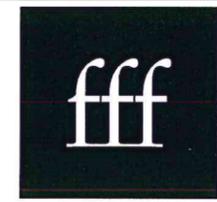


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freeman | french | freeman

81 Maple Street - Burlington Vermont 05401
802-864-6844 - www.fffinc.com
Architecture - Planning - Interiors

CITY MARKET SOUTH END PERMIT PLANS JULY 29, 2016

OWNER / OCCUPANT
Flynn Avenue, LLC/ City Market, Union River Co-op
82 S. Winooski Ave
Burlington, Vermont 05401
(802) 861-9700

ARCHITECT
Freeman French Freeman, Inc.
81 Maple Street
Burlington, VT 05401
(802) 864-6844

LANDSCAPE ARCHITECT
SE Group
131 Church St., 3rd floor
Burlington, VT, 05401
(802) 862-0098

CIVIL ENGINEER
CEA
10 Mansfield View Lane
South Burlington, VT 05404
(802) 864-2323

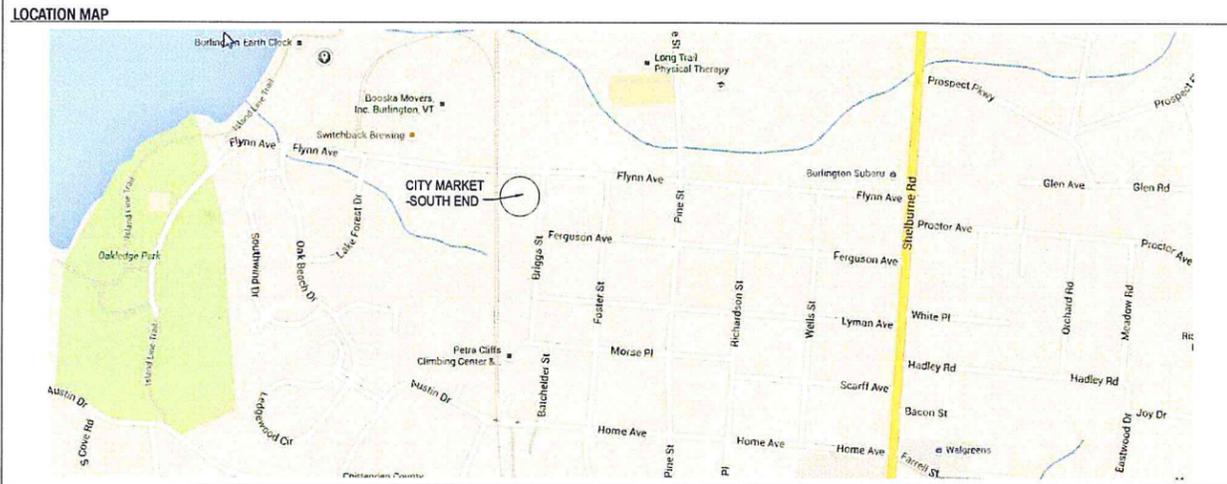
STORMWATER ENGINEER
VHB
40 IDX Drive, Bldg 100, Suite 200
South Burlington, VT 05403
(802) 497-6130

ENVIRONMENTAL ENGINEER
Stone Environmental, Inc.
535 Stone Cutters Way
Montpelier, VT 05602
(802) 229-4541

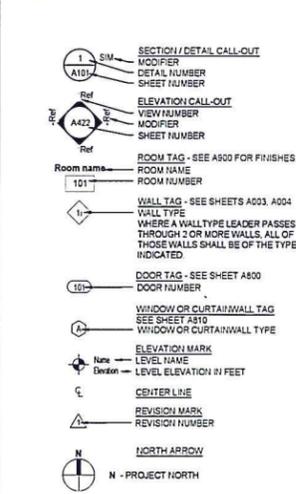
STRUCTURAL ENGINEER
Engineering Ventures
208 Flynn Avenue, Suite 2A
Burlington, VT 05401
(802) 863-6225

MEP ENGINEER
LN Consulting
69 Union St.
Winooski, VT 05404
Tel: (802) 655-1753

FIXTURES & EQUIPMENT
National Co-op Grocers
14 S. Linn Street
Iowa City, Iowa 52240
(866) 709-COOP



SYMBOLS LEGEND



ABBREVIATIONS

ACM	ALUMINUM COMPOSITE PANEL	MATL	MATERIAL
ACT	ACOUSTICAL CEILING TILE	MAX	MAXIMUM
ADA	AMERICANS WITH DISABILITIES ACT	MECH	MECHANICAL
AFF	ABOVE FINISH FLOOR	MFR	MANUFACTURER
ALUM	ALUMINUM	MIN	MINIMUM
APPROX	APPROXIMATELY	MISC	MISCELLANEOUS
BD	BOARD	MO	MASONRY OPENING
BLDG	BUILDING	MTD	MOUNTED
		MTL	METAL
CG	CORNER GUARD	NIC	NOT IN CONTRACT
CJ	CONTROL JOINT	NTS	NOT TO SCALE
CL	CENTER LINE	OC	ON CENTER
CLG	CEILING	OD	OVERFLOW ROOF DRAIN
CLR	CLEAR	OFF	OFFICE
CMF	COMPOSITE METAL PANEL	OH	OPPOSITE HAND OR OVERHEAD
CMU	CONCRETE MASONRY UNIT	OPP	OPPOSITE
COL	COLUMN	OPF	OWNER FURNISHED
CONC	CONCRETE	CONT	CONTINUOUS
CORR	CORRIDOR	OFI	OWNER FURNISHED CONTRACTOR INSTALLED
CPT	CARPET		
CT	CERAMIC TILE	PJ	PANEL JOINT
CFI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	PL	PLATE
CFI	CONTRACTOR FURNISHED OWNER INSTALLED	PLM/P-LAM	PLASTIC LAMINATE
		PLT	PLATFORM
DF	DRINKING FOUNTAIN	PLYWD	PLYWOOD
DIA	DIAMETER	PRFAB	PREFABRICATED
DN	DOWN	PT	PRESSURE TREATED
DTL	DETAIL	PTD	PAINTED
DWG	DRAWING	QT	QUARRY TILE
EJ	EXPANSION JOINT	RCP	REFLECTED CEILING PLAN
EL/ELEV	ELEVATION	RD	ROOF DRAIN
ELEC	ELECTRIC	REF	REFERENCE/REFRIGERATOR
EMER	EMERGENCY	REQD	REQUIRED
ENGR	ENGINEER	RESL	RESIDENT
EQ	EQUAL	REV	REVISION
EQUIP	EQUIPMENT	RM	ROOM
ENC	ELECTRIC WATER COOLER	RO	ROUGH OPENING
EX/EXIST	EXISTING	SCHED	SCHEDULE
EXT	EXTERIOR	SECT	SECTION
ETR	EXISTING TO REMAIN	SH	SHED
		SHT	SHEET
FD	FLOOR DRAIN	SHM	SIMILAR
FEC	FIRE EXTINGUISHER CABINET	SPEC	SPECIFICATION
FIN FLR	FINISH FLOOR	STD	STANDARD
FIN	FINISH	STL	STEEL
FLR	FLOOR	SS, ST, STL	STAINLESS STEEL
FRM	FIRE RESISTIVE MATERIAL	STOR	STORAGE
FT	FOOT OR FEET	STRUCT	STRUCTURAL
GALV	GALVANIZED	TEL	TELEPHONE
GWB	GYP-SUM WALL BOARD	TDC	TOP OF CONCRETE
GYP	GYP-SUM	TOS	TOP OF STEEL
		TOW	TOP OF WALL
HC	HANDICAP	TYP	TYPICAL
HDW	HARDWARE	UNO	UNLESS NOTED OTHERWISE
HM	HOLLOW METAL	UC	UNDER CONTROL
HORIZ	HORIZONTAL		
HR	HANDRAIL	VB	VINYL BASE
HT	HEIGHT	VCT	VINYL COMPOSITION TILE
		VERT	VERTICAL
INSUL	INSULATION	VEST	VESTIBULE
INT	INTERIOR		
IN	INCHES	W/	WITH
JAN	JANITOR	WC	WATER CLOSET
JC	JANITOR CLOSET	WD	WOOD
LAV	LAVATORY	W/O	WITHOUT

SCHEDULE OF DRAWINGS

C1.0	EXISTING CONDITIONS SITE PLAN
C2.0	PROPOSED OVERALL SITE PLAN
C2.1	PROPOSED PARTIAL SITE PLAN
C3.0	PROPOSED EPSC
C3.1	EROSION CONTROL NOTES & DETAILS
C4.0	DETAILS
C4.1	DETAILS
C4.2	DETAILS
C4.3	DRAINAGE DETAILS
LA-001	EXISTING CONDITIONS SITE PHOTOS
LA-100	LAYOUT PLAN
LA-101	LAYOUT PLAN
LA-102	LAYOUT PLAN
LA-200	PLANTING PLAN
LA-201	PLANTING PLAN
LA-202	PLANTING PLAN
LA-203	PLANTING PLAN
LA-204	PLANTING PLAN
LA-205	PLANTING DETAILS
LA-300	LANDSCAPE DETAILS
LA-301	LANDSCAPE DETAILS
LA-302	LANDSCAPE DETAILS
LA-400	LIGHTING PLAN
LA-401	LIGHTING DETAILS
LA-402	LIGHTING DETAILS
A101	1st FLOOR PLAN
A102	MEZZANINE FLOOR PLAN
A103	ROOF PLAN
A200	EXTERIOR ELEVATIONS
A310	WALL SECTIONS
G300	ACCESSORY AREAS
G401	PERSPECTIVE VIEWS
G402	PERSPECTIVE VIEWS
G500	COLOR PERSPECTIVE
G501	COLOR ELEVATIONS

July 29th 2016
PERMIT PLANS
NOT FOR CONSTRUCTION
NOT FOR BUILDING PERMIT

PROGRESS SET - NOT FOR CONSTRUCTION



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81 Maple Street - Burlington
802-664-6344
Architecture - Planning - Interiors
SITE ENGINEER:



CIVIL ENGINEERING ASSOCIATES, INC.
Burlington, Vermont
100 South Main Street, Suite 200
Burlington, VT 05401
802-249-1111

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CITY MARKET SOUTH END

Burlington, Vermont

PROJECT NO:	15253
DATE:	04/06/16
SCALE:	1" = 30'
DESIGNED BY:	GAC
CHECKED BY:	SAV
DATE:	02/12/2016
DESIGN:	04/15/2016
PERMIT PLANS:	04/22/2016
PERMIT PLANS:	06/17/2016
PERMIT PLANS:	07/29/2016

EXISTING CONDITIONS SITE PLAN

C1.0



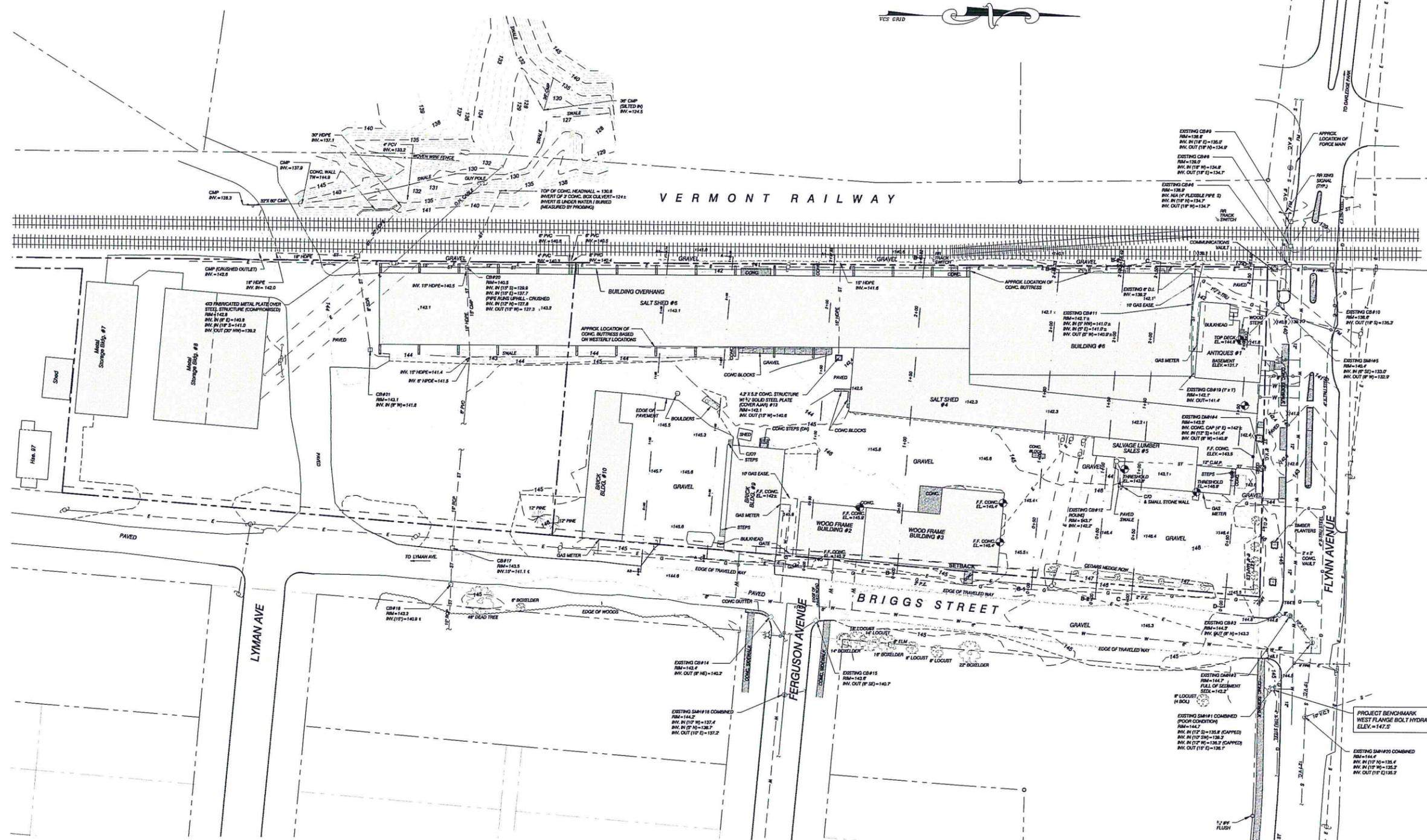
VERMONT RAILWAY

BRIGGS STREET

FERGUSON AVENUE

LYMAN AVE

FLYNN AVENUE



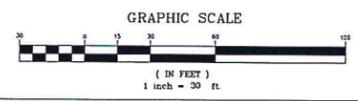
LEGEND

- APPROXIMATE PROPERTY LINE
- APPROXIMATE SETBACK LINE
- EXISTING CONTOUR
- EXISTING CURB
- EXISTING FENCE
- EXISTING GRAVEL
- EXISTING PAVEMENT
- OVERHEAD ELECTRIC
- EXISTING FORCE MAIN
- EXISTING GAS
- EXISTING STORM
- EXISTING GRAVITY SEWER
- EXISTING TELEPHONE
- EXISTING WATER
- EXISTING SWALE
- EXISTING SEWER MANHOLE
- EXISTING STORM MANHOLE
- EXISTING CATCH BASIN
- EXISTING HYDRANT
- EXISTING SHUT OFF
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE

