

→ submitted via email 9/16/16.

PRELIMINARY



FRANK RESIDENCE

32 ALEXIS DRIVE, BURLINGTON, VERMONT

LIST OF DRAWINGS	
A1	SITE PLAN
A2	FOUNDATION
A3	1ST FLOOR DECK FRAMING
A4	1ST FLOOR PLAN
A5	2ND FLOOR PLAN
A6	ELEVATIONS
A7	ELEVATIONS
A8	ELEVATIONS W/ GARDEN OPTION
A9	DETAILS



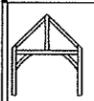
THESE DRAWINGS ARE INTENDED TO BE USED FOR DESIGN DEVELOPMENT, BUILDING DEPARTMENT REVIEW, ESTIMATING, AND AS CONSTRUCTION GUIDELINES. CONSTRUCTION DETAILS ARE INTENDED AS SUGGESTIONS ONLY.

VERIFICATION OF EXISTING & SITE CONDITIONS DOES NOT FALL WITHIN THE SCOPE OF THESE DRAWINGS. THIS HOUSE DESIGN & DRAWINGS ARE TO BE USED FOR CONSTRUCTION OF THE BERLINER RESIDENCE ONLY.

ISSUE **PROJECT**
September 13, 2016 Frank Residence

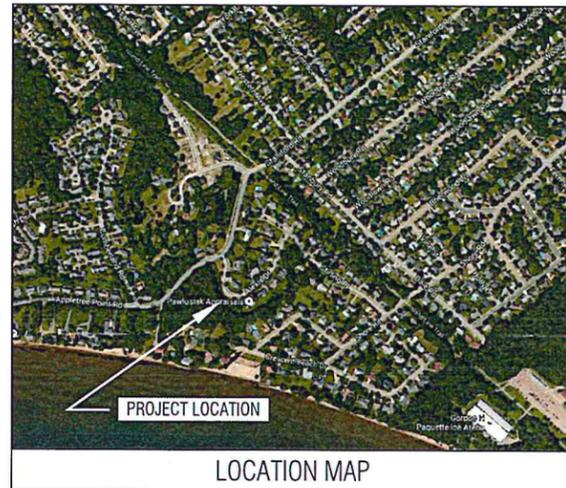
CLIENT
Jason & Lillian Frank
32 Alexis Drive
Burlington, Vermont
05401

TIMBERWORKS DESIGN
80 Austin Drive
Burlington, VT 05401
Tel: 802.578.7007

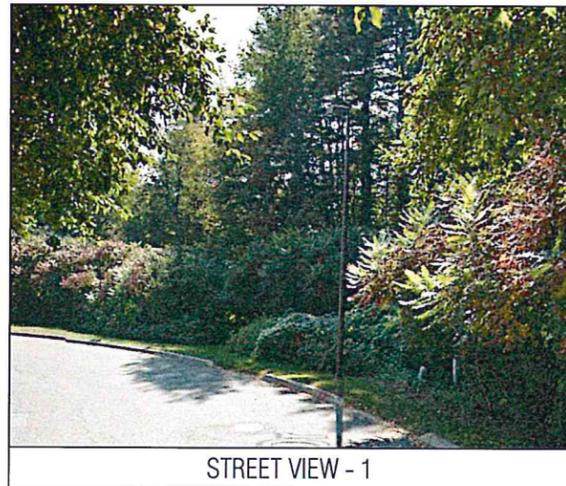


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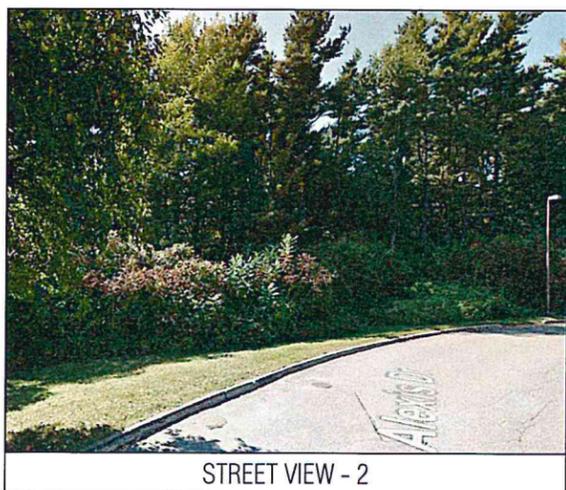
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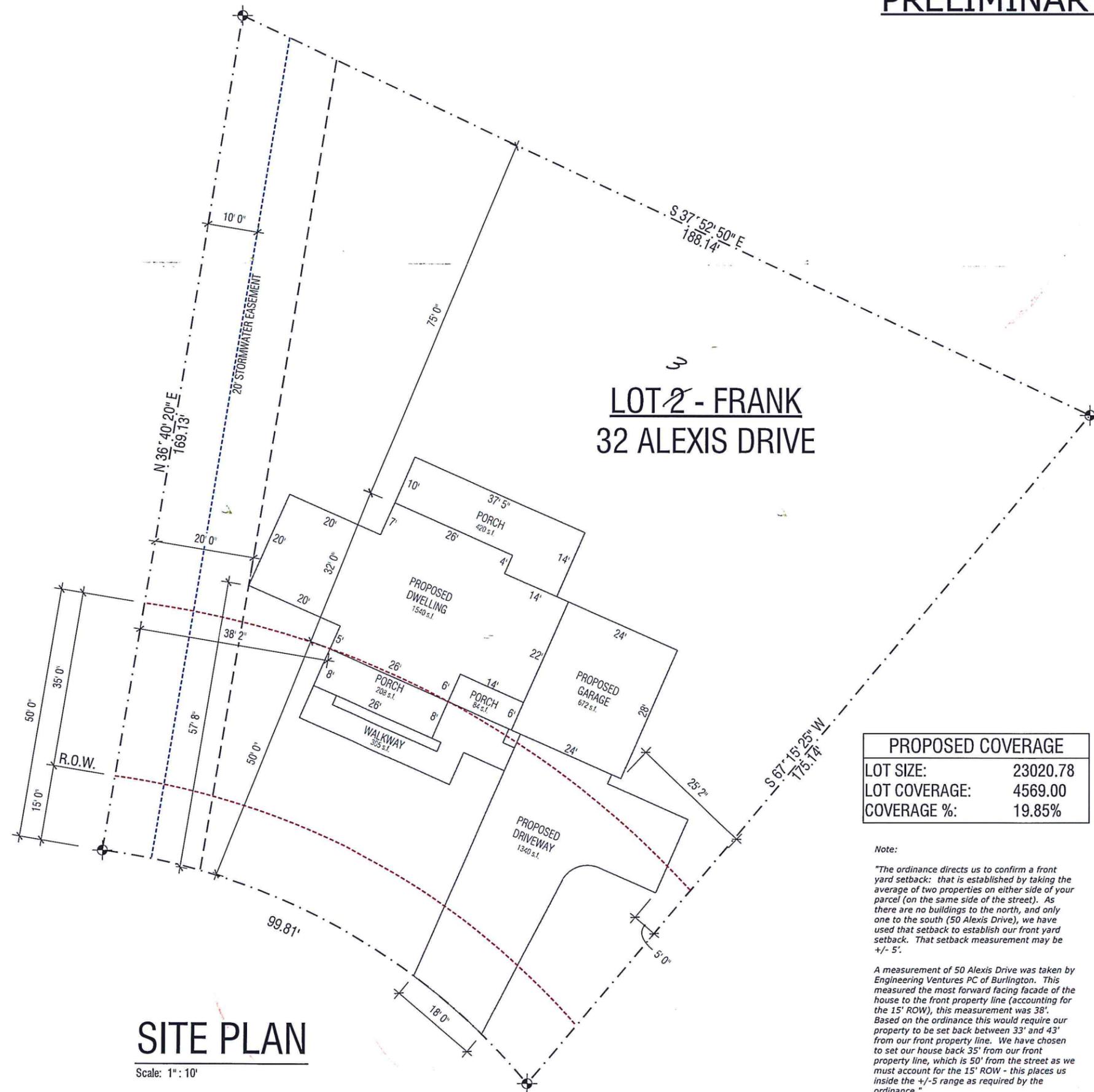
LOCATION MAP



STREET VIEW - 1



STREET VIEW - 2



**LOT 2 - FRANK
32 ALEXIS DRIVE**

PROPOSED COVERAGE	
LOT SIZE:	23020.78
LOT COVERAGE:	4569.00
COVERAGE %:	19.85%

Note:

"The ordinance directs us to confirm a front yard setback: that is established by taking the average of two properties on either side of your parcel (on the same side of the street). As there are no buildings to the north, and only one to the south (50 Alexis Drive), we have used that setback to establish our front yard setback. That setback measurement may be +/- 5'.

A measurement of 50 Alexis Drive was taken by Engineering Ventures PC of Burlington. This measured the most forward facing facade of the house to the front property line (accounting for the 15' ROW), this measurement was 38'. Based on the ordinance this would require our property to be set back between 33' and 43' from our front property line. We have chosen to set our house back 35' from our front property line, which is 50' from the street as we must account for the 15' ROW - this places us inside the +/- 5 range as required by the ordinance."

