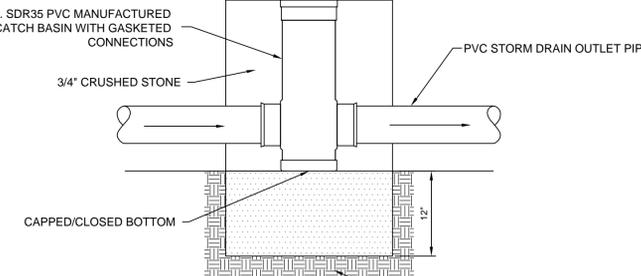


REPLACEMENT OF EXISTING BITUMINOUS PAVEMENT
N.T.S.

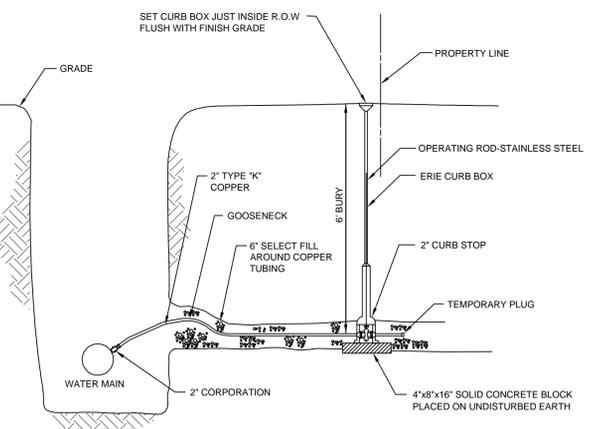
- VALVE BOXES ARE TO BE INSTALLED ON ALL BURIED VALVES. THE BOXES SHALL BE CAST IRON WITH A MINIMUM FIVE AND ONE-FOURTHS INCH (5 1/4") DIAMETER AND LONG ENOUGH TO EXTEND FROM THE VALVE TO FINISHED GRADE. THE BOXES SHALL ENCLOSE THE OPERATING NUT AND STUFFING BOX OF THE VALVE. VALVE BOXES SHALL NOT TRANSFER LOADS INTO THE VALVE. COVERS SHALL BE CLOSE FITTING AND DIRT-TIGHT WITH THE TOP OF THE COVER FLUSH WITH THE TOP OF THE BOX RIM. COVERS SHALL BE MARKED "WATER" WITH AN ARROW INDICATING THE DIRECTION OF OPENING. VALVE BOXES SHALL BE THREE PIECE SLIP-TYPE. THE CONTRACTOR SHALL PROVIDE A STABLE, TEMPORARY PVC MARKER APPROVED BY THE ENGINEER AT ALL GATE VALVES, CURB STOPS, AND AT THE END OF WATERLINES TO A POINT SIX INCHES (6") ABOVE FINISH GRADE. THE MARKER SHALL BE SEATED SECURELY INTO THE GROUND.
- DISINFECTION - CHLORINATION OF THE NEW SERVICE SHALL BE CONDUCTED ONLY AFTER THE SERVICE HAS BEEN FLUSHED AND A CLEAR STREAM IS OBTAINED AS DETERMINED BY THE ENGINEER. THE CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS, AND TOOLS NECESSARY TO DISINFECT THE PIPE AND APPURTENANCES IN ACCORDANCE WITH THE AWWA STANDARD FOR DISINFECTING WATERMANS, C-651, WITH THE EXCEPTION OF THE TABLET METHOD. THE METHOD OF DISINFECTION SHALL BE BY THE CONTINUOUS FEED METHOD UNLESS OTHERWISE APPROVED BY THE ENGINEER. AFTER FILLING, FLUSHING, AND THE ADDITION OF CHLORINE SOLUTION, THE FREE CHLORINE CONCENTRATION WITHIN THE PIPE SHALL BE AT LEAST 25 MG/L. THE CHLORINATED WATER SHALL REMAIN IN THE MAIN FOR A PERIOD OF AT LEAST 24 HOURS. AT THE END OF THIS PERIOD, THE TREATED WATER IN ALL PORTIONS OF THE MAIN SHALL NOT HAVE A RESIDUAL OF LESS THAN 10 MG/L OF FREE CHLORINE. ALL DISINFECTION SHALL BE PERFORMED UNDER THE SUPERVISION OF THE ENGINEER. THE DISINFECTION PROCESS SHALL BE DEEMED ACCEPTABLE ONLY AFTER (2) SAMPLES FROM THE FLUSHED, DISINFECTED MAIN TAKEN BY THE ENGINEER AND TESTED AT AN APPROVED LABORATORY SHOW NO EVIDENCE OF BACTERIOLOGICAL CONTAMINATION. DISINFECTION SHALL CONFORM TO THE LATEST AWWA C-651 REVISION. THE PIPELINE AND APPURTENANCES SHALL BE MAINTAINED IN AN UNCONTAMINATED CONDITION UNTIL FINAL ACCEPTANCE. DISINFECTION SHALL BE REPEATED WHEN AND WHERE REQUIRED AT NO EXPENSE TO THE OWNER UNTIL FINAL ACCEPTANCE BY THE OWNER.