- EXISTING GUY WIRE/POLE
- EXISTING SIGN
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE
- EDGE OF BRUSHWOODS
- IRON ROD/PIPE FOUND
- CONCRETE MONUMENT FOUND
- PROJECT BENCHMARK
- EXISTING SPOT GRADE

NOTES

- UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY BASED ON SURFACE INDICATIONS AND OTHER SOURCES. THE CONTRACTOR SHALL FIELD VERIFY ALL UTILITY CONTACTS. ALL DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER. THE CONTRACTOR SHALL CONTACT DIG SAFE (888-344-7233) PRIOR TO ANY CONSTRUCTION.
- PROPERTY LINE INFORMATION IS BASED ON 2015 SURVEY BY CEA. THIS PLAN IS NOT A BOUNDARY SURVEY AND IS NOT INTENDED TO BE USED AS ONE. PROPOSED BOUNDARY MONUMENTATION TO BE PRESERVED/PROTECTED BY CONTRACTORS.
- SITE INFORMATION IS BASED ON A FIELD SURVEY PERFORMED BY CIVIL ENGINEERING ASSOCIATES, INC. DECEMBER 2015. CIVIL ENGINEERING ASSOCIATES, INC. SURVEY ORIENTATION IS "GRID NORTH", VERMONT COORDINATE SYSTEM OF 1983 (HORIZONTAL) AND NAVD83 (VERTICAL) ESTABLISHED FROM GPS OBSERVATIONS ON OR NEAR SITE.



PROGRESS
SET -
NOT FOR
CONSTRUCTION

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81 Maple Street - Burlington
802-654-4344
Architectural - Engineering -
Interior
SITE ENGINEER:
CIVIL ENGINEERING ASSOCIATES, INC.
100 WASHINGTON ST. SUITE 200
BURLINGTON, VT 05401
PH: 802-255-7771
WWW.CIVIL-ENGINEERS.COM

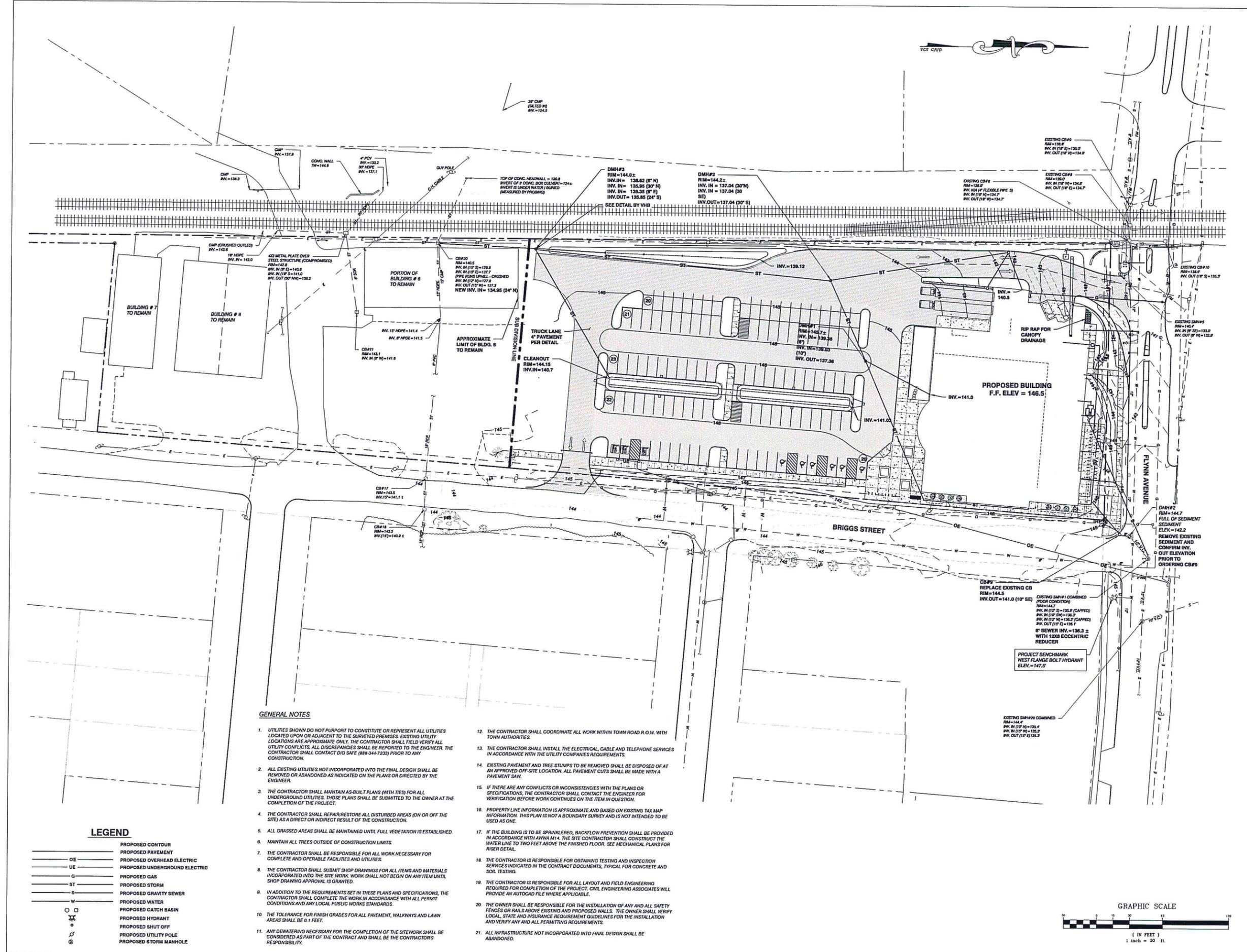
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CITY
MARKET
SOUTH END
Burlington,
Vermont

PROJECT NO.	15253
DATE	04/06/16
SCALE	1" = 30'
DRAWN BY	MAB
CHECKED BY	SAV
DATE	02/12/2016
DESIGN	04/15/2016
DEVELOPMENT	04/22/2016
PERMIT PLANS	05/17/2016
PERMIT PLANS	07/25/2016

PROPOSED
OVERALL
SITE PLAN
C2.0



GENERAL NOTES

- UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL UTILITY CONFLICTS. ALL DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER. THE CONTRACTOR SHALL CONTACT DIG SAFE (888-344-7233) PRIOR TO ANY CONSTRUCTION.
- ALL EXISTING UTILITIES NOT INCORPORATED INTO THE FINAL DESIGN SHALL BE REMOVED OR ABANDONED AS INDICATED ON THE PLANS OR DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS (WITH TIES) FOR ALL UNDERGROUND UTILITIES. THOSE PLANS SHALL BE SUBMITTED TO THE OWNER AT THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL REPAIR/RESTORE ALL DISTURBED AREAS (ON OR OFF THE SITE) AS A DIRECT OR INDIRECT RESULT OF THE CONSTRUCTION.
- ALL GRASSED AREAS SHALL BE MAINTAINED UNTIL FULL VEGETATION IS ESTABLISHED.
- MAINTAIN ALL TREES OUTSIDE OF CONSTRUCTION LIMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NECESSARY FOR COMPLETE AND OPERABLE FACILITIES AND UTILITIES.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL ITEMS AND MATERIALS INCORPORATED INTO THE SITE WORK. WORK SHALL NOT BEGIN ON ANY ITEM UNTIL SHOP DRAWING APPROVAL IS GRANTED.
- IN ADDITION TO THE REQUIREMENTS SET IN THESE PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL COMPLETE THE WORK IN ACCORDANCE WITH ALL PERMIT CONDITIONS AND ANY LOCAL PUBLIC WORKS STANDARDS.
- THE TOLERANCE FOR FINISH GRADES FOR ALL PAVEMENT, WALKWAYS AND LAWN AREAS SHALL BE 0.1 FEET.
- ANY DEWATERING NECESSARY FOR THE COMPLETION OF THE SITEWORK SHALL BE CONSIDERED AS PART OF THE CONTRACT AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITHIN TOWN ROAD R.O.W. WITH TOWN AUTHORITIES.
- THE CONTRACTOR SHALL INSTALL THE ELECTRICAL, CABLE AND TELEPHONE SERVICES IN ACCORDANCE WITH THE UTILITY COMPANIES REQUIREMENTS.
- EXISTING PAVEMENT AND TREE STUMPS TO BE REMOVED SHALL BE DISPOSED OF AT AN APPROVED OFF-SITE LOCATION. ALL PAVEMENT CUTS SHALL BE MADE WITH A PAVEMENT SAW.
- IF THERE ARE ANY CONFLICTS OR INCONSISTENCIES WITH THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR VERIFICATION BEFORE WORK CONTINUES ON THE ITEM IN QUESTION.
- PROPERTY LINE INFORMATION IS APPROXIMATE AND BASED ON EXISTING TAX MAP INFORMATION. THIS PLAN IS NOT A BOUNDARY SURVEY AND IS NOT INTENDED TO BE USED AS ONE.
- IF THE BUILDING IS TO BE SPRINKLERED, BACKFLOW PREVENTION SHALL BE PROVIDED IN ACCORDANCE WITH AVMA M-4. THE SITE CONTRACTOR SHALL CONSTRUCT THE WATER LINE TO TWO FEET ABOVE THE FINISHED FLOOR. SEE MECHANICAL PLANS FOR RISER DETAIL.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING TESTING AND INSPECTION SERVICES INDICATED IN THE CONTRACT DOCUMENTS, TYPICAL FOR CONCRETE AND SOIL TESTING.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT AND FIELD ENGINEERING REQUIRED FOR COMPLETION OF THE PROJECT. CIVIL ENGINEERING ASSOCIATES WILL PROVIDE AN AUTOCAD FILE WHERE APPLICABLE.
- THE OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ANY AND ALL SAFETY FENCES OR RAILS ABOVE EXISTING AND PROPOSED WALLS. THE OWNER SHALL VERIFY LOCAL, STATE AND INSURANCE REQUIREMENT GUIDELINES FOR THE INSTALLATION AND VERIFY ANY AND ALL PERMITTING REQUIREMENTS.
- ALL INFRASTRUCTURE NOT INCORPORATED INTO FINAL DESIGN SHALL BE ABANDONED.