SITE PLAN

Scale: 1" = 10'



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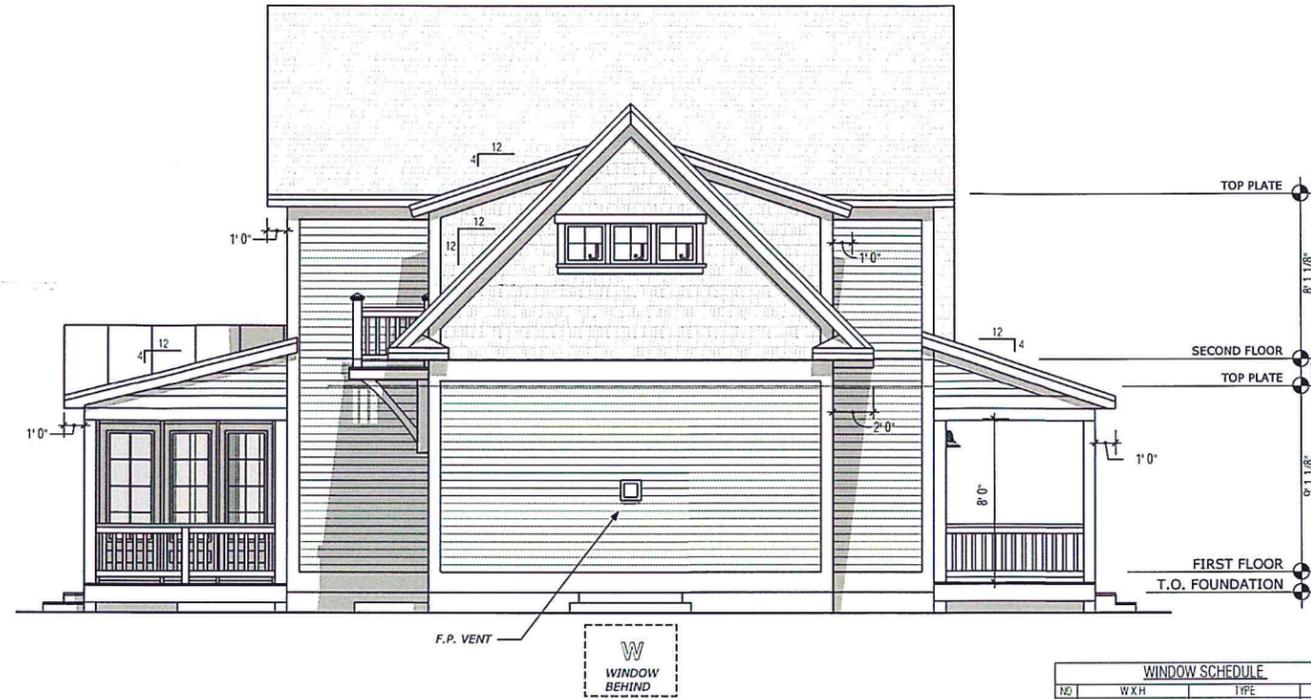
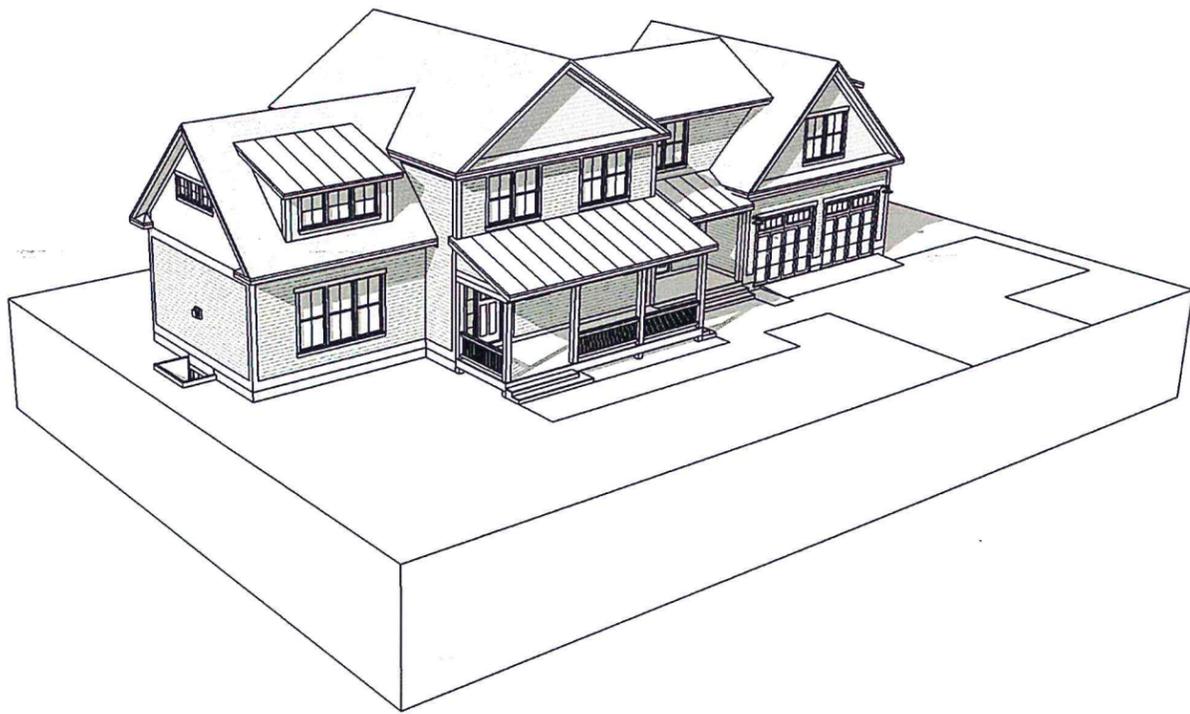
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Front & Left Elevations

A.06



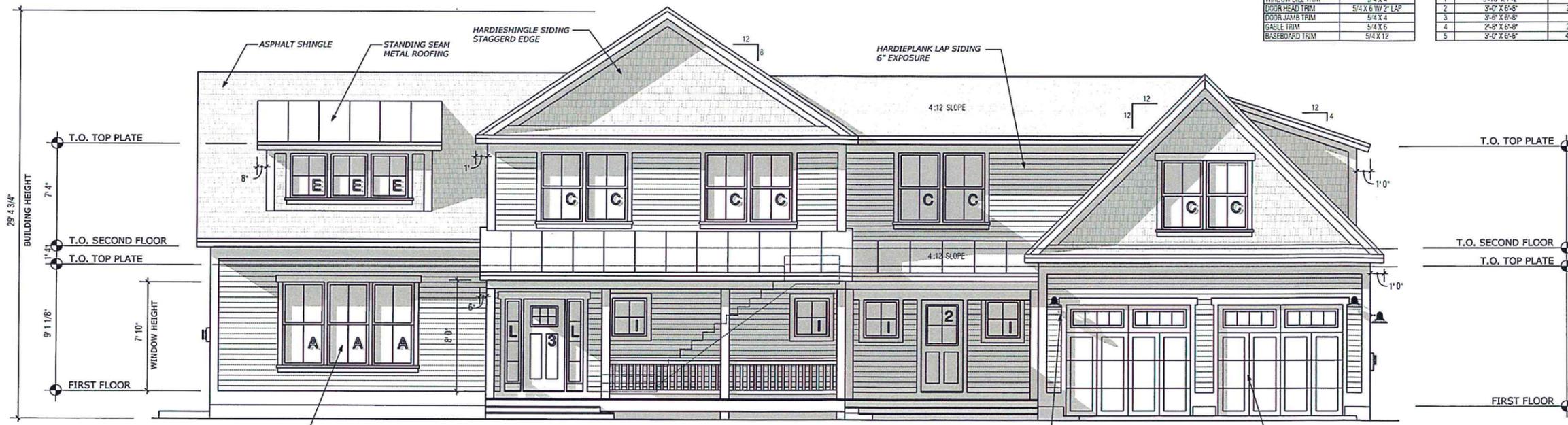
LEFT SIDE ELEVATION (A-A)

Scale: 1/4" = 1'

WINDOW SCHEDULE			
NO	W X H	TYPE	EGRESS
A	3'-0" X 6'-0"	DOUBLE HUNG	X
B	2'-4" X 4'-0"	DOUBLE HUNG	-
C	3'-0" X 4'-0"	DOUBLE HUNG	X
D	3'-0" X 4'-0"	CASEMENT	X
E	2'-8" X 3'-2"	CASEMENT	-
F	3'-0" X 3'-0"	CASEMENT	-
G	2'-4" X 3'-6"	CASEMENT	-
H	2'-4" X 3'-4"	CASEMENT	-
I	2'-8" X 2'-8"	CASEMENT	-
J	2'-0" X 2'-0"	CASEMENT	-
K	5'-0" X 1'-2"	TRANSOM	-
L	1'-2" X 6'-8"	SIDE LIGHT	-
M	4'-8" X 3'-4"	GLIDER	X