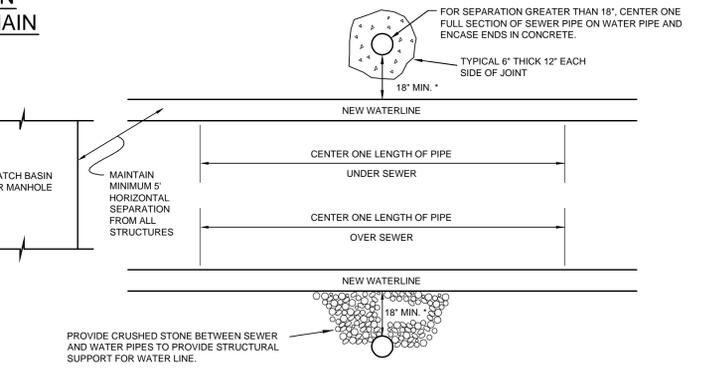
TYPICAL WATER TRENCH
N.T.S.



CATCH BASIN
N.T.S.



INDIVIDUAL UNIT WATER SERVICE DETAIL
N.T.S.



SEWER / WATER SEPARATION DETAIL FOR CROSSINGS
N.T.S.

- VERTICAL SEPARATION AT CROSSINGS:**
- SEWERS CROSSING WATER MAINS SHALL BE LAID BENEATH THE WATER MAIN WITH AT LEAST 18" VERTICAL CLEARANCE BETWEEN THE OUTSIDE OF THE SEWER AND THE OUTSIDE OF THE WATER MAIN. WHEN IT IS IMPOSSIBLE OR IMPRACTICAL TO MAINTAIN THE 18" VERTICAL SEPARATION OR WHERE THE SEWER MUST BE LAID ABOVE THE WATER MAIN, THE FOLLOWING CRITERIA APPLY:
- THE CROSSINGS SHALL BE ARRANGED SO THAT ONE FULL LENGTH OF SEWER IS CENTERED ABOVE OR BELOW THE WATER LINE WITH SEWER JOINTS AS FAR AS POSSIBLE FROM WATER JOINTS.
 - THE SEWER PIPE MUST BE CONSTRUCTED TO WATER MAIN STANDARDS FOR A MINIMUM DISTANCE OF 20 FEET EITHER SIDE OF THE CROSSING OR A TOTAL OF THREE PIPE LENGTHS, WHICHEVER IS GREATER.
 - THE SECTION CONSTRUCTED TO WATER MAIN STANDARDS MUST BE PRESSURE TESTED TO MAINTAIN 50 PSI FOR 15 MINUTES WITHOUT LEAKAGE PRIOR TO BACKFILLING BEYOND ONE FOOT ABOVE THE PIPE, TO ASSURE WATER TIGHTNESS.
 - WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT DAMAGE TO THE WATER MAIN.