LEGEND

- PROPOSED CONTOUR
- PROPOSED PAVEMENT
- OE PROPOSED OVERHEAD ELECTRIC
- UE PROPOSED UNDERGROUND ELECTRIC
- G PROPOSED GAS
- ST PROPOSED STORM
- S PROPOSED GRAVITY SEWER
- W PROPOSED WATER
- PROPOSED CATCH BASIN
- PROPOSED HYDRANT
- PROPOSED SHUT OFF
- PROPOSED UTILITY POLE
- PROPOSED STORM MANHOLE

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PROGRESS SET - NOT FOR CONSTRUCTION

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 81 Maple Street - Burlington
 802-644-6344
 Architecture • Planning • Interiors
 SITE ENGINEER:

 CIVIL ENGINEERING ASSOCIATE, INC.
 100 WATER STREET, SUITE 200
 BURLINGTON, VT 05401
 802-249-1234

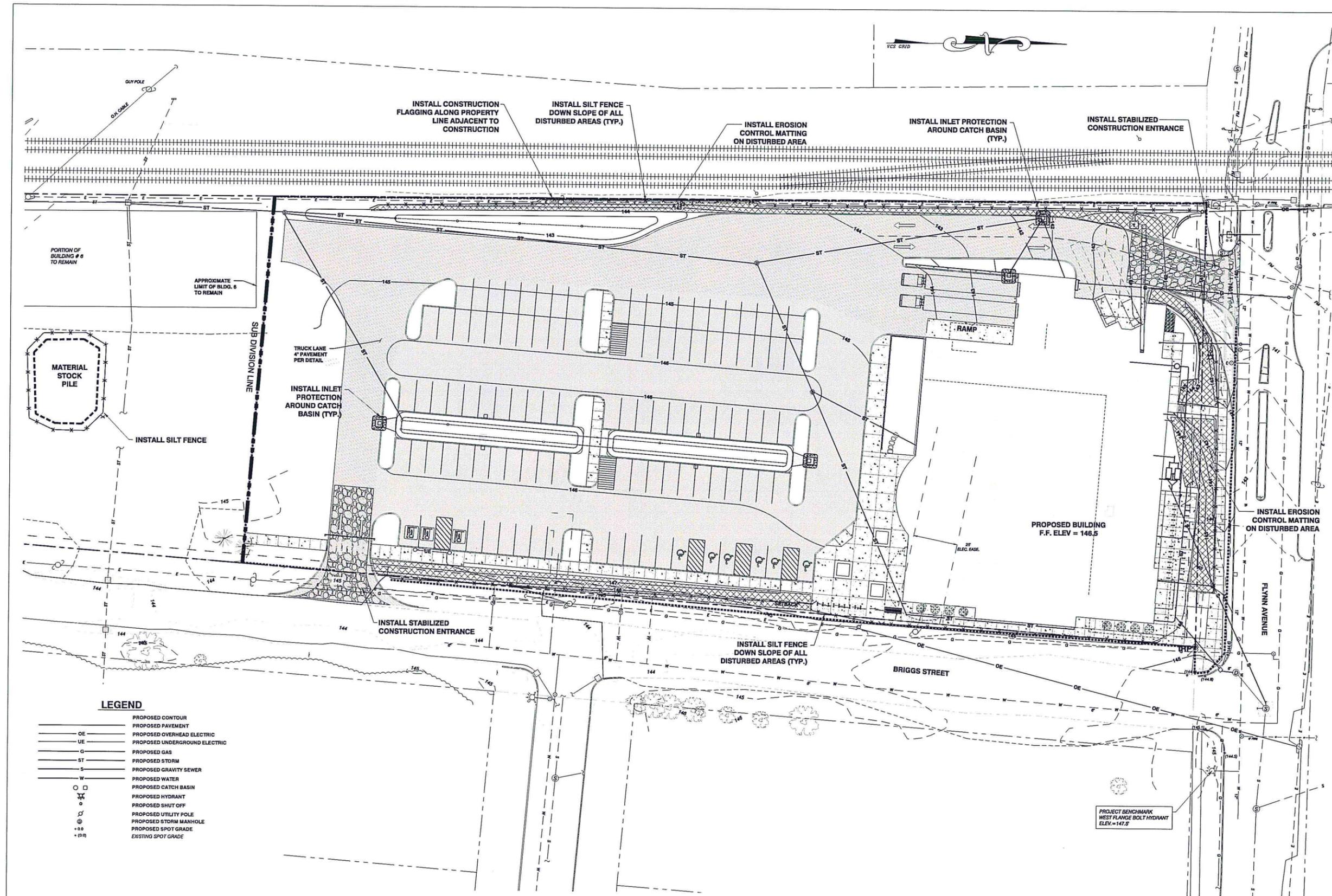
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CITY MARKET SOUTH END
 Burlington, Vermont

PROJECT NO.	15253
DATE	04/08/16 1" = 20'
DESIGNED BY	MAB
CHECKED BY	SAV
DATE	02/12/2016
DESIGN	04/19/2016
DEVELOPMENT	04/22/2016
PERMIT PLANS	05/17/2016
PERMIT PLANS	07/29/2016

PROPOSED EPSC
 C3.0



LEGEND

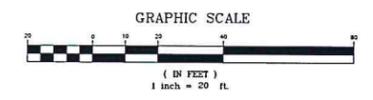
—	PROPOSED CONTOUR
—	PROPOSED PAVEMENT
—	PROPOSED OVERHEAD ELECTRIC
—	PROPOSED UNDERGROUND ELECTRIC
—	PROPOSED GAS
—	PROPOSED STORM
—	PROPOSED GRAVITY SEWER
—	PROPOSED WATER
○ □	PROPOSED CATCH BASIN
○	PROPOSED HYDRANT
○	PROPOSED SHUT OFF
○	PROPOSED UTILITY POLE
○	PROPOSED STORM MANHOLE
•	PROPOSED SPOT GRADE
•	EXISTING SPOT GRADE

EROSION CONTROL NOTES

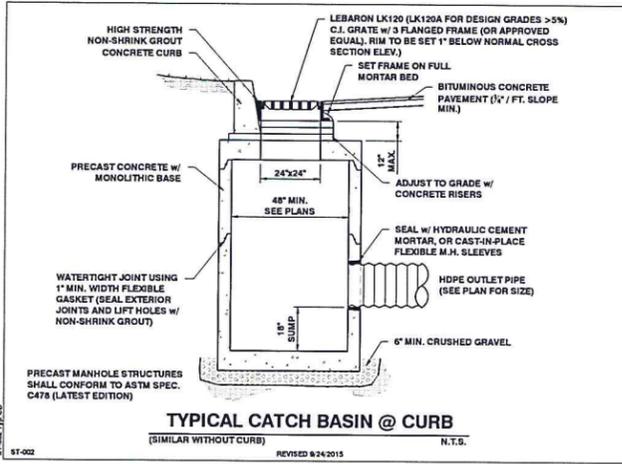
- SILT FENCE TO BE INSTALLED WHERE SHOWN PRIOR TO SOIL DISTURBANCE IN UPHILL AREAS.
- EROSION CONTROL MEASURES SHOWN ON PLANS ARE CONCEPTUAL. ADDITIONAL MEASURES MAY BE NECESSARY BASED ON SITE/WEATHER CONDITIONS DURING CONSTRUCTION.
- PROVIDE EROSION CONTROL MEASURES AT AMMO BREAKDOWN BUILDING AND LOCATIONS CHOSEN FOR STUMP DUMP AND BORROW AREAS.

EROSION CONTROL LEGEND

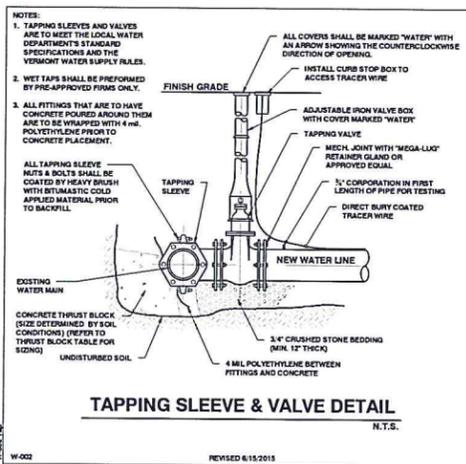
	SILT FENCE
	EROSION MATTING
	CONSTRUCTION FLAGGING



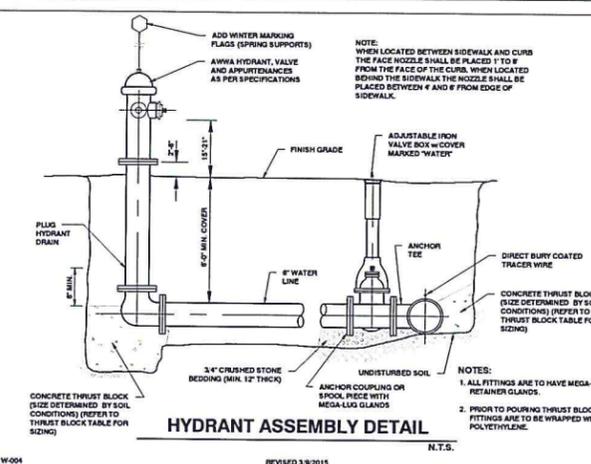
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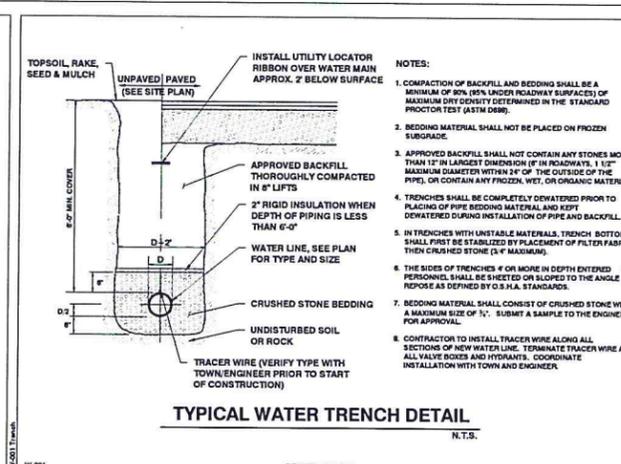
TYPICAL CATCH BASIN @ CURB
(SIMILAR WITHOUT CURB) N.T.S.



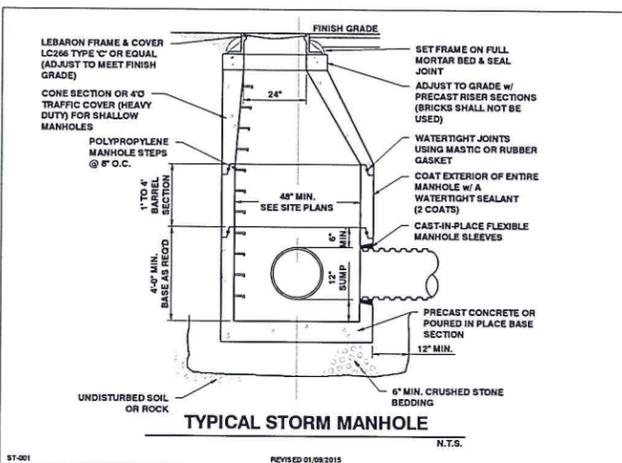
TAPPING SLEEVE & VALVE DETAIL
N.T.S.



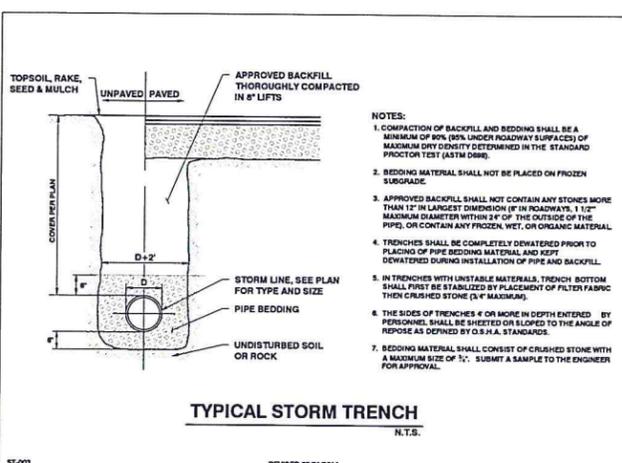
HYDRANT ASSEMBLY DETAIL
N.T.S.



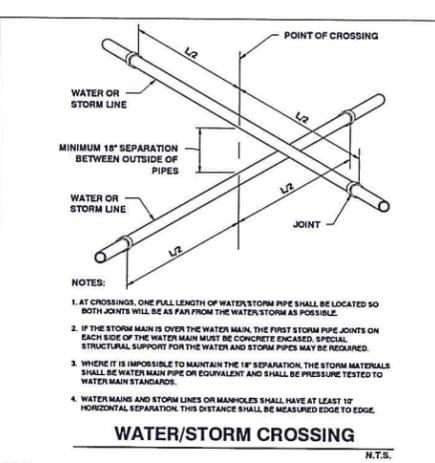
TYPICAL WATER TRENCH DETAIL
N.T.S.



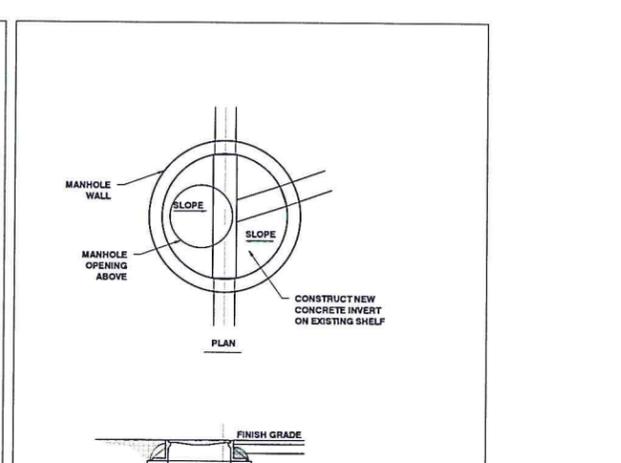
TYPICAL STORM MANHOLE
N.T.S.



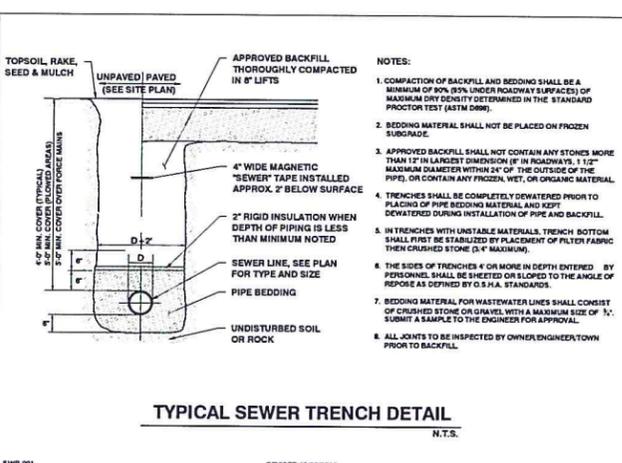
TYPICAL STORM TRENCH
N.T.S.