TRIM SCHEDULE	
CORNER BOARDS	5/4 X 6
FACIA BOARDS	1 X 3
FACIA GRIP BOARD	1 X 3
WINDOW HEAD TRIM	5/4 X 6 W/ 2" LAP
WINDOW JAMB TRIM	5/4 X 4
WINDOW SILL TRIM	5/4 X 4
DOOR HEAD TRIM	5/4 X 6 W/ 2" LAP
DOOR JAMB TRIM	5/4 X 4
CABLE TRIM	5/4 X 6
BASEBOARD TRIM	5/4 X 12

EXTERIOR DOOR SCHEDULE		
NO	W X H	TYPE
1	9'-10" X 7'-2"	SLIDING DOOR
2	3'-0" X 6'-8"	2 PANEL -1/2 LIGHT
3	3'-0" X 6'-8"	9 LIGHT
4	2'-8" X 6'-8"	2 PANEL -1/2 LIGHT
5	3'-0" X 6'-8"	4 PANEL FIRE RATED



FRONT ELEVATION

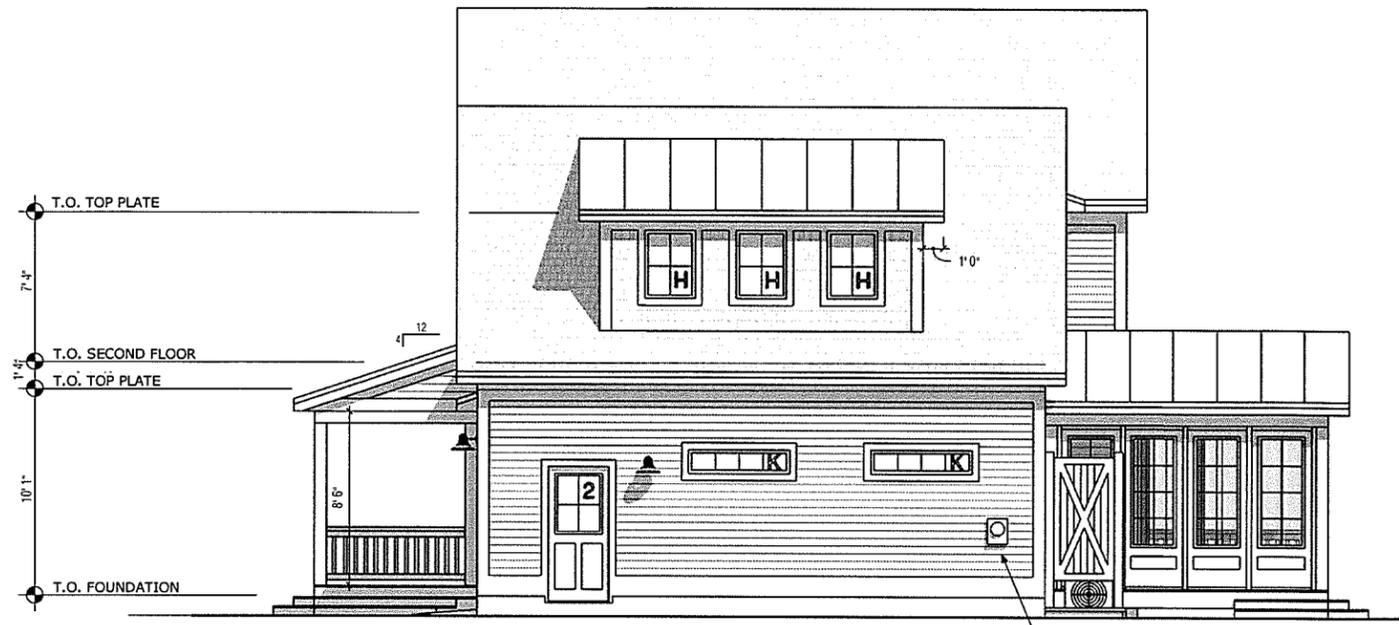
Scale: 1/4" = 1'

ALL OUTDOORING LIGHTING TO BE DOWN LIT, WHITE LIGHT W/ MAX. OUTPUT OF 1200 LUMENS.

OVERHEAD DOOR CO. MODEL COURTYARD 161T GARAGE DOOR W/ STOCKBRIDGE WINDOWS

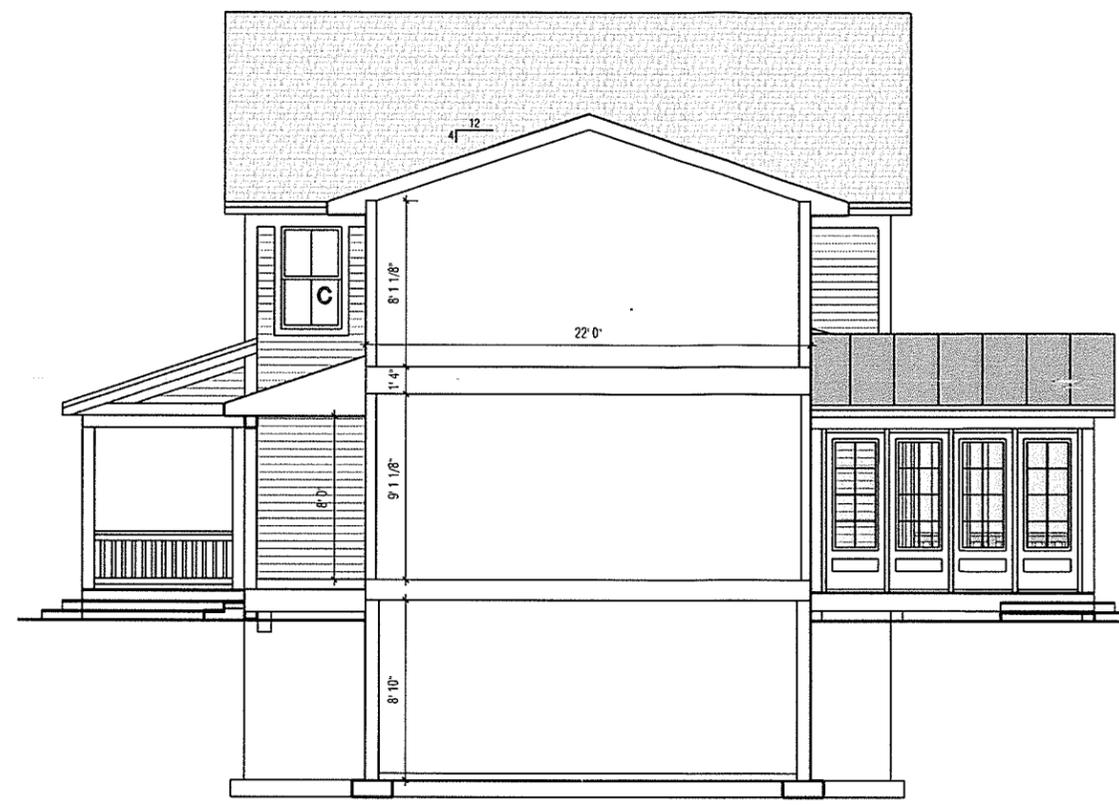
VINYL WINDOWS - MIN. U28

PRELIMINARY



RIGHT SIDE ELEVATION

Scale: 1/4" : 1'



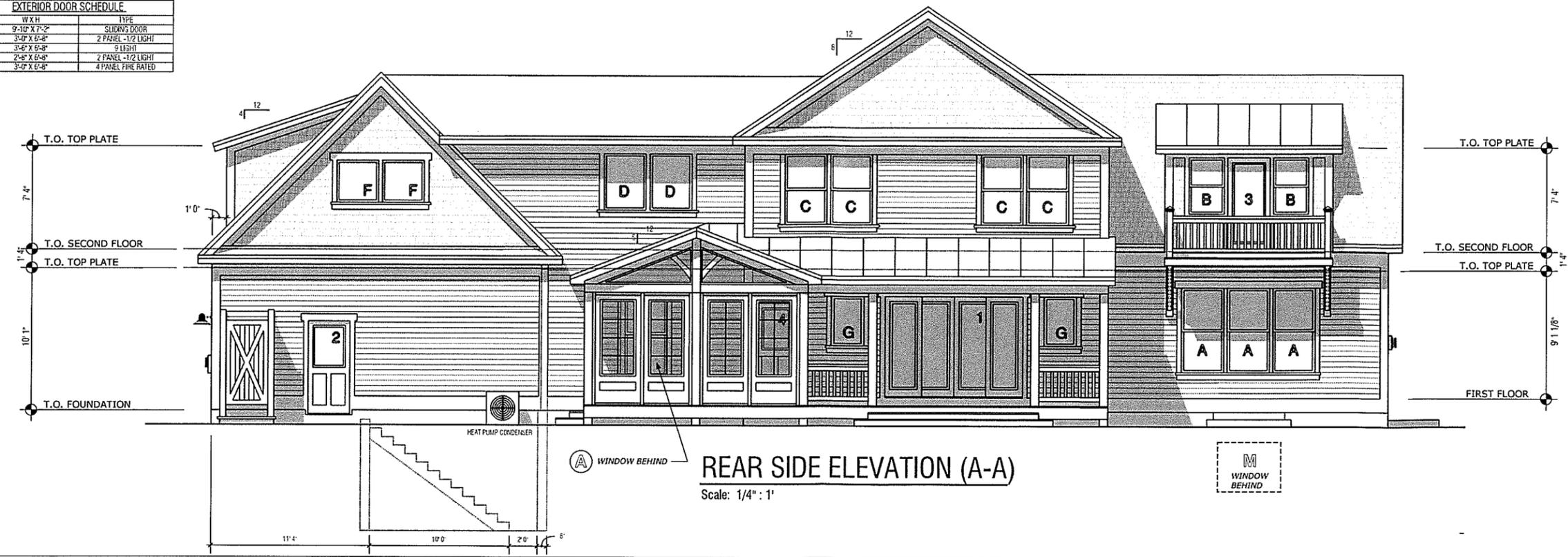
PARTIAL RIGHT SIDE ELEVATION

Scale: 1/4" : 1'