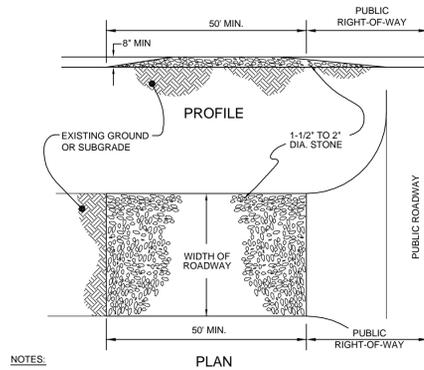
5-9-16	REVISED PARKING AREA DETAIL	DLH
3-7-16	ADDED CATCH BASIN DETAIL	DLH
Date	Revision	By
These plans shall only be used for the purpose shown below:		
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LANDS OF WILTSHIRE PROPERTIES, LLC.		
ELIZABETH'S PLACE		
20 FLETCHER PL., 128 & 132 COLCHESTER AVE. BURLINGTON, VT 05403		
WATER, STORMWATER & SITE DETAILS & SPECIFICATIONS		Project No. 15141
		Survey KMR
		Design DLH
		Checked DJS
		Date 12-7-15
		Scale AS NOTED
		Sheet NUMBER
		7



TURF ESTABLISHMENT

ALL DISTURBED AREAS THAT DO NOT HAVE AN IMPERVIOUS SURFACE (PAVEMENT, SIDEWALKS, ROOFS) SHALL BE STABILIZED WITH SEEDING AND MULCHING PRIOR TO OCTOBER 1. ANY WORK PERFORMED AFTER SEPTEMBER 15 OF EACH YEAR SHALL BE STABILIZED WITH MULCH OR NETTING SUFFICIENT TO PREVENT EROSION AND SHALL BE IMMEDIATELY SEEDED AND REMULCHED AS SOON AS WEATHER PERMITS IN THE SPRING. PLACEMENT OF TOPSOIL AND THE APPLICATION OF SEED, FERTILIZER, LIME (WHERE APPLICABLE), AND MULCH SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

1. A MINIMUM OF 4" OF APPROVED TOPSOIL SHALL BE PLACED IN ALL AREAS. PLACEMENT OF TOPSOIL SHALL NOT BE DONE WHEN THE GROUND OR TOPSOIL IS FROZEN, EXCESSIVELY WET, OR OTHERWISE IN A CONDITION DETRIMENTAL TO THE WORK. FOLLOWING PLACEMENT OF TOPSOIL, THE SURFACE SHALL BE RAKED. ALL STONES, LUMPS, ROOTS, OR OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED.
2. SEED MIXTURES SHALL CONFORM TO THE SEED MIX TABLE SHOWN ON THIS SHEET AND BE SPREAD UNIFORMLY IN ALL AREAS INDICATED ON THE PLANS AT THE SPECIFIED RATE. FOR SEEDING BETWEEN SEPTEMBER 1 AND OCTOBER 1, WINTER RYE SHALL BE OVERSEED AT AN APPLICATION RATE OF 100 POUNDS PER ACRE.
3. FERTILIZER SHALL CONFORM TO THE STANDARDS OF THE ASSOCIATION OF OFFICIAL AGRICULTURAL CHEMISTS AND BE APPLIED ONLY AFTER PERFORMING A SOIL TEST AND BE APPLIED BASED UPON SOIL DEFICIENCIES. LIME SHALL ONLY BE APPLIED AS NEEDED BASED UPON A SOIL pH TEST.
4. WITHIN 24 HOURS OF APPLICATION OF SEED, FERTILIZER AND LIME, THE SURFACE SHALL BE MULCHED WITH A HAY MULCH. MULCH SHALL BE SPREAD UNIFORMLY OVER THE AREA AT A MINIMUM RATE OF 2 TONS PER ACRE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A FULL GROWTH OF GRASS IN ALL DISTURBED AREAS TO BE RE-VEGETATED. VEGETATION GROWTH SHALL BE PERMANENT AND SUFFICIENT TO PREVENT EROSION OF THE UNDERLYING SOIL UNDER ALL CONDITIONS OF PRECIPITATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND CARING FOR SEEDING, MULCHED, AND AREAS OF ESTABLISHED VEGETATION UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER.