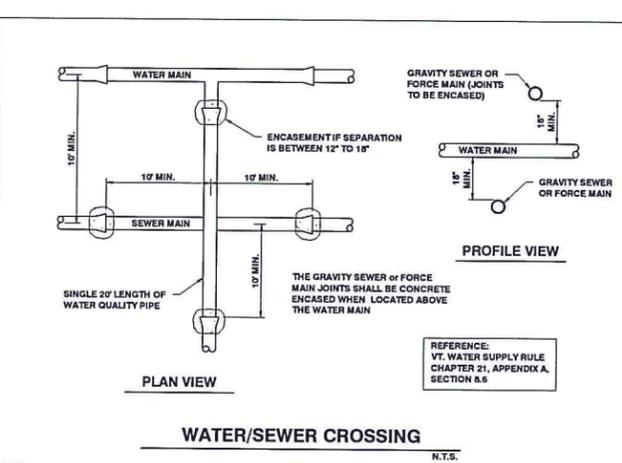
WATER/STORM CROSSING
N.T.S.



CONNECTION TO EXISTING SEWER MANHOLE
N.T.S.



TYPICAL SEWER TRENCH DETAIL
N.T.S.



WATER/SEWER CROSSING
N.T.S.

Potential Source of Contamination and other Siting Limitations

Potential Source of Contamination and other Siting Limitations	Separation Distance
Roadway, Parking Lot (outer edge of shoulder)	25'
Driveway (less than 3 residences)	15'
Sewage System Disposal Fields	5'
Subsurface Wastewater Piping and Related Tanks	50'
Property Line	100'
Limit of Herbicide Application on Utility R.O.W.	100'
Surface Water	5'
Flood ways	10'
Buildings	10'
Concentrated Livestock Holding Area & Manure Storage Systems	200'
Hazardous or Solid Waste Disposal Site	1'
Non-sewage Wastewater Disposal Fields	1'

a. See Table 11-2, FIG 11-1 OF VT WATER SUPPLY RULE, CH. 21
 b. Increased to 50' when adjacent to agricultural cropland.
 c. Applies to right-of-way (ROW) where herbicides have been applied in the past 12 months or may be applied in the future. This distance may be increased to 200' depending on the active ingredient in the herbicide according to Vermont Regulations for Control of Pesticides.
 d. For Public water sources, see Appendix A, part 3, Subpart 3.3.a.
 e. Water sources shall not be located in a food way.
 f. If a water source is potentially downgradient of a source of contamination, then the Agency shall apply the criteria in 11.4.2.2.

VERMONT WATER SUPPLY RULE - CHAPTER 21
TABLE A11-1 - REQUIRED MINIMUM SEPARATION DISTANCES

VERMONT WATER SUPPLY RULE - CHAPTER 21
TABLE A11-1 - REQUIRED MINIMUM SEPARATION DISTANCES

PROGRESS SET - NOT FOR CONSTRUCTION

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 81 Maple Street - Burlington
 802-644-4344
 Architecture - Engineers - Interiors

SITE ENGINEER:

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 800 WASHINGTON ST. SUITE 200
 BURLINGTON, VT 05401-1001
 802-249-8877

DEPARTMENT OF PLANNING & ZONING

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CITY MARKET SOUTH END

Burlington, Vermont

PROJECT NO: 15253

DATE: 04/08/16 NTS

DESIGNED BY: GAC

CHECKED BY: SAV

DATE: 02/12/2016

DATE: 04/15/2016

DATE: 04/12/2016

DATE: 05/17/2016

DATE: 07/29/2016

DETAILS

C4.1



SITE ENGINEER:



CIVIL ENGINEERING ASSOCIATE, INC.

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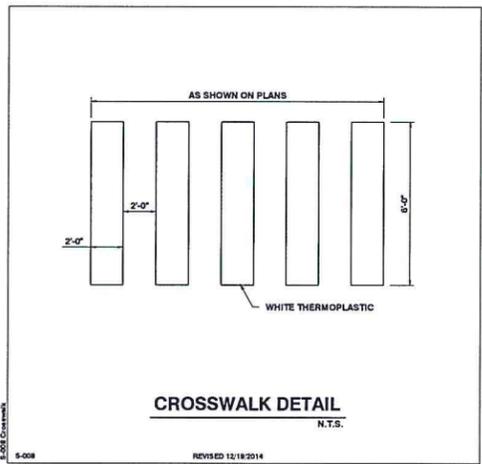
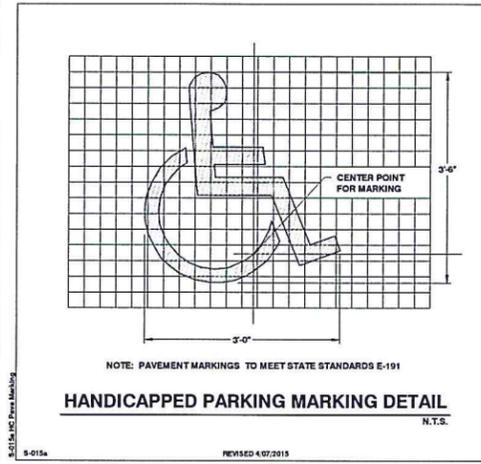
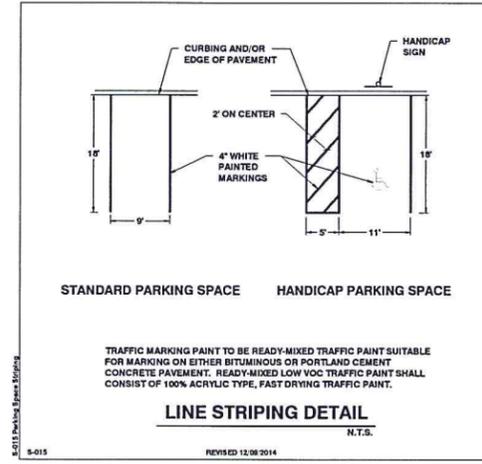
CITY MARKET SOUTH END

Burlington, Vermont

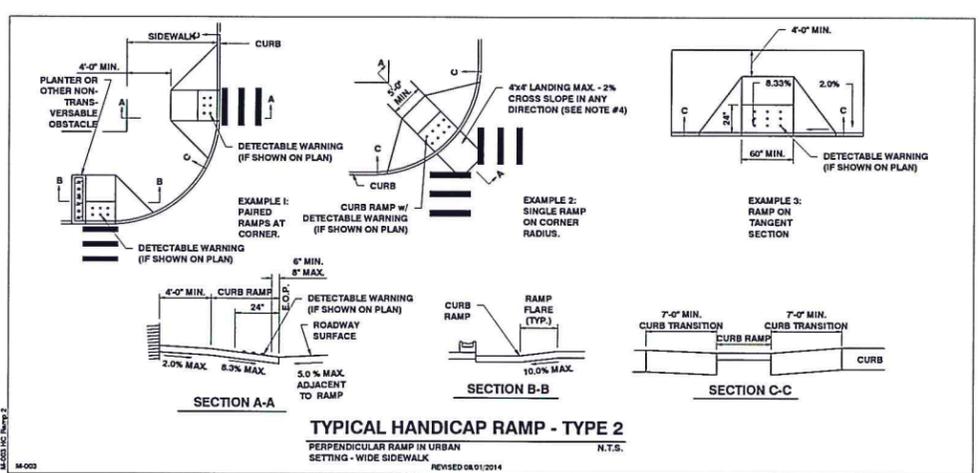
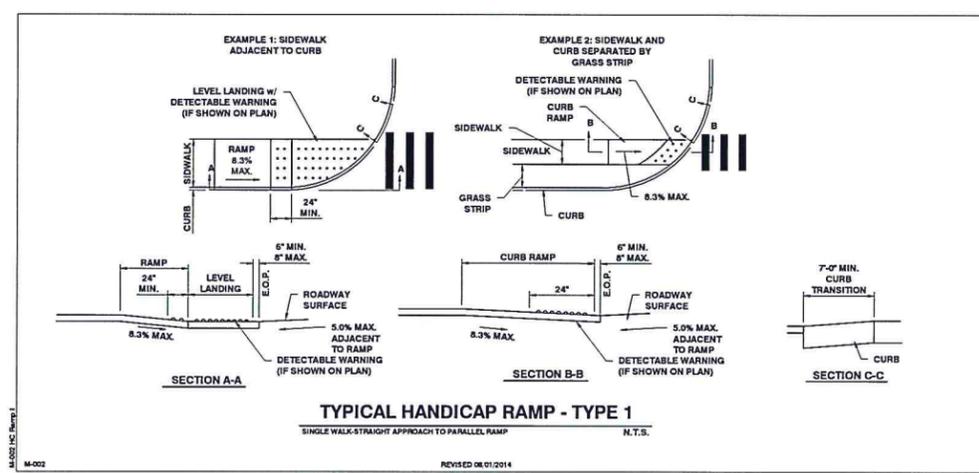
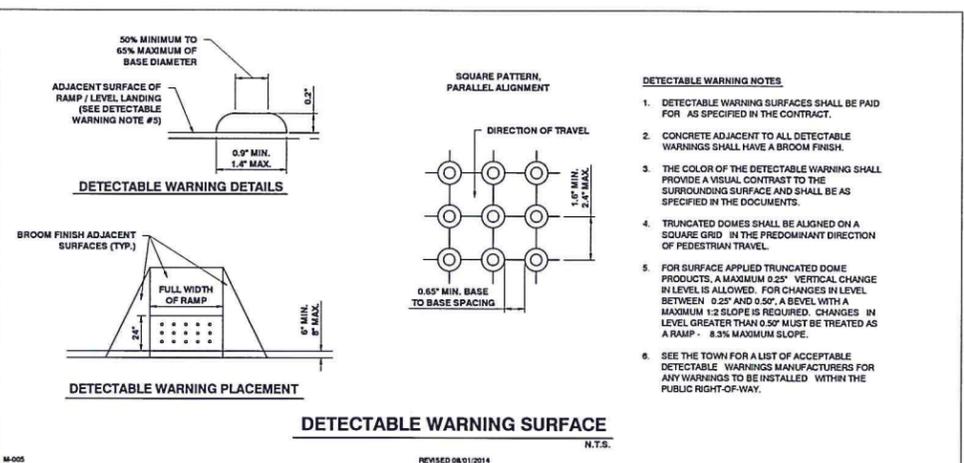
DATE: 04/08/16	SCALE: NTS
DESIGNER: GAC	CHECKED BY: SAV
DATE: 02/12/2016	DATE: 04/15/2016
DATE: 04/15/2016	DATE: 04/22/2016
DATE: 04/22/2016	DATE: 05/17/2016
DATE: 05/17/2016	DATE: 07/29/2016