WINDOW SCHEDULE			
NO	W X H	TYPE	EGRESS
A	3'-0" X 6'-0"	DOUBLE HUNG	X
B	2'-0" X 4'-0"	DOUBLE HUNG	-
C	3'-0" X 3'-0"	DOUBLE HUNG	X
D	3'-0" X 4'-0"	CASEMENT	X
E	2'-0" X 3'-0"	CASEMENT	-
F	3'-0" X 3'-0"	CASEMENT	-
G	2'-0" X 3'-0"	CASEMENT	-
H	2'-0" X 3'-0"	CASEMENT	-
I	2'-0" X 2'-0"	CASEMENT	-
J	2'-0" X 2'-0"	CASEMENT	-
K	3'-0" X 1'-0"	TRANSOM	-
L	1'-0" X 6'-0"	SIDE LIGHT	-
M	4'-0" X 3'-0"	GLIDER	X

TRIM SCHEDULE	
ITEM	DESCRIPTION
1	CORNER BOARDS 5/4 X 8
2	FACIA BOARDS 1 X 8
3	FACIA CRIP BOARD 1 X 3
4	WINDOW HEAD TRIM 5/4 X 6 W/ 2" LAP
5	WINDOW JAMB TRIM 5/4 X 4
6	WINDOW SILL TRIM 5/4 X 4
7	DOOR HEAD TRIM 5/4 X 6 W/ 2" LAP
8	DOOR JAMB TRIM 5/4 X 4
9	GABLE TRIM 5/4 X 6
10	BASEBOARD TRIM 5/4 X 12

EXTERIOR DOOR SCHEDULE		
NO	W X H	TYPE
1	9'-10" X 7'-0"	SLIDING DOOR
2	3'-0" X 6'-8"	2 PANEL - 1/2 LIGHT
3	3'-0" X 6'-8"	9 LIGHT
4	2'-0" X 6'-8"	2 PANEL - 1/2 LIGHT
5	3'-0" X 6'-8"	4 PANEL FIRE RATED



REAR SIDE ELEVATION (A-A)

Scale: 1/4" : 1'

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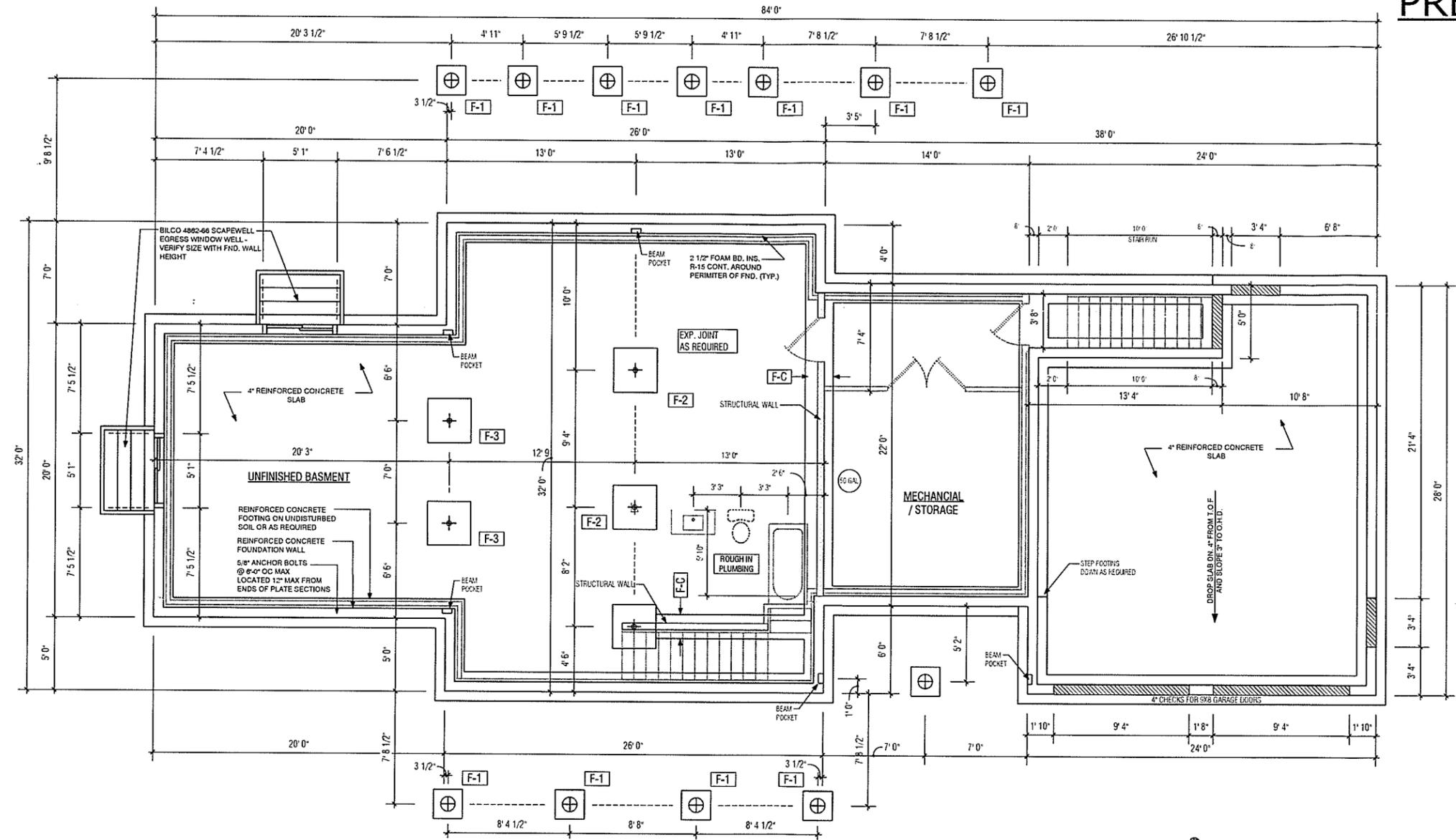
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Rear & Right Elevations

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FOUNDATION PLAN

Scale: 1/4" = 1'

FOUNDATION SCHEDULE					
SYMBOL	WALL THICKNESS	REINFORCING	MAXIMUM WALL HEIGHT	MAXIMUM UNBALANCED FILL	CONTINUOUS FOOTING
W-8	8"	(2) #4S TOP & BOTTOM	8'-0"	6'-10"	1'-8" WIDE X 10" DEEP
W-10	10"	(2) #4S TOP & BOTTOM	9'-0"	7'-10"	1'-8" WIDE X 10" DEEP
W-13	13"	(2) #4S TOP & BOTTOM	9'-0"	7'-10"	2'-0" WIDE X 10" DEEP
W-15	15"	(2) #4S TOP & BOTTOM	9'-0"	7'-10"	2'-0" WIDE X 10" DEEP