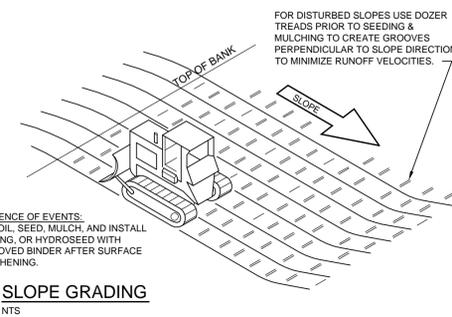


NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT TRACKED, SPILLED, OR WASHED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
2. THE USE OF CALCIUM CHLORIDE OR WATER MAY BE NECESSARY TO CONTROL DUST DURING THE SUMMER.
3. PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC RIGHT-OF-WAY.

STABILIZED CONSTRUCTION EXIT

NTS



SEQUENCE OF EVENTS:
TOPSOIL, SEED, MULCH, AND INSTALL MATTING, OR HYDROSEED WITH APPROVED BINDER AFTER SURFACE ROUGHENING.

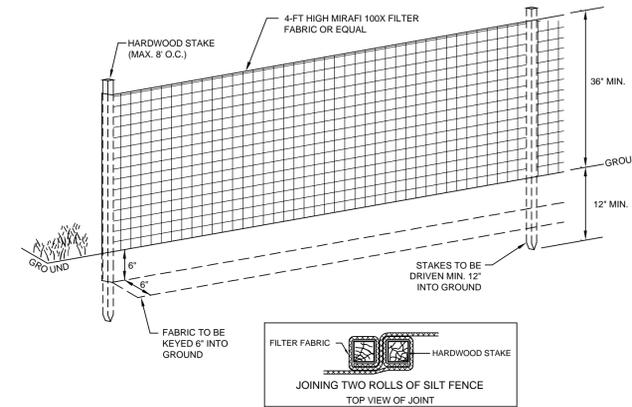
SLOPE GRADING

NTS

URBAN MIX GRASS SEED		
% BY WEIGHT	LBS. LIVE SEED PER ACRE	TYPE OF SEED
37.5	45	CREeping RED FESCUE
31.25	37.5	KENTUCKY BLUEGRASS
31.25	37.5	WINTER HARDY, PERENNIAL RYE
100	120 # LIVE SEED PER ACRE	

SOIL SPECIFICATIONS FOR PLANTING AREAS

1. LANDSCAPE BACKFILL SHALL BE PREMIXED, CONSISTING OF APPROXIMATELY 50% TOPSOIL, 25% COMPOST, AND 25% NATIVE SOIL. IN CASES WHERE THE NATIVE SOIL MEETS THE TOPSOIL SPECIFICATION, THE PROPORTIONS OF NATIVE SOIL MAY BE ADJUSTED UP TO 75%.
2. ALL IMPORTED SOIL SHALL BE REASONABLY FREE FROM ROOTS, HARD CLAY, COARSE GRAVEL, STONES LARGER THAN TWO INCHES IN ANY DIMENSION, NOXIOUS WEEDS, TALL GRASS, BRUSH, STICKS, STUBBLE, AND ANY MATERIALS THAT WOULD BE DETRIMENTAL TO HEALTHY VEGETATIVE GROWTH.
3. COMPOST SHALL BE FREE OF WEED SEEDS, SHALL HAVE A LOOSE AND GRANULAR TEXTURE, SHALL POSSESS NO OBJECTIONABLE ODORS, AND SHALL NOT RESEMBLE THE RAW MATERIAL FROM WHICH IT WAS DERIVED.
4. TO ASSURE THE GROWTH OF TREES, SHRUBS, AND OTHER PLANTS, THE SOIL MUST NOT BE COMPACTED. ANY AREAS OF INADVERTENTLY COMPACTED SOIL WILL NEED TO BE DECOMPACTED USING A SUBSOILER, CHISEL PLOW, OR BY EXCAVATION AND REPLACEMENT WITH UNCOMPACTED SOIL. DO NOT DRIVE EQUIPMENT ON THE SOIL AFTER IT HAS BEEN PLACED OR DECOMPACTED. FINE GRADING AND PLANTING OF SPECIFIED LANDSCAPING MAY BE DONE USING LOW GROUND PRESSURE EQUIPMENT, IF THIS CAN BE ACHIEVED WITHOUT COMPACTION.
5. DO NOT STOCKPILE SOIL OR COMPOST IN WET OR MUDDY CONDITIONS. PROVIDE EROSION CONTROL TO PREVENT TRANSPORT OF SEDIMENT OR DUST AWAY FROM THE STORAGE AREA.