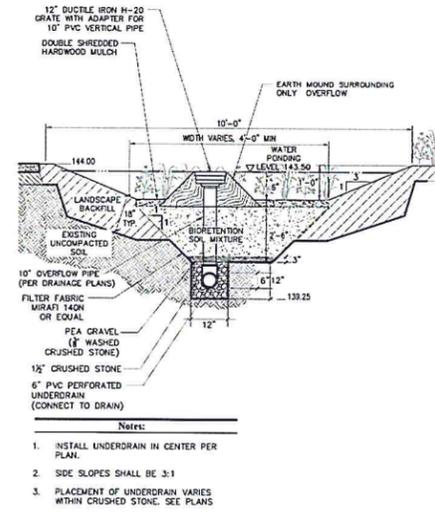
DETAILS

C4.2

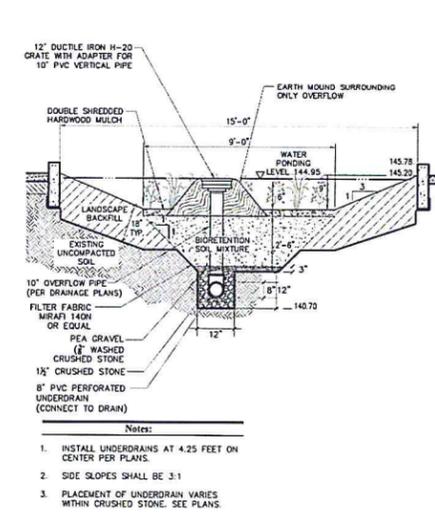


- HANDICAP RAMP NOTES**
N.T.S.
REVISED 08/01/2014
- THE DIMENSIONS AND GRADES SHOWN ON THIS STANDARD WILL BE ADHERED TO IN THE DESIGN AND THE CONSTRUCTION OF SIDEWALK RAMP. WHERE SIDEWALKS RUN ADJACENT TO ROADWAYS ON STEEP (4% OR GREATER) GRADES, RAMP GRADES WILL BE AS FLAT AS POSSIBLE. (ON LOW SIDE OF DRIVES AND INTERSECTING SIDE STREETS, RAMP SHALL SLOPE TOWARDS DRIVE OR SIDE STREET @ 2%)
 - NOMINAL RAMP DIMENSIONS: RAMP WIDTH - 5'-0" MINIMUM RAMP SLOPE - 8.3% MAXIMUM FLARE SLOPE - 10% MAXIMUM CROSS SLOPE - 2.0% MAXIMUM
 - A LEVEL LANDING (NO GREATER THAN 2.0% SLOPE IN ANY DIRECTION) SHALL BE PROVIDED AT THE TOP OF SIDEWALK RAMP TO ALLOW FOR STOPPING AND MANEUVERING OF WHEELCHAIRS.
 - LEVEL LANDINGS AT THE BOTTOM OF PERPENDICULAR RAMP SHALL BE WHOLLY CONTAINED WITHIN MARKED CROSSWALKS.
 - DUMMY JOINTS SHALL BE PROVIDED AT TRANSITIONS (GRADE CHANGES) AT TOPS AND BOTTOMS OF RAMP AND FLARES.
 - VERTICAL DROP-OFF EDGES TO RAMP WILL NOT BE BUILT UNLESS THE RAMP ABUTS AN AREA WHICH WILL NOT BE USED BY PEDESTRIANS.
 - NO VERTICAL "UP" OR "CURB REVEAL" WILL BE PROVIDED WHERE THE RAMP ADJOINS THE ROADWAY.
 - AT MARKED CROSSWALKS, THE FULL WIDTH OF THE RAMP OR LANDING SHALL BE CONTAINED WITHIN THE PAVEMENT MARKINGS.
 - WHERE POSSIBLE, RAMP FLARES SHOULD BE LOCATED OUTSIDE THE DIRECT LINE OF TRAVEL MOST LIKELY TO BE FOLLOWED BY THE VISUALLY IMPAIRED.
 - SIGNS, POLES, PLANTERS, MAILBOXES, ETC. SHALL NOT BE LOCATED WHERE THEY WILL INTERFERE WITH THE USE OF SIDEWALK RAMP.
 - WHERE POSSIBLE, SIDEWALK RAMP SHOULD NOT BE LOCATED WHERE USERS MUST CROSS DROP INLET GRATES, MANHOLE COVERS OR OTHER ACCESS LIDS. IF THIS CANNOT BE AVOIDED THEN GRATE DESIGN AND PLACEMENT SHALL CONFORM TO ADA REQUIREMENTS.
 - CURB DRAINAGE SHOULD BE CONSTRUCTED SO AS TO PRECLUDE THE FLOW OF WATER PAST THE SIDEWALK RAMP.
 - WHEREVER FEASIBLE, TWO SIDEWALK RAMP ARE RECOMMENDED IN PREFERENCE TO A SINGLE RAMP.
 - JOINTS WILL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT SIDEWALK SPECIFICATIONS, HOWEVER EXPANSION JOINTS WITHIN THE SIDEWALK RAMP AREA WILL BE AVOIDED WHEREVER POSSIBLE.
 - SIDEWALKS THAT ARE LESS THAN 5' WIDE REQUIRE 5' WIDE BY 5' LONG PASSING AREAS (NO GREATER THAN 2.0% CROSS SLOPE) AT INTERVALS NOT TO EXCEED 200 FEET.
 - E.O.P. = EDGE OF PAVEMENT
 - THE PUBLIC SIDEWALK CURB RAMP STANDARDS DEPICTED HERE MAY NOT BE APPROPRIATE FOR ALL LOCATIONS. FIELD CONDITIONS AT INDIVIDUAL LOCATIONS MAY REQUIRE SPECIFIC DESIGNS. DESIGNS MUST BE CONSISTENT WITH THE PROVISIONS OF THIS SHEET TO THE MAXIMUM EXTENT FEASIBLE ON ALTERATION PROJECTS AND WHEN STRUCTURALLY PRACTICABLE ON NEW CONSTRUCTION PROJECTS AS REQUIRED BY THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES.
 - ALL AREAS OF SIDEWALK RAMP SHALL HAVE EXPOSED AGGREGATE.

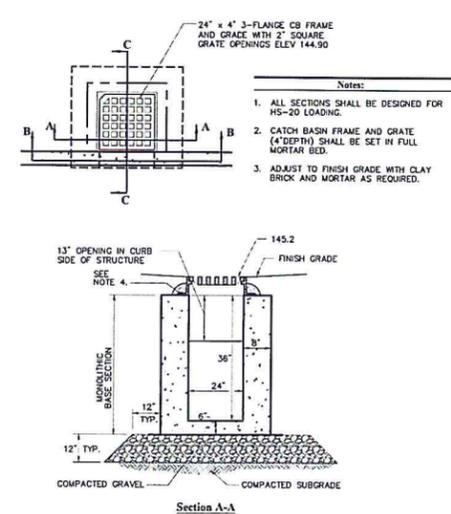




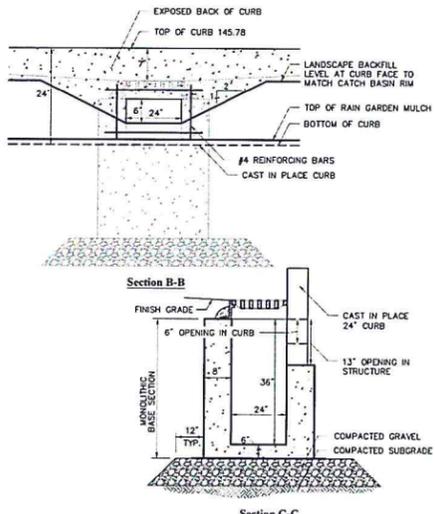
Western Rain Garden with Subdrain
 N.T.S. Source: VHB REV 10/15/15



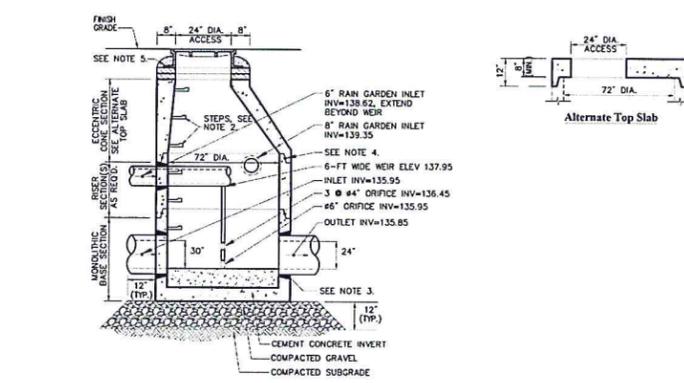
Central Rain Garden with Subdrain
 N.T.S. Source: VHB REV 10/15/15



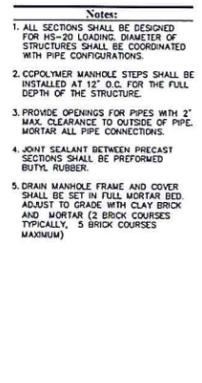
Rain Garden Curb Inlet
 N.T.S. Source: VHB REV 4/16/15



Rain Garden Curb Inlet
 N.T.S. Source: VHB REV 4/16/15



Drain Manhole #3 (DMH#3)
 N.T.S. Source: VHB REV 10/15/15



Alternate Top Slab
 N.T.S. Source: VHB REV 10/15/15

PROGRESS SET - NOT FOR CONSTRUCTION

fff
 freeman | french | freeman
 81 North Street - Burlington VT 05401
 802-484-4841 • www.fff.com
 Architecture • Planning • Engineers

vhb
 40 IDX Dr.
 Building 100 Suite 200
 South Burlington, VT 05403
 802.497.6100

PLANNING & ZONING

CITY MARKET SOUTH END

Burlington, Vermont

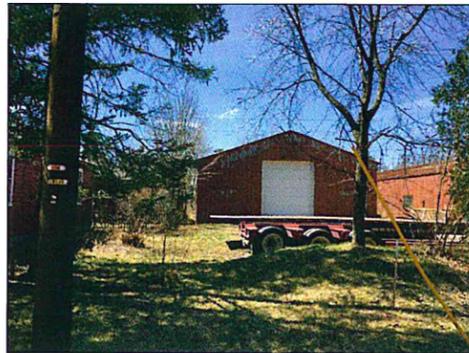
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ISSUANCE DATE	04/14/16
SCALE	N.T.S.
DRAWN BY	MHK
CHECKED BY	VHB
DESIGN	Schematic Design 02/12/2016
	Design Development 04/15/2016
	Permit Plans 07/29/2016

DRAINAGE DETAILS

C4.3



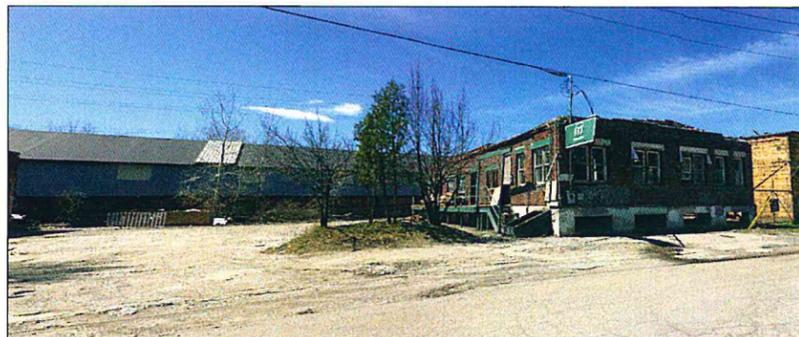
VIEW: EAST FACADE FROM BRIGGS STREET (Buildings 7&8)



VIEW: EAST ELEVATION FROM BRIGGS STREET (Building 7)



VIEW: LOOKING SOUTH FROM FLYNN AVE (Buildings 3,4&5)



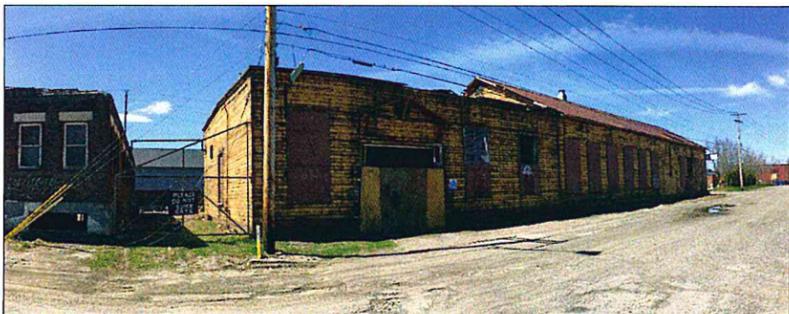
VIEW: EAST ELEVATION FROM BRIGGS STREET (Buildings 6&9)



VIEW: EAST ELEVATION FROM BRIGGS STREET (Building 10)



VIEW: NORTH ELEVATION FROM FLYNN AVE (Buildings 1&6)



VIEW: EAST ELEVATION FROM BRIGGS STREET (Buildings 2&3)



VIEW: WEST ELEVATION FROM FLYNN AVE (Buildings 1&6)



VIEW: EAST ELEVATION FROM BRIGGS STREET (Buildings 4&5)

PROGRESS SET
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CONSTRUCTION



SE GROUP
Landscape Architecture and Planning
131 Crown Street
Burlington, VT 05401
Tel: 802.485.2000
Fax: 802.485.2100
www.segroup.com

DEPARTMENT OF
PLANNING & ZONING

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CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO:
A1536.00

DATE: 04/22/16 SCALE: N/A

DESIGNED BY: TH DRAWN BY: MW

REVISIONS	DATE
Submittal Design	02-12-2016
Design Development	04-15-2016
Permit Plans	04-22-2016
Permit Plans	06-17-2016
Permit Plans	07-29-2016

PROJECT TITLE:

EXISTING
CONDITIONS
SITE PHOTOS

PROJECT NO:

LA-001

PROGRESS SET
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CONSTRUCTION



freeman | french | freeman
131 Maple Street - Burlington VT 05401
802.488.4444 - Fax: 802.488.4444
Architecture - Planning - Interiors



SE GROUP
Landscape Architecture and Planning
131 Maple Street - Burlington VT 05401
802.488.4444 - Fax: 802.488.4444
www.segroup.com

CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO: A1536.00

DATE: 04/22/16 SCALE: 1"=30'

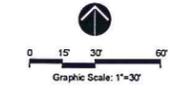
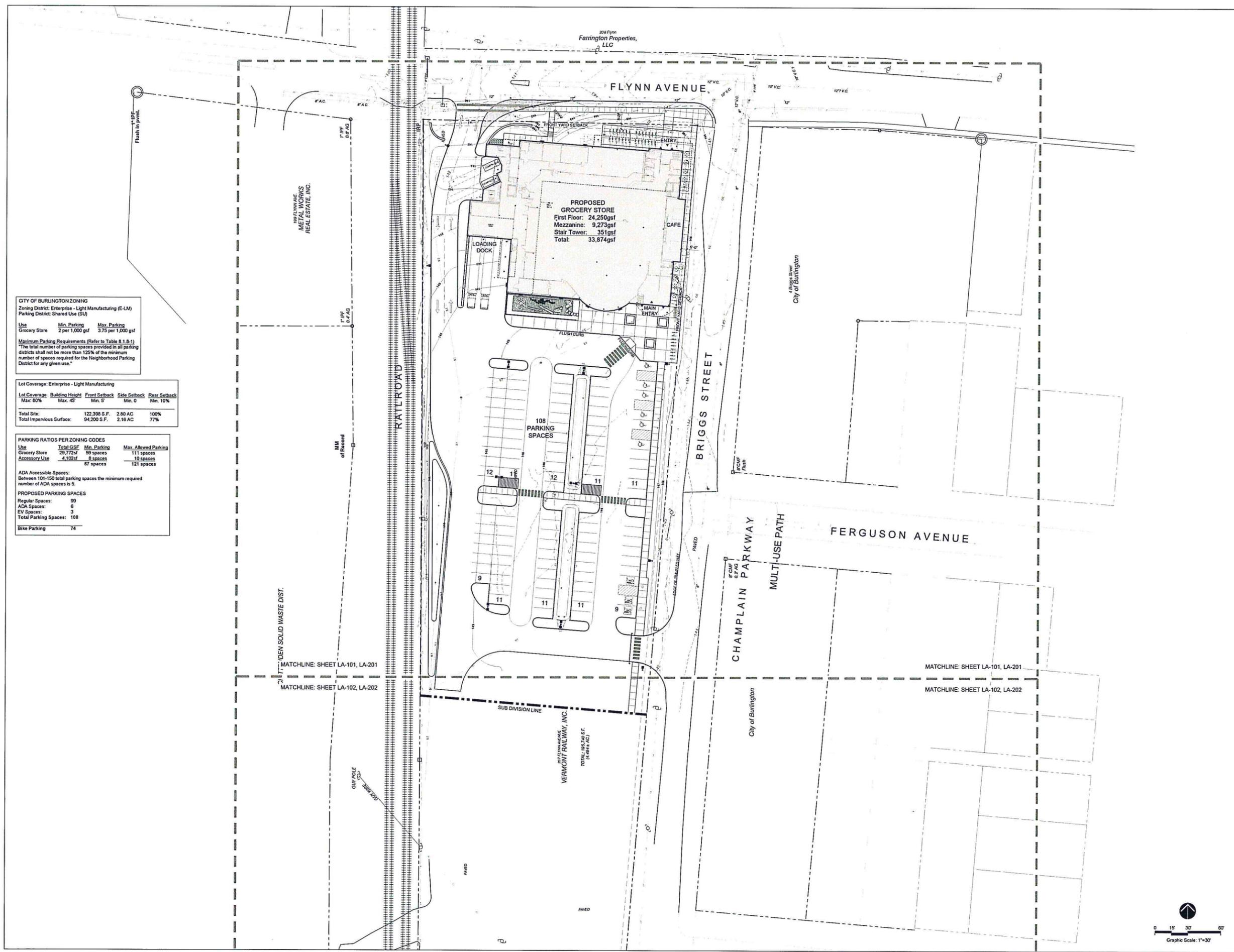
TH	MW
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REVISIONS:

Submittal Design	02.12.2016
Design Development	04.15.2016
Permit Plans	04.22.2016
Permit Plans	06.17.2016
Permit Plans	07.29.2016

LAYOUT PLAN

LA-100



King Co.
174
e Pl.
Foster R.E.
Development,
Inc.
V. 206 P. 281

CHITTENDEN SOLID WASTE DIS

GUY POLE
GUY WIRE

A. & M. Boisvert
V. 736 P. 108

1" IPF
1.3' AG
(Not Used)

2" IPF 0.1' BG
0.3' E'ly.
(Not Used)

1" IPF, 0.1' BG

8" CMF
0.2' BG

City of Burlington
V. 736 P. 108

VERMONT RAILWAY, INC.
507 ELYMNA AVENUE
TOTAL: 195,740 S.F.
(4.494± AC.)