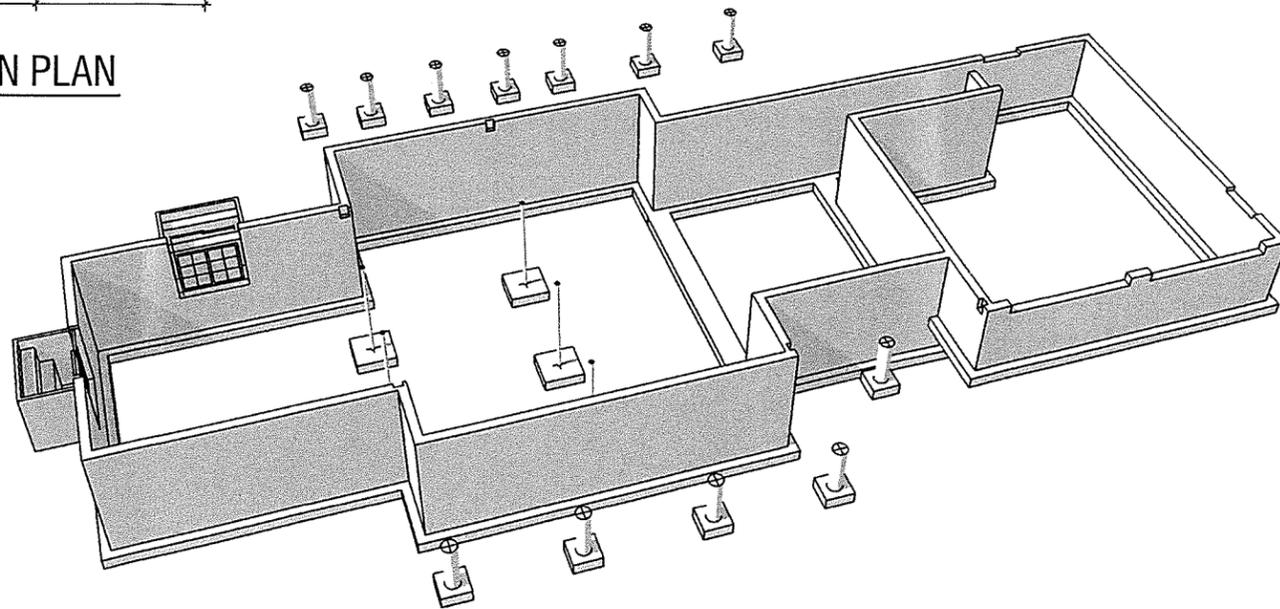
FOOTING SCHEDULE					
SYMBOL	TYPE	SIZE	REINFORCING	COLUMN	NOTES
F-C	CONTINUOUS FOOTING (INTERIOR)	1'-4" WIDE X 10" DEEP	(2) #4S TOP & BOTTOM		
F-1	1'-4" WIDE X 8'-0" DEEP CONTINUOUS FOOTING		(2) #4S CONTINUOUS REINFORCING		THE PERS TO FOOTING WITH (2) #4 DOWNELS & JELLY AT EACH PIER
F-2	PAD FOOTING	2'-0" X 2'-0" X 1'-0" DEEP	(2) #4S EACH WAY	3 1/2 LALY COLUMN*	
F-3	PAD FOOTING	3'-0" X 3'-0" X 1'-0" DEEP	(2) #4S EACH WAY	3 1/2 LALY COLUMN*	

FOUNDATION NOTES

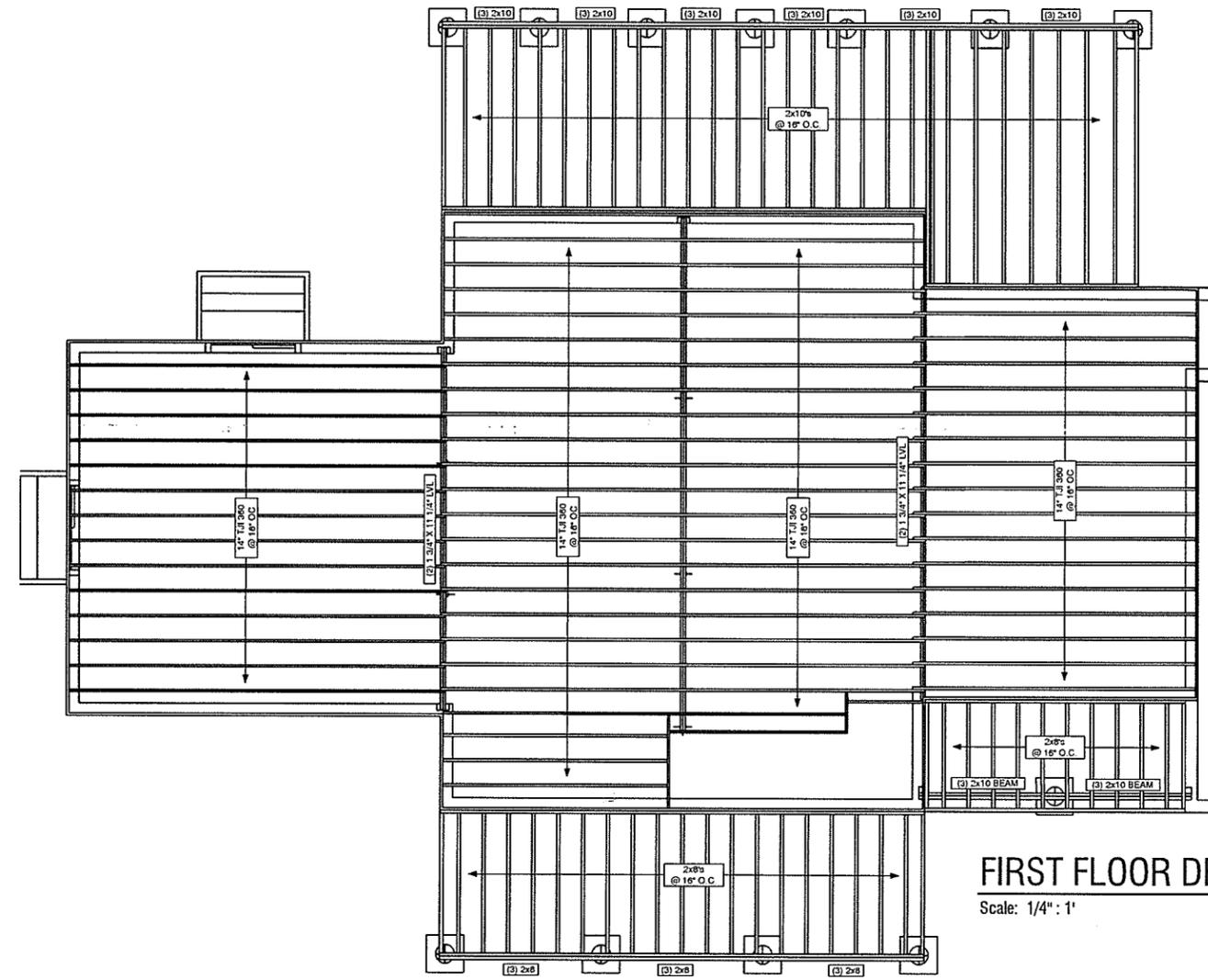
ALL DIMENSIONS TO BE VERIFIED IN THE FIELD BY OTHERS
 FOOTINGS ARE TO BEAR ON UNDISTURBED SOIL WITH A BEARING CAPACITY OF 2000 PSF
 TOP OF FOOTINGS IS TO BE AT 48" MINIMUM BELOW GRADE
 INSTALL BEAM POCKETS AS REQUIRED BY FIRST FLOOR DECK FRAMING
 THE LOCATIONS AND HEIGHTS OF STEPPING IN THE FOUNDATION WALL DEPENDS ON THE EXISTING GRADE
 THE MUDROOM FOUNDATION IS SIZED FOR STICK FRAMED WALL ENCLOSURE
 LAY 3" RIGID INSULATION UNDER SLAB

TYPICAL CONSTRUCTION:

INTERIOR SLAB ON GRADE:
 4" CONCRETE SLAB OVER 6 MIL POLY. VAPOR BARRIER OVER 3" RIGID INSULATION 4" MINIMUM GRANULAR FILL OVER UNDISTURBED SOIL OR COMPACTED FILL
GARAGE & EXTERIOR SLAB ON GRADE:
 4" CONCRETE SLAB OVER 4" MINIMUM GRANULAR FILL OVER UNDISTURBED SOIL OR COMPACTED FILL