NOTES:

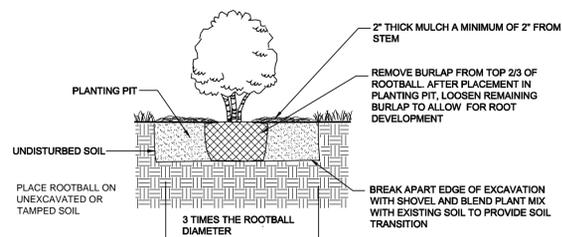
- 1) USE ONLY MANUAL METHODS OF INSTALLATION AND CLEANING WITHIN WETLAND AND BUFFER ZONE.
- 2) PRIOR TO BEGINNING OF CONSTRUCTION OR EARTHMOVING, THE CONTRACTOR SHALL INSTALL A CONTINUOUS SILT FENCE AT THE LIMIT OF DISTURBANCE SHOWN ON THE SITE PLAN.
- 3) FROZEN MATERIAL SHALL NOT BE USED TO KEY IN THE SILT FENCE. IF NECESSARY, GRANULAR BORROW SHALL BE USED BY THE CONTRACTOR TO KEY IN THE SILT FENCE RATHER THAN FROZEN NATIVE MATERIAL.
- 4) THE CONTRACTOR SHALL INSTALL SILT FENCE AROUND THE PERIMETER OF TOPSOIL STOCKPILES AND AT OTHER LOCATIONS AS NEEDED.