BEGIN FENCE
SUB DIVISION LINE

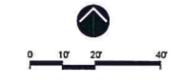
CONCRETE WALK
REFER TO CIVIL
ENGINEER'S DRAWINGS

EMERGENCY ACCESS
GATE W LOCK BOX
FOR FIRE DEPARTMENT

CHAMPLAIN

City of Burlington

LYMAN AVENUE



PROGRESS SET
NOT FOR
CONSTRUCTION



DEPARTMENT OF
PLANNING & ZONING

RECEIVED
AUG 0 1 2016

CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO.	A1536.00
DATE	04/22/16 AS NOTED
SCALE	MW
DATE	

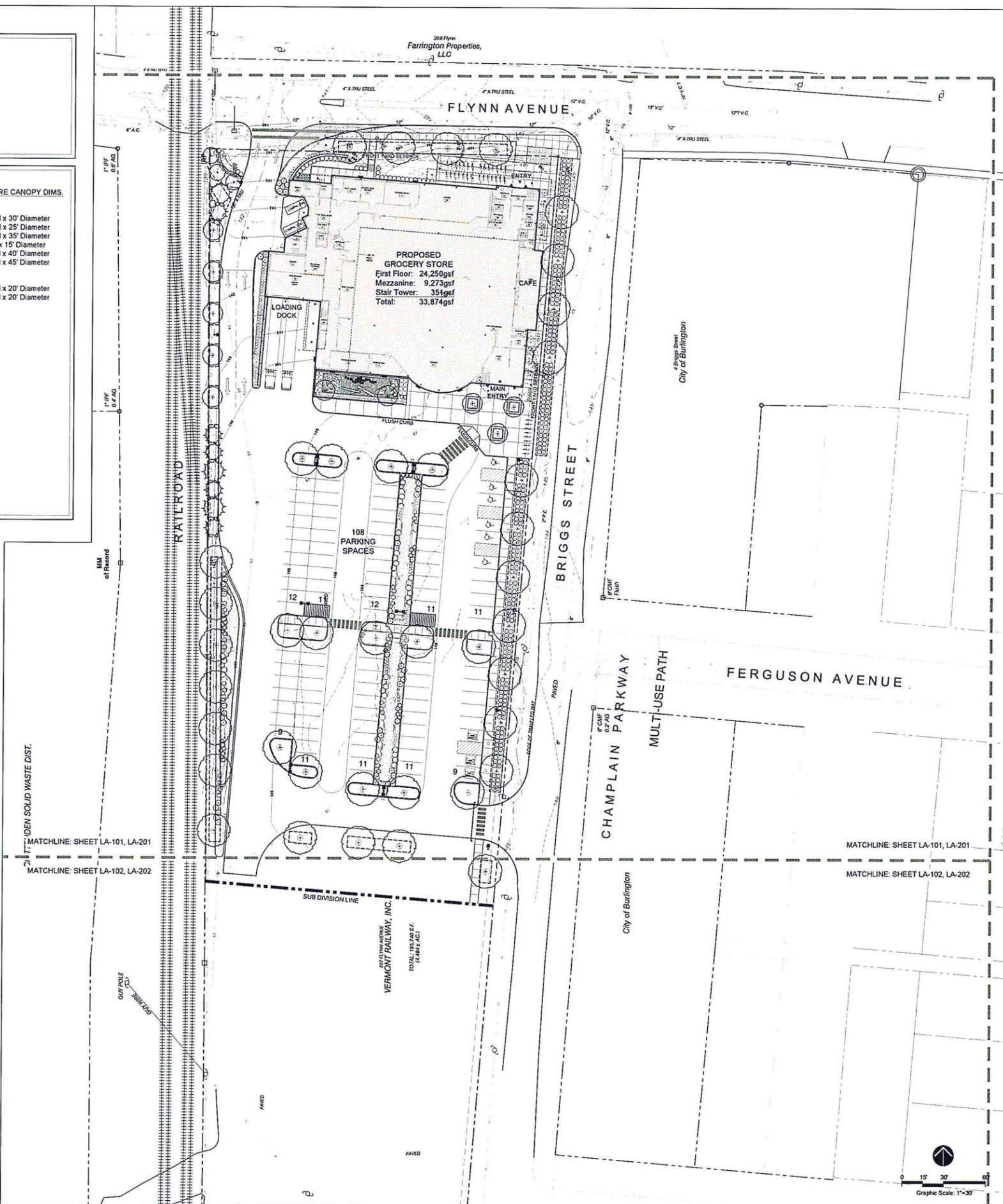
LAYOUT PLAN

LA-102

- NOTES:
1. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES FOUND IN THE PLANTING PLANS. IF ANY DISCREPANCIES ARE FOUND, LANDSCAPE ARCHITECT SHOULD BE NOTIFIED IMMEDIATELY.
 2. FINAL LAYOUT AND PLACEMENT OF ALL PLANT MATERIAL TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
 3. CONTRACTOR IS RESPONSIBLE TO SEED ALL DISTURBED AREAS ACCORDING TO THE SPECIFICATIONS AND LAWN DETAIL CILA-205
 4. REFER TO PLANTING DETAILS FOR PROPER PLANT MATERIAL INSTALLATION REQUIREMENTS.
 5. ALL TREE, SHRUB AND PERENNIAL PLANTING BEDS ARE TO BE CONTINUOUS, COMPLETELY DIG OUT AND BACKFILLED WITH THE PROPER PLANTING BED BACKFILL MATERIAL TO DEPTH SPECIFIED IN DETAILS AND SOIL PREPARATION SPECIFICATION.
 6. IF THE LANDSCAPE CONTRACTOR PROPOSES A SUBSTITUTE PLANT SPECIES, ALL SUBSTITUTES NEED TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO ORDERING.
 7. FOR SOIL BACKFILL IN THE RAIN GARDEN BASINS, REFER TO CIVIL DRAWINGS, SPECIFICATIONS AND DETAILS.
 8. FOR SOIL BACKFILL ON THE SIDE SLOPES OF THE RAIN GARDEN BASINS, REFER TO SOIL PREPARATION SPECIFICATION FOR LANDSCAPE BACK FILL FOR SHRUB AND PERENNIAL BEDS.

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	MATURE CANOPY DIMS.
DECIDUOUS TREES:						
AF	Acer freemanii 'Sienna'	Sienna Glen Red Maple	12	2.5-3" Cal.	B&B, 6' Branching Ht. (Min.)	50' Tall x 30' Diameter
AR	Acer rubrum 'Scarlet Sentinel'	Red Maple	10	2.5-3" Cal.	B&B, 6' Branching Ht. (Min.)	45' Tall x 25' Diameter
GT	Gleditsia triacanthos 'Shade Master'	Honeylocust	14	2.5-3" Cal.	B&B, 6' Branching Ht. (Min.)	45' Tall x 35' Diameter
MA	Malsu sargentii	Sargent Crabapple	3	2-2.5" Cal.	B&B, Full	7' Tall x 15' Diameter
UA	Ulmus americana 'Princeton'	Princeton American Elm	4	2.5-3" Cal.	B&B, 6' Branching Ht. (Min.)	60' Tall x 40' Diameter
ZS	Zelkova serrata 'Green Vase'	Japanese Zelkova	11	2.5-3" Cal.	B&B, 6' Branching Ht. (Min.)	65' Tall x 45' Diameter
EVERGREEN TREES:						
PGa	Picea glauca	White Spruce	5	4-6' Tall	B&B, Full	40' Tall x 20' Diameter
PGb	Picea glauca	White Spruce	3	8-10' Tall	B&B, Full	40' Tall x 20' Diameter
SHRUBS:						
CS	Cornus sericea 'Isanti'	Red-osier Dogwood	39	24-30" Wide	C.G., Plant 30" o.c.	
HA	Hydrangea arborescens 'Incrediball'	Incrediball Hydrangea	136	24-30" Wide	C.G., Plant 30" o.c.	
IJ	Ilex verticillata 'Jim Dandy'	Winterberry Holly	6	24-30" Wide	C.G., Plant 30" o.c.	
IV	Ilex verticillata 'Red Sprite'	Winterberry Holly	32	24-30" Wide	C.G., Plant 30" o.c.	
SB	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	101	24-30" Wide	C.G., Plant 30" o.c.	
SL	Spiraea latifolia	Meadowsweet	46	24-30" Wide	C.G., Plant 30" o.c.	
SN	Spiraea nipponica 'Snowmound'	Snowmound Spirea	105	24-30" Wide	C.G., Plant 30" o.c.	
SD	Salix discolor	Pussy Willow	29	24-30" Wide	C.G., Plant 30" o.c.	
PERENNIALS:						
AN	Aster nova-angliae	New England Aster	27	1 Gal.	C.G. Plant 18" o.c.	
CA	Calamagrostis acutiflora 'Karl Forester'	Feather Reed Grass	245	2 Gal.	C.G. Plant 24" o.c.	
CM	Chrysanthemum maximum 'Shasta'	Shasta Daisy	25	1 Gal.	C.G. Plant 18" o.c.	
DC	Deschampsia cespitosa 'Schottland'	Tufted Hair Grass	23	1 Gal.	C.G. Plant 18" o.c.	
EP	Eupatorium purpureum	Joe-Pye Weed	27	1 Gal.	C.G. Plant 18" o.c.	
HS	Hemerocallis 'Stella Doro'	Stella Dora Daylily	1062	1 Gal.	C.G. Plant 18" o.c.	
MS	Miscanthus sinensis 'Gracillimus'	Maiden Grass	18	2 Gal.	C.G. Plant 36" o.c.	
SH	Sporobolus heterolepis	Prairie Dropseed	20	2 Gal.	C.G., Plant 24" o.c.	
RF	Rudbeckia fulgida 'Goldstrum'	Blackeyed Susan	19	1 Gal.	C.G. Plant 18" o.c.	
SS	Salvia x superba 'May Night'	May Night Salvia	17	1 Gal.	C.G. Plant 18" o.c.	
ST	Sedum x telephium 'Autumn Joy'	Autumn Joy Sedum	8	1 Gal.	C.G. Plant 18" o.c.	
MX	Mixed Varieties		290	1 Gal.	C.G. Plant 18" o.c.	

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
RAIN GARDEN PLANT LIST					
PERENNIALS:					
AA	Acorus americanus	Sweetflag	100	1 Gal.	C.G. Plant 18" o.c.
AS	Asclepias incarnata	Swamp Milkweed	110	1 Gal.	C.G. Plant 18" o.c.
CC	Carex comosa	Long-hair Sedge	110	1 Gal.	C.G. Plant 18" o.c.
CG	Chelone glabra	Turtlehead	100	1 Gal.	C.G. Plant 18" o.c.
CV	Carex vulpinoidea	Fox Sedge	115	1 Gal.	C.G. Plant 18" o.c.
EP	Eupatorium purpureum	Joe-Pye Weed	115	1 Gal.	C.G. Plant 18" o.c.
IR	Iris versicolor	Harlequin Blueflag	115	1 Gal.	C.G. Plant 18" o.c.
JE	Juncus effusus	Soft Rush	115	1 Gal.	C.G. Plant 18" o.c.
LS	Lobelia siphilitica	Great Blue Lobelia	105	1 Gal.	C.G. Plant 18" o.c.
VH	Verbena hastata	Blue Vervain	115	1 Gal.	C.G. Plant 18" o.c.