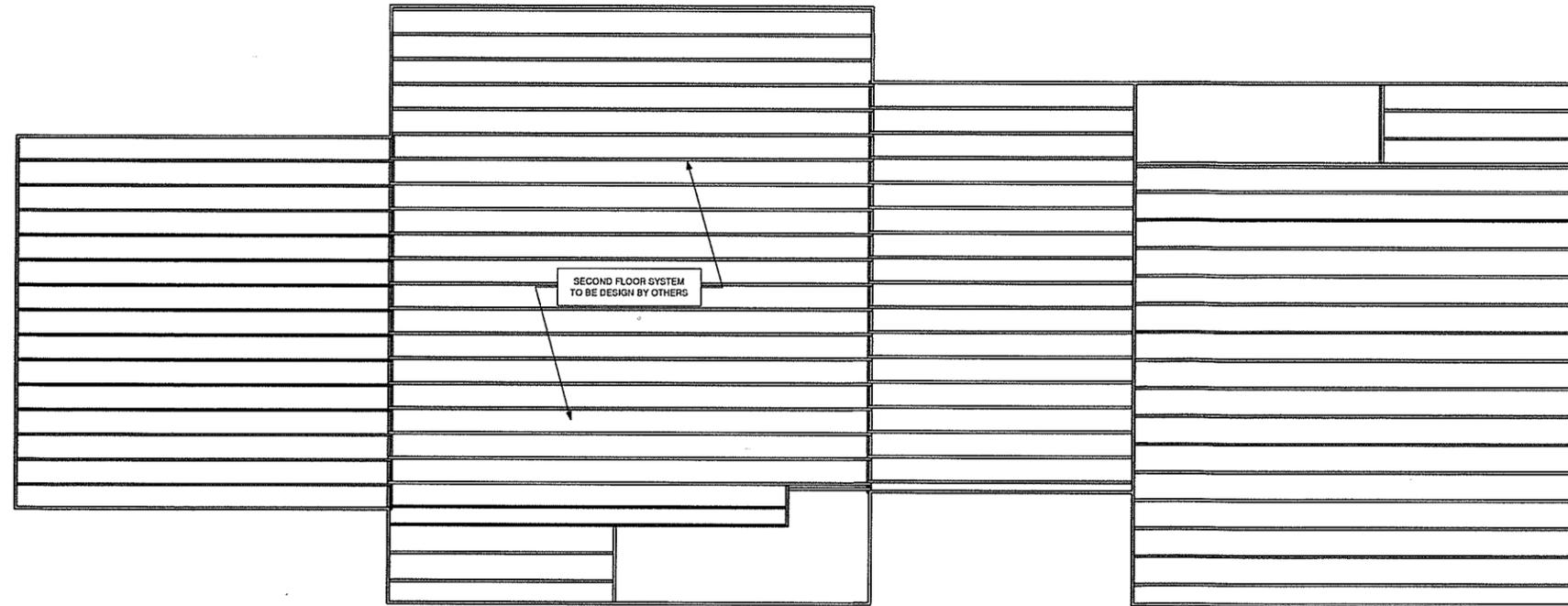


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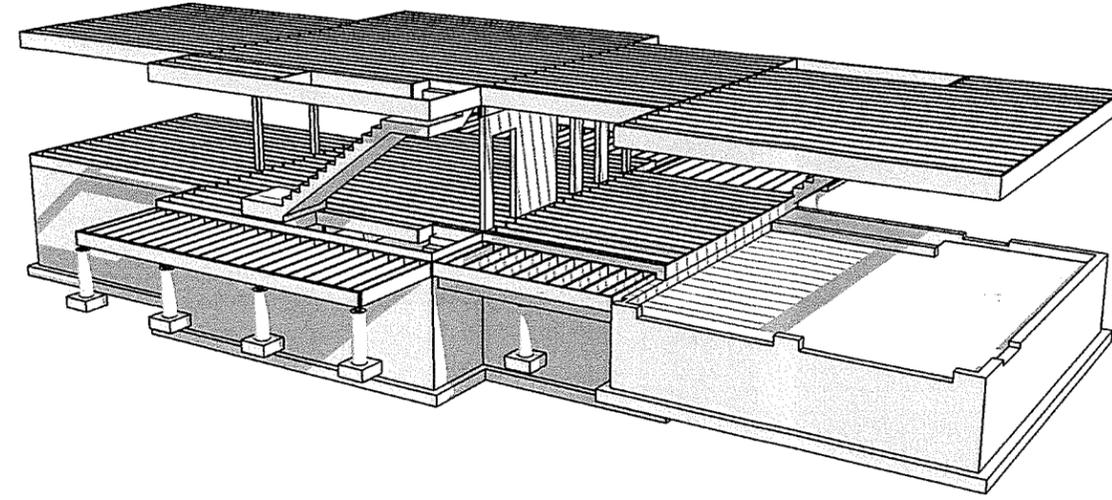
FIRST FLOOR DECK FRAMING PLAN

Scale: 1/4" : 1'



SECOND FLOOR DECK FRAMING PLAN

Scale: 1/4" : 1'



DECK FRAMING NOTES

THE DECK FRAMING SYSTEMS ARE PRELIMINARILY DESIGNED FOR A DEFLECTION OF LESS THAN 1/260 TH OF THE SPAN WITH A DEAD LOAD OF 15 PSF AND A LIVE LOAD OF 40 PSF - SIZING SHOULD BE REVIEWED BY A STRUCTURAL ENGINEER

FINISHED DECKS ARE TO BE FLAT AND LEVEL TO WITHIN A TOLERANCE OF 1/8"

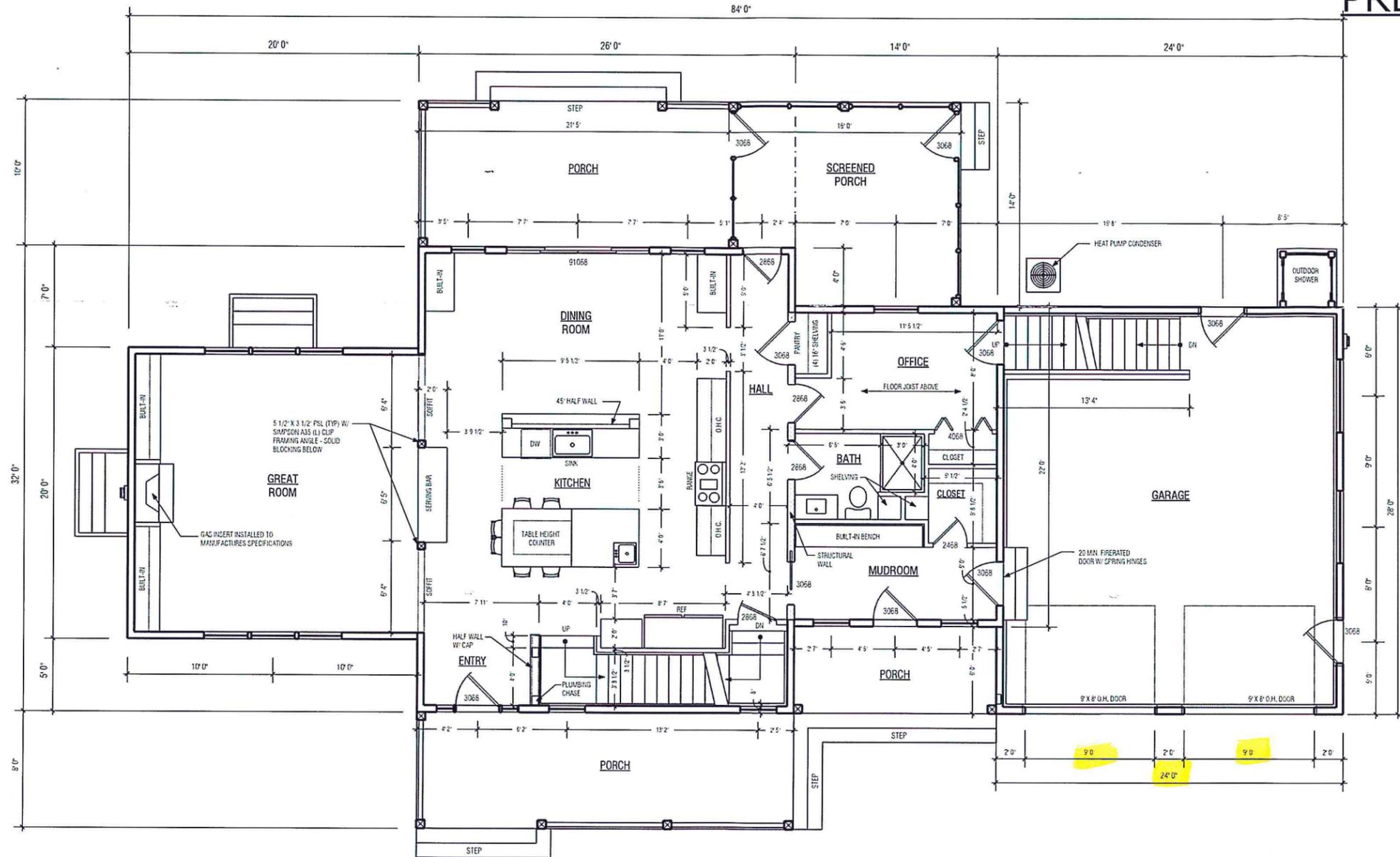
INSTALL SOLID BLOCKING BELOW STRUCTURAL COLUMNS AT ALL LOCATIONS

COORDINATE COLUMN AND STAIR LOCATION WITH FRAME DRAWINGS

TJS, RIM BOARDS, AND LVL'S AS MANUFACTURED BY TRUSS JOIST OR EQUIVALENT - FOLLOW MANUFACTURERS INSTALLATION SPECIFICATIONS IF MEMBER SIZES SPECIFIED ARE NOT AVAILABLE AN EQUIVALENT OR LARGER MEMBER IS TO BE USED

DECK AND PORCH FLOOR DIMENSIONAL LUMBER FRAMING IS PRELIMINARILY DESIGNED FOR A MINIMUM F_b OF 75 PSI W/O ADJUSTMENT FACTORS AND A MODULUS OF ELASTICITY OF E = 1400000 PSI SIZING SHOULD BE REVIEWED BY A STRUCTURAL ENGINEER