TEMPORARY SILT FENCE

LANDSCAPE SPECIFICATIONS

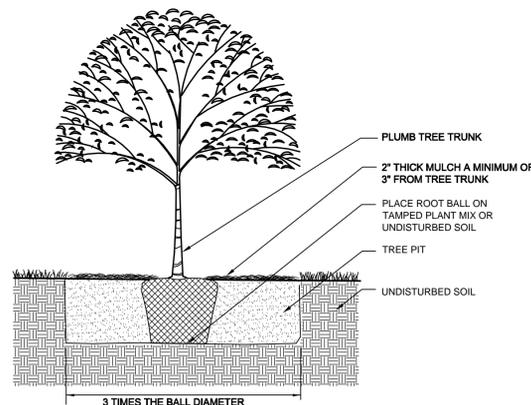
TREE AND SHRUB PLANTINGS

1. ALL PLANT MATERIALS SHALL CONFORM TO THE INTERNATIONAL SOCIETY OF ARBORICULTURE PRINCIPALS AND PRACTICES OF PLANTING TREES AND SHRUBS, AND THE MOST RECENT VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK - ANSI Z60.1.
2. CONTRACTOR SHALL STAKE ALL PLANT LOCATIONS AND THE ENGINEER SHALL APPROVE PRIOR TO INSTALLATION.
3. CONTRACTOR SHALL PROTECT LANDSCAPE PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS. PLANTS THAT ARE TO BE TEMPORARILY STORED ON SITE UNTIL READY FOR INSTALLATION SHALL BE KEPT SHADED AND PROTECTED WITH SOIL, BARK MULCH OR OTHER ACCEPTABLE MATERIAL AND REGULARLY WATERED.
4. DURING INSTALLATION OF LANDSCAPE PLANTINGS, CONTRACTOR SHALL DETERMINE WHERE EXISTING UNDERGROUND UTILITIES ARE LOCATED TO AVOID INTERFERENCE.
5. STREET TREES TO ARRIVE FROM NURSERY WITH 6 FEET/2 METERS BETWEEN THE FINISHED GRADE AND THE FIRST TREE BRANCH.
6. DO NOT PRUNE THE TREES OR SHRUBS AT PLANTING. PRUNE ONLY DEAD OR CRUSHED ROOTS AND DEAD OR INJURED BRANCHES.
7. TREES SHALL HAVE A MINIMUM 50% LIVE CROWN RATIO.
8. EACH TREE AND SHRUB MUST BE PLANTED SUCH THAT THE ROOT FLARE AND MAIN ORDER ROOTS ARE VISIBLE AT THE TOP OF THE ROOT BALL, WHERE THE MAIN ORDER ROOTS ARE NOT VISIBLE, EXCESS SOIL SHALL BE REMOVED TO LOCATE THEM. PLANT TREES AND SHRUBS SO THAT THE MAIN ORDER ROOTS ARE AT FINISHED GRADE. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL OR MULCH.
9. EXAMINE ENTIRE TREE AND SHRUB AND REMOVE ALL NURSERY TAGS, TREE WRAP, ROPE, STRING AND SURVEYOR TAPE PRIOR TO PLANTING TO PREVENT GIRDLING.
10. FOR ALL TREES AND SHRUBS: CUT AND REMOVE WIRE MESH BASKET. CUT AND REMOVE ROPE AND BURLAP WRAP FROM TOP 2/3 OF ROOTBALL AFTER PLACEMENT IN PLANTING PIT. LOOSEN REMAINING BURLAP TO ALLOW FOR ROOT DEVELOPMENT. IF THE TREE OR SHRUB HAS SYNTHETIC OR TREATED BURLAP, REMOVE IT ENTIRELY AFTER PLACING ROOT BALL IN PLANTING PIT.
11. BREAK APART EDGE OF EXCAVATION WITH SHOVEL AND BLEND PLANT MIX WITH EXISTING SOIL TO PROVIDE SOIL TRANSITION.
12. TREE PIT AREA SHALL HAVE A MINIMUM DEPTH OF 36". SHRUB PLANTING PIT SHALL HAVE A 24" MINIMUM DEPTH. THE TREE PIT AREA SHALL HAVE THE PLANT MIX SPECIFIED BELOW.
13. STAKING REQUIRED ONLY IN SITUATIONS WHERE TREES WILL BE SUBJECTED TO WINDY CONDITIONS AS DETERMINED BY THE ENGINEER. STAKES SHALL BE REMOVED BY THE CONTRACTOR AT THE END OF THE WARRANTY PERIOD.
14. PLANT MIX SHALL CONSIST OF THE FOLLOWING RATIO: 1/3 PART COMPOST, 2/3 PARTS TOPSOIL. PLANT MIX TO BE TESTED AND APPROVED FOR QUALITY BY ENGINEER PRIOR TO INSTALLATION. THE CORRECT GRADE OF COMPOST IS AVAILABLE FROM, BUT NOT LIMITED TO, THE FOLLOWING MANUFACTURERS: INTERVAL COMPOST PRODUCTS, VERMONT NATURAL PRODUCTS AND VERMONT COMPOST COMPANY.
15. FOLLOWING PLANTING, FERTILIZER AND MYCORRHIZAL FUNGI SHALL BE APPLIED TO TREES AND SHRUBS.
16. ONCE ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED, PLACE A LIGHT LAYER OF HEMLOCK OR PINE BARK MULCH, MAXIMUM OF 2" THICK, ON PLANTING BEDS. NO DYED MULCH WILL BE ACCEPTED.
17. WATER ALL TREES AND SHRUBS THOROUGHLY ONCE PLANTED TO PULL SOILS AGAINST ROOT BALL AND SETTLE AIR POCKETS. ADDITIONAL SOIL MAY BE NEEDED. WATER AGAIN TO ENSURE COMPLETE COMPACTION. RE-SET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE ADJACENT MATERIAL AND REMOVE DEAD MATERIAL. THERE SHALL BE NO WATERING BERM INSTALLED AROUND PLANTS.
18. CORRECT WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER PERMITS.
19. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPE PLANTINGS AND SHALL INCLUDE PRUNING, CULTIVATING, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE DURING CONSTRUCTION AND WARRANTY AND UNTIL ACCEPTANCE. CONTRACTOR SHALL WATER ALL PLANTINGS DAILY.
20. ALL LANDSCAPE PLANTS SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS AFTER PLANTING.