PROGRESS SET
NOT FOR
CONSTRUCTION

fff
fremont | french | freeman
130 Colchester Street
Burlington, VT 05401
802-249-4344 • fax 802-249-4344
www.fremontfrenchfreeman.com

SE GROUP
Landscape Architects and Planners
100 Colchester Street
Burlington, VT 05401
802-242-2888
802-242-2889
www.segroup.com

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AUG 01 2016

CITY MARKET
SOUTH END

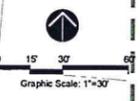
Burlington,
Vermont

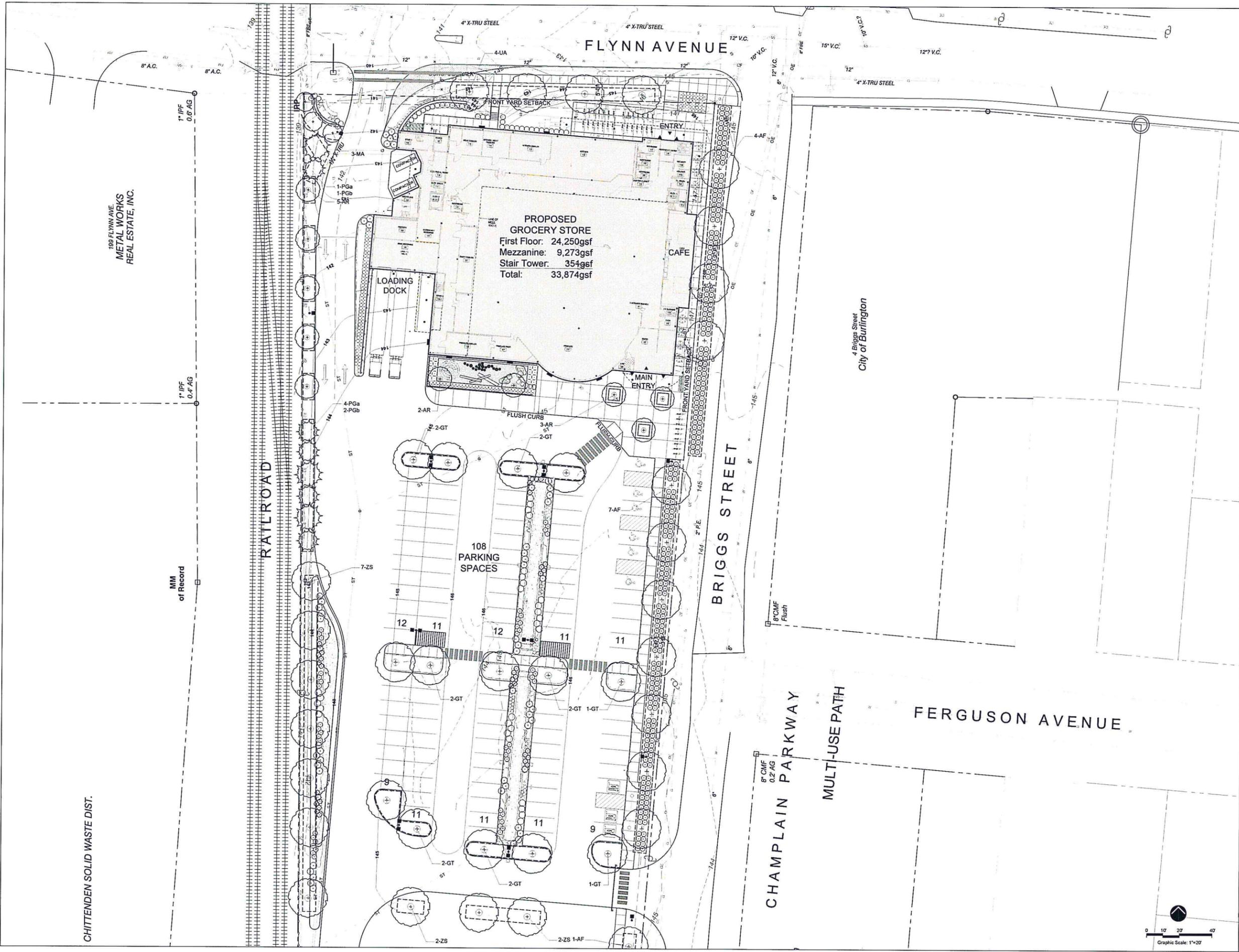
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DATE: 04/22/16 1"=30'
DRAWN BY: MW
CHECKED BY: MW

DESIGN: 02/12/2016
SUBMITTAL: 04/13/2016
PERMIT PLAN: 04/22/2016
FINAL PLAN: 06/17/2016
AS-BUILT PLAN: 07/29/2016

PLANTING PLAN

LA-200





PROPOSED
GROCERY STORE
First Floor: 24,250gsf
Mezzanine: 9,273gsf
Stair Tower: 354gsf
Total: 33,874gsf

108
PARKING
SPACES

199 FLYNN AVE.
METAL WORKS
REAL ESTATE, INC.

CHITTENDEN SOLID WASTE DIST.

PROGRESS SET
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CONSTRUCTION



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AUG 0 1 2016

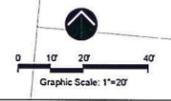
CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO:	A1536.00
DATE:	04/22/16
SCALE:	1"=20'
DESIGNER:	MW
DATE:	02/12/2016
DATE:	04/13/2016
DATE:	04/22/2016
DATE:	06/17/2016
DATE:	07/29/2016

PLANTING PLAN

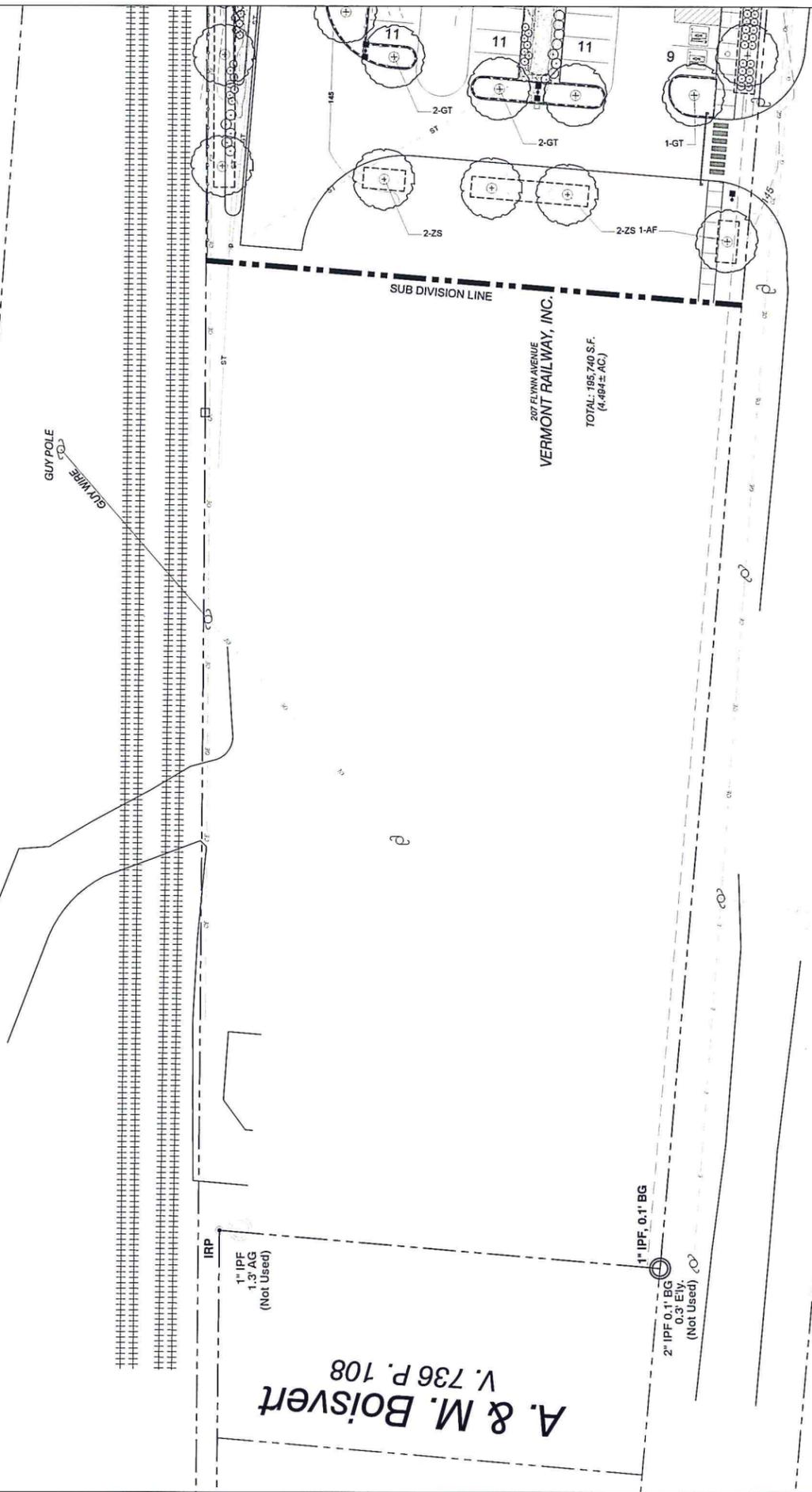
LA-201



Foster R.E. Development, Inc.
 V. 206 P. 281

Pl. King Co.
 74

CHITTENDEN SOLID WASTE DIST.



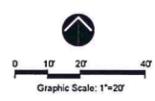
A. & M. Boisvert
 V. 736 P. 108

VERMONT RAILWAY, INC.
 207 FLYNN AVENUE
 TOTAL: 195,740 S.F.
 (4,484± AC.)

City of Burlington
 V. 736 P. 108

CHAMPLAIN
 City of Burlington

LYMAN AVENUE



PROGRESS SET
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 CONSTRUCTION



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 61 Maple Street - Burlington VT 05401
 802-249-8844 - Fax: 802-249-8844
 Architecture - Planning - Urban

SE GROUP
 Landscape Architecture and Planning
 125 Chittenden Street
 Burlington VT 05401
 Tel: 802-249-2300
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 www.segroup.com

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 AUG 01 2016

**CITY MARKET
 SOUTH END**

Burlington,
 Vermont

PROJECT NO.	A1536.00
DATE	04/22/16
SCALE	1"=20'
DATE	---
SCALE	MW
DATE	02-12-2016
DATE	04-13-2016
DATE	04-27-2016
DATE	06-17-2016
DATE	07-29-2016

PLANTING PLAN

LA-202

FLYNN AVENUE

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Landscape Architects and Planners
130 Chittenden Street, Suite 200
Burlington, VT 05401
Tel: 802-488-2222
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DEPARTMENT OF
PLANNING & ZONING

RECEIVED
AUG 01 2016

CITY MARKET
SOUTH END

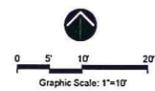
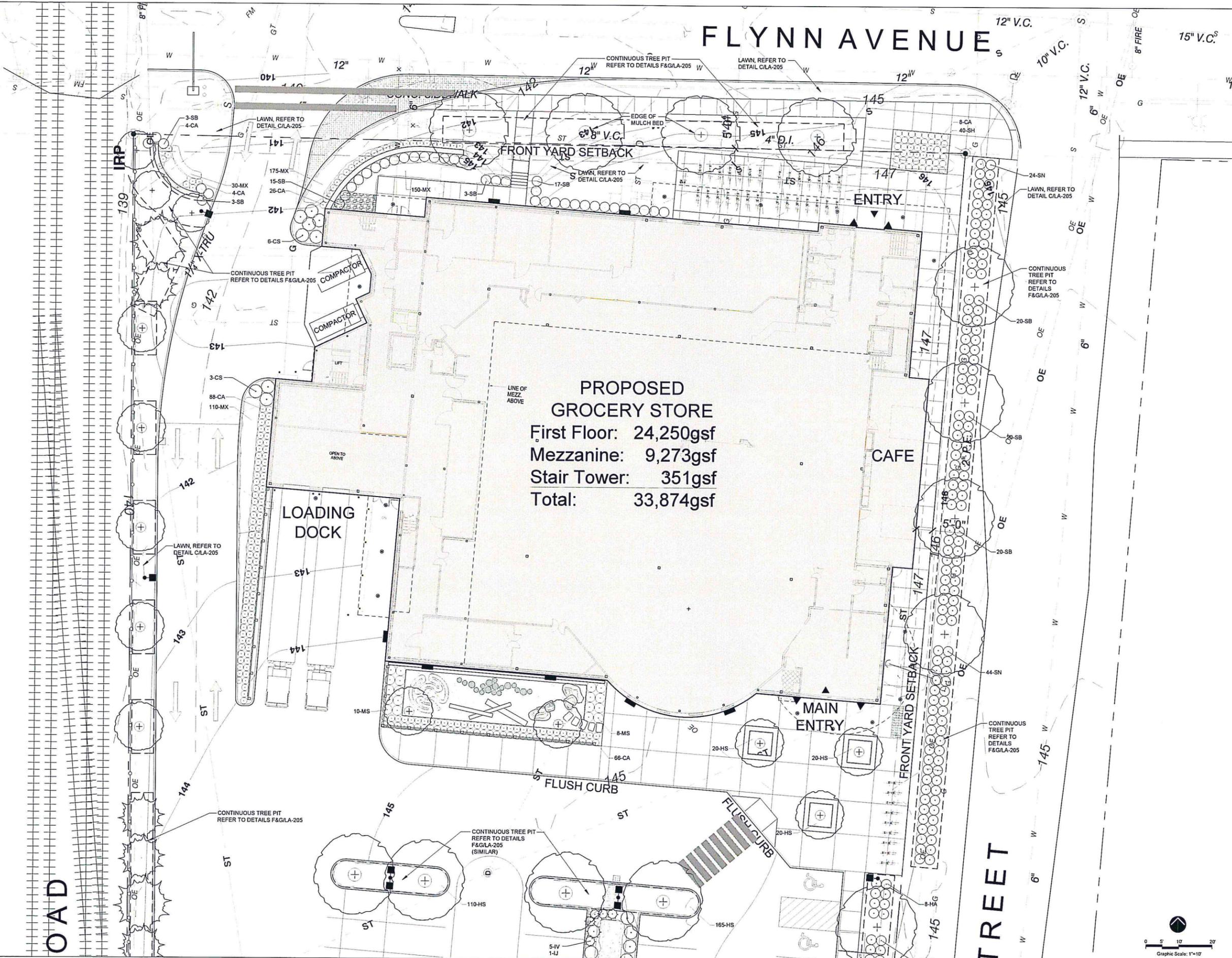
Burlington,
Vermont