PRELIMINARY



FIRST FLOOR PLAN

Scale: 1/4" = 1'

GENERAL NOTES

ALL CONSTRUCTION TO MEET OR EXCEED ALL LOCAL, STATE, AND NATIONAL BUILDING CODES

HEATING / PLUMBING NOTES

HEATING BY PROPANE OR AS SELECTED BY OWNER

PIPE WITH 1/2" OR 3/4" COPPER PIPE OR (PEX) FOR ALL WATER SUPPLY LINES - 3/4" DIAMETER MAIN W/ 1/2" BRANCH LINES

GC TO PROVIDE ISOLATION VALVES PER OWNERS SPECIFICATION

STAIR AND RAILING NOTED

ALL STRAIGHT RUN STAIRS ARE TO HAVE TREADS WITH A MINIMUM WIDTH OF 10" WITH 1 1/8" NOSINGS AND RISERS WITH A MAXIMUM HEIGHT OF 7 3/4"

ALL STAIR LANDING AND BALCONY RAILINGS ARE TO BE 36" ABOVE NOSINGS, LANDINGS, AND FLOORS

FREE STANDING RAILINGS ARE TO HAVE BALLUSTERS AT 4" OC MAXIMUM

ALL STAIRS ARE TO HAVE A MINIMUM OF 6'-8" CLEAR HEIGHT ABOVE NOSINGS

DOOR NOTES

ALL INTERIOR EGRESS DOORS ARE TO BE A MINIMUM OF 2'-8" WIDE AND 6'-8" HIGH

ALL EXTERIOR DOORS ARE TO BE A MINIMUM OF 3'-0" WIDE AND 6'-8" HIGH

FIRE SEPARATION NOTE

THE GARAGE IS TO BE SEPARATED FROM ALL ADJACENT LIVING SPACES BY A ONE HOUR FIRE RATED ASSEMBLY

ELECTRICAL NOTES

OUTLETS IN BATHROOMS, KITCHEN, AND LAUNDRY TO BE GFI OUTLETS

EXTERIOR OUTLETS TO BE WATERPROOF GFI OUTLETS

110 VOLT OUTLETS ARE TO BE LOCATED @ 10' OC MAXIMUM FOR ALL INTERIOR ROOMS

ALL ROOMS ARE TO HAVE A SWITCHED OUTLET OR SWITCHED LIGHT FIXTURE

INSTALL INTERCONNECTED FIRE AND SMOKE DETECTOR SYSTEM IN BEDROOMS, HALL, KITCHEN, GREAT ROOM, OFFICE, MUDROOM & GARAGE



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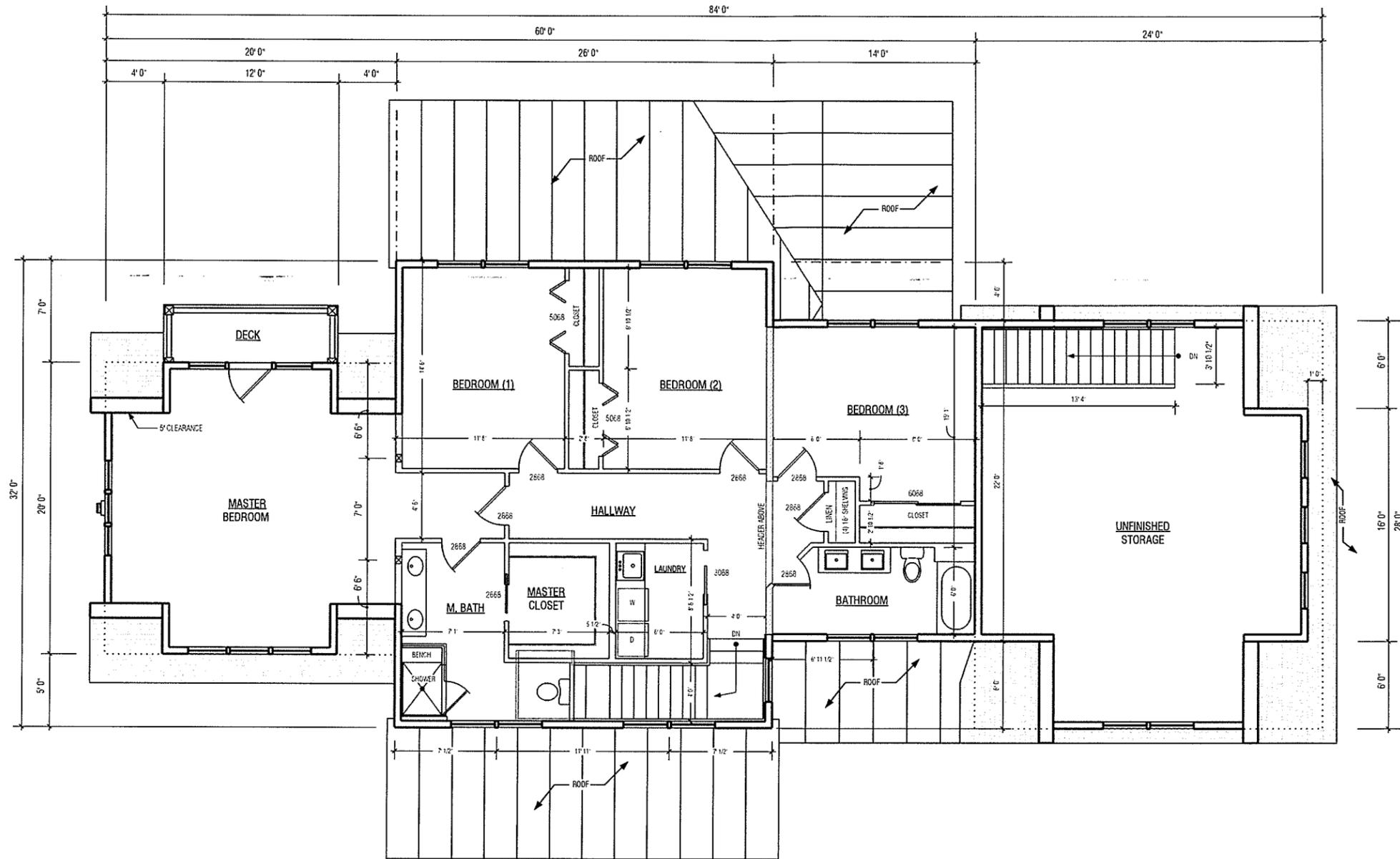
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First Floor Plan

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SECOND FLOOR PLAN

Scale: 1/4" = 1'



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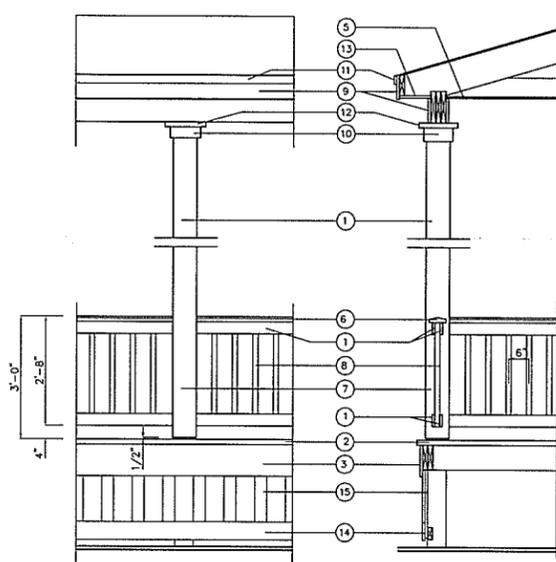
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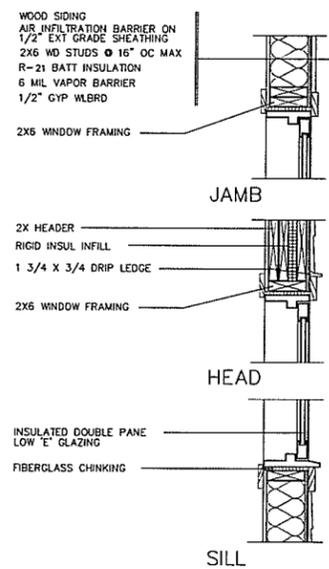
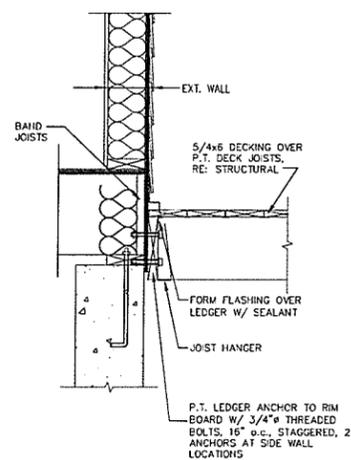
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Second Floor Plan