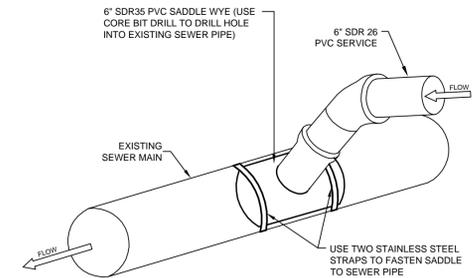
SHRUB PLANTING DETAIL

NTS



TREE PLANTING DETAIL

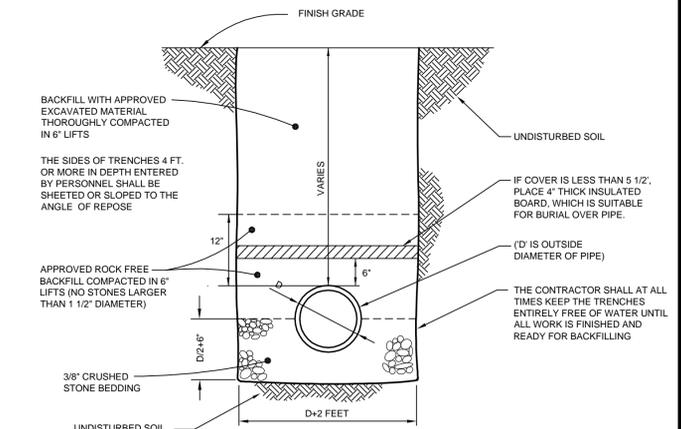
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SANITARY SEWER CONNECTION

INTO EXISTING SEWER MAIN

NTS



TYPICAL SANITARY & STORM SEWER TRENCH

NTS.

SANITARY & STORM SPECIFICATIONS

- 1) SANITARY AND STORM SEWER PIPES SHALL BE OF THE SIZE AND TYPE INDICATED ON THE PLANS. PVC PIPE SHALL BE SDR 35 CONFORMING TO ASTM D-3034, ASTM D-3212, AND ASTM F-477. CORRUGATED METAL PIPE SHALL CONFORM TO AASHTO M-190 FOR ACCOMP PIPE AND AASHTO M-246 TYPE B FOR POLYMERIC COATED STEEL PIPE. CORRUGATED POLYETHYLENE PIPE SHALL CONFORM TO AASHTO M294, TYPE S (SMOOTH LINED).

Date	Revision	By
These plans shall only be used for the purpose shown below:		
<input type="checkbox"/> Sketch/Concept	<input type="checkbox"/> Act 250 Review	
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction	
<input checked="" type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing	
LANDS OF WILTSHIRE PROPERTIES, LLC.		Project No. 15141
ELIZABETH'S PLACE		Survey KMR
20 FLETCHER PL., 128 & 132 COLCHESTER AVE. BURLINGTON, VT 05403		Design DLH
SEWER, LANDSCAPING & EROSION CONTROL DETAILS & SPECIFICATIONS		Drawn DLH
		Checked DJS
		Date 12-7-15
		Scale AS NOTED
		Sheet number 8
LD Lamoureux & Dickinson Consulting Engineers, Inc. 14 Morse Drive, Essex, VT 05452 802-878-4450 www.LDengineering.com		