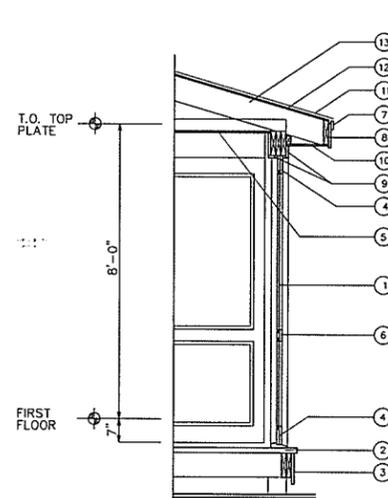


- 1 3/4" X 3 1/2" PAINTED WOOD RAIL
- 2 1 1/2" X 5 1/2" PAINTED WOOD DECKING
- 3 3/4" X PAINTED WOOD TRIM
- 4 3/4" X 7 1/4" PAINTED WOOD TRIM
- 5 PAINTED BEAD BOARD SOFFIT
- 6 3/4" X 1 1/2" PAINTED WOOD CAP
- 7 7" X 3/4" PAINTED WOOD POST TRIM AROUND 5 1/2" P.T. POST
- 8 1 1/2" X 1 1/2" PAINTED WOOD BALLUSTER
- 9 3/4" X 7 1/4" PAINTED WOOD FACIA
- 10 3/4" X 5 1/2" PAINTED WOOD TRIM
- 11 3/4" X 2 1/2" PAINTED WOOD DRIP BOARD
- 12 1 1/2" X 1 1/2" PAINTED WOOD COLUMN CAP
- 13 3/4" X 9 1/4" PAINTED WOOD SOFFIT
- 14 3/4" X 5 1/2" PAINTED WOOD TRIM
- 15 3/4" X 5 1/2" PAINTED WOOD SCREEN BOARDS

PORCH RAILING DETAIL
SCALE: 1/2"=1'-0"

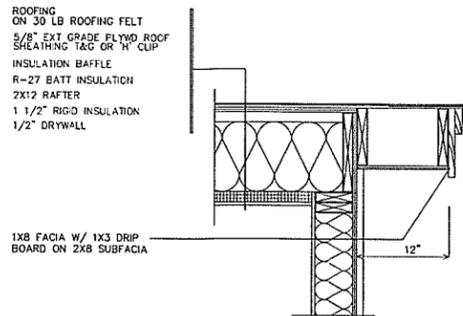


WINDOW DETAILS
SCALE: 1"=1'-0"

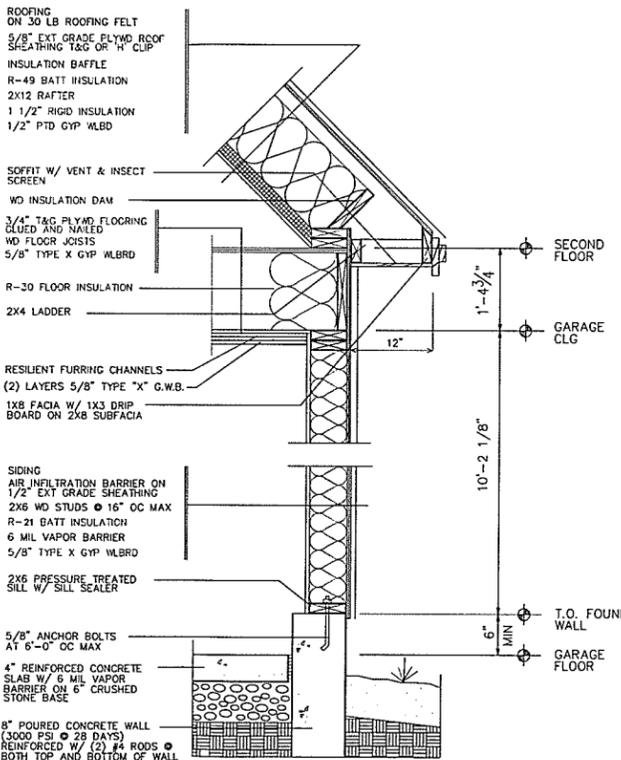


- 1 ALUMINUM MESH SCREENING
- 2 1 1/2" X 5 1/2" PAINTED T & G WOOD DECKING
- 3 3/4" X 10" PAINTED WOOD TRIM
- 4 3/4" X 5 1/2" SCREEN FRAME
- 5 PAINTED BEAD BOARD CEILING
- 6 3/4" X 3 1/2" SCREEN FRAME
- 7 3/4" X 2 1/2" DRIP EDGE
- 8 3/4" X 7 1/4" FACIA BOARD
- 9 3/4" X PAINTED WOOD TRIM
- 10 1/2" MDO BOARD SOFFIT
- 11 STANDING SEAM ROOFING
- 12 1/2" ROOF SHEATHING
- 13 2" X RAFTER @ 16" OC

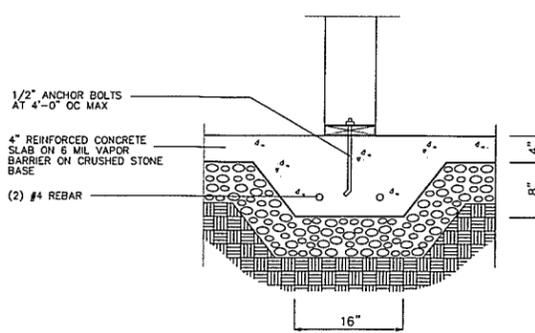
SCREENED PORCH DETAIL
SCALE: 1/2"=1'-0"



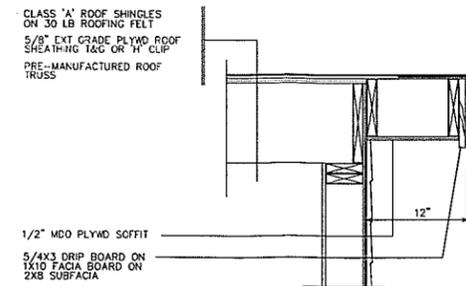
GABLE DETAIL
SCALE: 1"=1'-0"



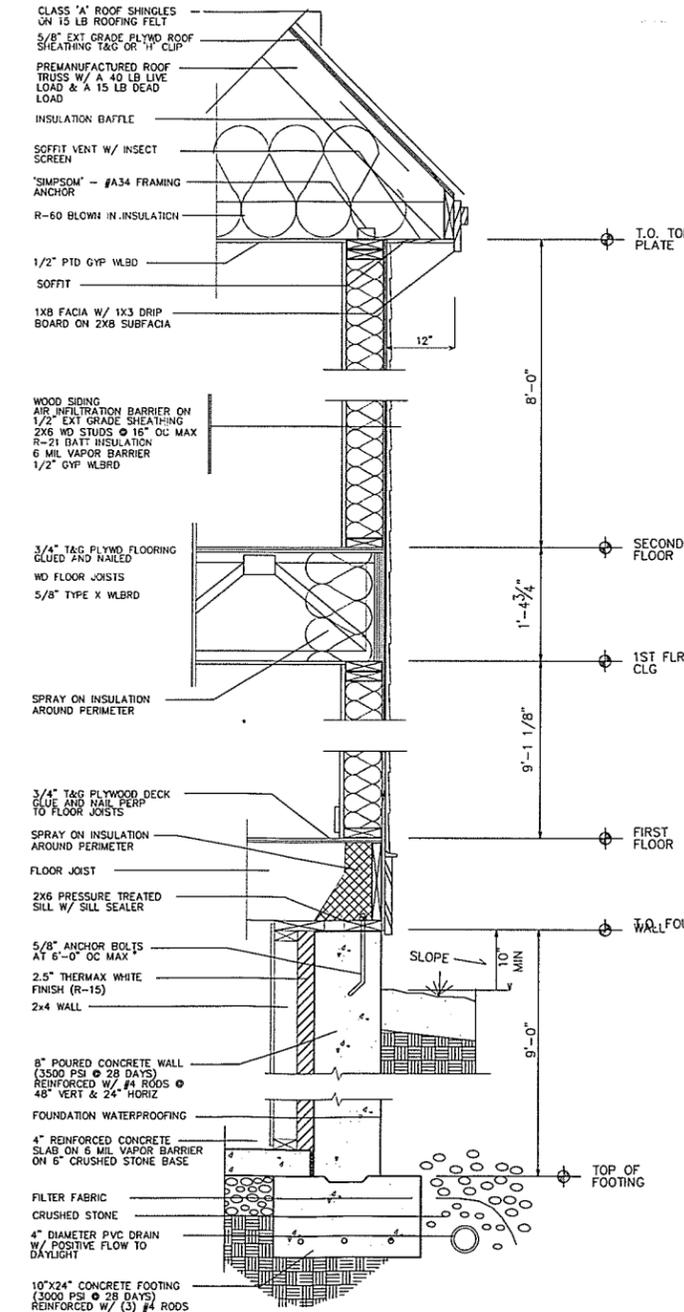
FOUNDATION @ GARAGE WING
SCALE: 1"=1'-0"



THICKENED SLAB DETAIL
SCALE: 1"=1'-0"



GABLE DETAIL
SCALE: 1"=1'-0"



WALL SECTION DETAIL
SCALE: 1"=1'-0"