PROJECT NO:	A1536.00
PROPOSED DATE:	04/22/16
SCALE:	1"=10'
DRAWN BY:	MW
CHECKED BY:	
DATE LOG:	
Schematic Design	02-12-2016
Design Development	04-13-2016
Permit Plans	04-22-2016
Permit Plans	06-17-2016
Permit Plans	07-29-2016

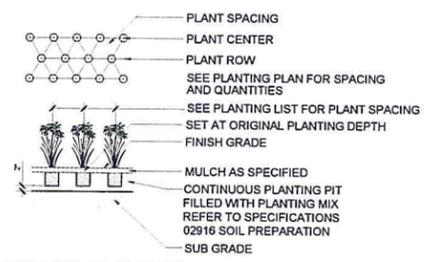
PLANTING PLAN

LA-203

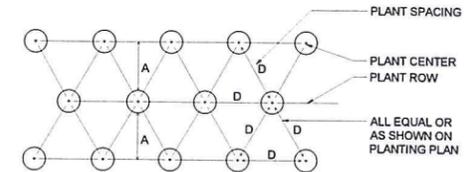
**PROPOSED
GROCERY STORE**
First Floor: 24,250gsf
Mezzanine: 9,273gsf
Stair Tower: 351gsf
Total: 33,874gsf



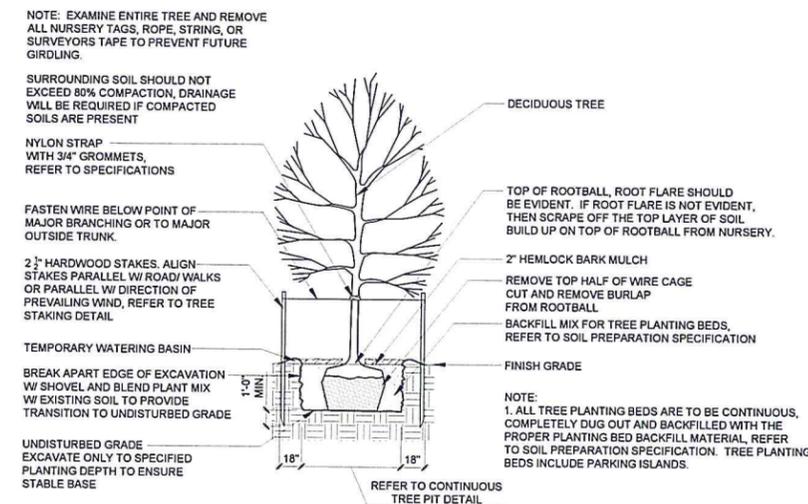
PROJECT NO:	A1536.00
DATE:	04/22/16 AS NOTED
DESIGNER:	MW
CLIENT:	
REVISIONS:	
Submittal Design	02.12.2016
Design Development	04.15.2016
Permit Plan	04.22.2016
Planting Plan	06.17.2016
Final Plan	07.29.2016



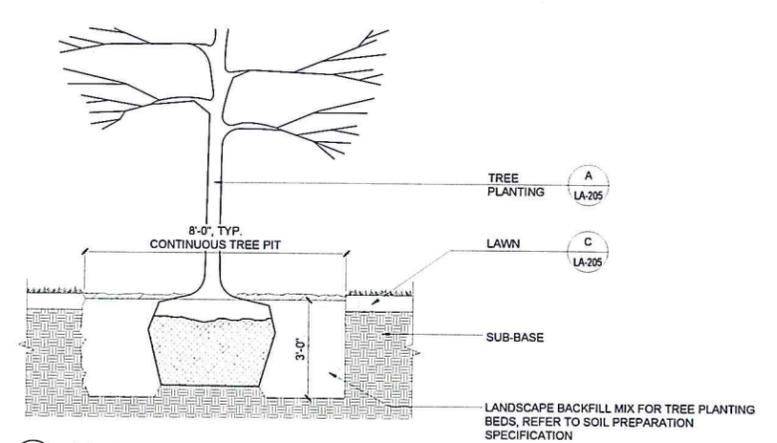
E PERENNIAL PLANTING
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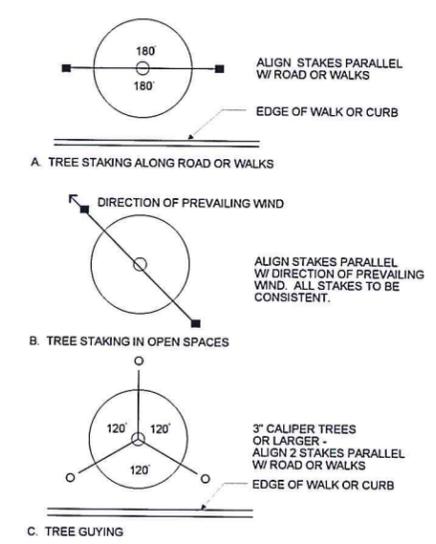
D SHRUB PLANTING
SCALE: 1/2" = 1'-0"



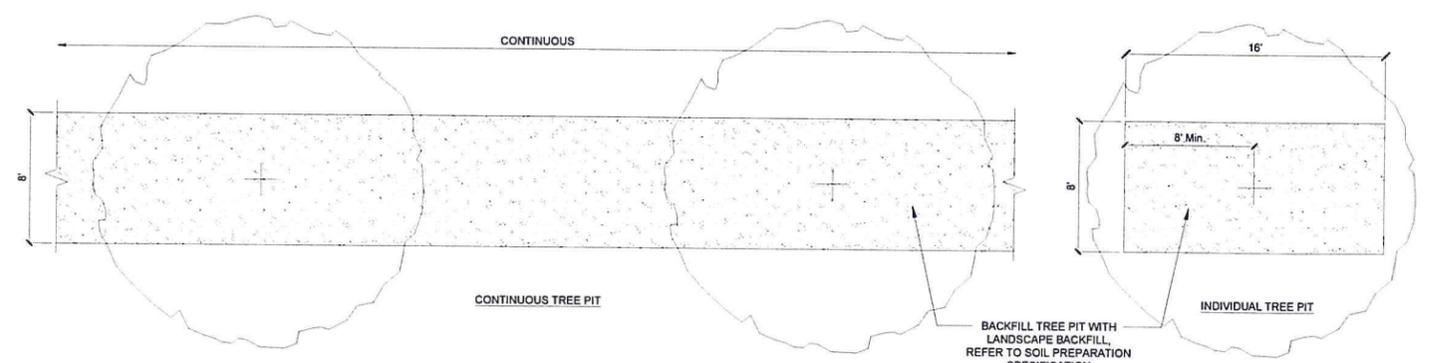
A TREE PLANTING
SCALE 1/4" = 1'-0"



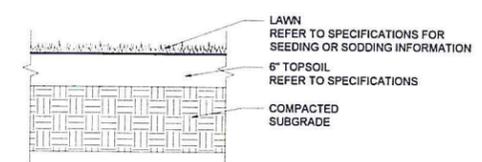
F CONTINUOUS TREE PLANTING PIT
SCALE 1/2" = 1'-0"



B TREE STAKING LAYOUT
NO SCALE



G TREE PLANTING PIT PLAN
SCALE 1/4" = 1'-0"



C LAWN
SCALE 1" = 1'-0"

STATISTICAL AREA SUMMARY

Parking Lot Shadow Study

— — — — —	Parking / Maneuvering Areas	59,276sf
- - - - -	Shadow Contribution By Trees	19,081sf
Percent Shade Coverage		19,081/59,276 = 32.19%

Assumptions:

1. Modeled on August 15th at 2.00pm for the latitude and longitude for Burlington, VT.
2. Parking lot trees are modeled at mature heights and widths.



PROPOSED GROCERY STORE
 First Floor: 24,250gsf
 Mezzanine: 9,273gsf
 Stair Tower: 354gsf
 Total: 33,874gsf

PROGRESS SET
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 81 Maple Street - Burlington VT 05401
 802-688-0844 • www.fff.com
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 Landscape Architecture and Planning
 100 Church Street
 Burlington, VT 05401
 Tel: 802-682-5588
 Fax: 802-682-2442
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DEPARTMENT OF...

CITY MARKET
 SOUTH END

Burlington,
 Vermont

PROJECT NO:	A1536.00
DATE:	04/22/16
SCALE:	1"=20'
DESIGNED BY:	MW
CHECKED BY:	
DATE:	
DATE:	
DATE:	
DATE:	

PLANTING PLAN
 SHADOW STUDY

LA-206





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DEPARTMENT OF
PLANNING & ZONING

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CITY MARKET
SOUTH END

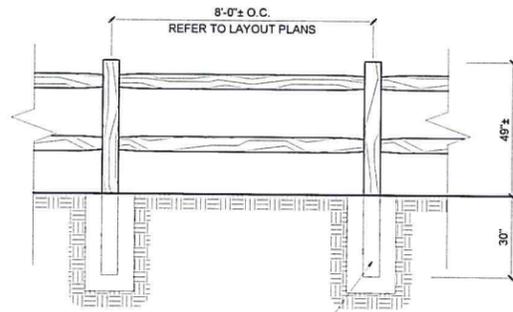
Burlington,
Vermont

PROJECT NO: A1536.00
DATE: 04/22/16 AS NOTED
DRAWN BY: MW
CHECKED BY:

REVISIONS:
SUBMITTAL DESIGN 02-12-2016
DESIGN DEVELOPMENT 04-13-2016
PERMIT PLAN 04-22-2016
PERMIT PLAN 06-17-2016
PERMIT PLAN 07-29-2016

LANDSCAPE DETAILS
SHEET NO: LA-300

- NOTES:
1. POSTS AND RAILS TO BE MADE OF WESTERN RED CEDAR.
2. POST SPACING WILL VARY WITH LENGTH OF RAILS AND INSTALLATION PROCEDURE, REFER TO LAYOUT PLANS.
3. RETAMP POSTS PLUMB AFTER THE GROUND SETTLES TO ENSURE FENCE REMAINS PLUMB AND UPRIGHT.

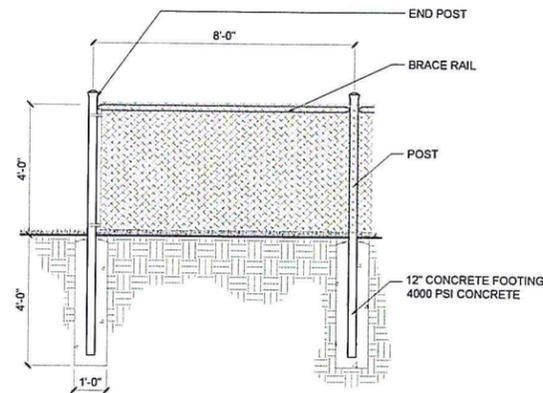


DIRECT BURY POSTS USING A TAMPING BAR. COMPACT THE DIRT AROUND POSTS WHEN BACK FILLING, IN 6" LIFTS.

C SPLIT RAIL FENCE
SCALE 1/2" = 1'-0"

d-split rail fence.dwg

- NOTES:
1. CHAIN LINK FENCE TO BE BLACK VINYL COATED
2. ALL FENCE POSTS TO BE BLACK POWDER COATED FINISH
3. CONTRACTOR TO PROVIDE SUBMITTALS OF FENCE SYSTEM AND ALL COMPONENTS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.



B CHAIN LINK FENCE
SCALE 1/2" = 1'-0"

d-chain link fence.dwg

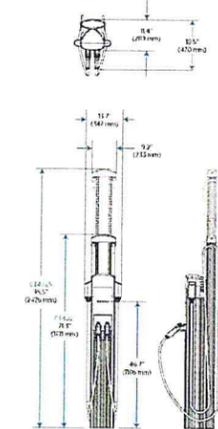
CT4000 Level 2 Commercial Charging Stations

Ordering information:
Specify model number followed by the applicable code(s). The color code refers to the Model Options, Software, Services and Misc. and is listed as separate line items.

Model	Order Code
CT4000 Level 2 Commercial Charging Station	CT4000
8 Single Port Wall Mount	CT4025
6 Single Port Wall Mount	CT4026
8 Dual Port Wall Mount	CT4027
6 Dual Port Wall Mount	CT4028
Single Column Mount	CT4029
Single Column Mount - Call Us	CT4030
Single Column Mount - Call Us	CT4031
Single Column Mount - Call Us	CT4032
Single Column Mount - Call Us	CT4033
Single Column Mount - Call Us	CT4034
Single Column Mount - Call Us	CT4035
Single Column Mount - Call Us	CT4036
Single Column Mount - Call Us	CT4037
Single Column Mount - Call Us	CT4038
Single Column Mount - Call Us	CT4039
Single Column Mount - Call Us	CT4040
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Single Column Mount - Call Us	CT4095
Single Column Mount - Call Us	CT4096
Single Column Mount - Call Us	CT4097
Single Column Mount - Call Us	CT4098
Single Column Mount - Call Us	CT4099
Single Column Mount - Call Us	CT4100

Software & Services	Order Code
ChargePoint Commercial Service Plan	CT4000-CPSP
ChargePoint Service Provider Plan	CT4000-CPSP-SP
ChargePoint Admin	CT4000-CPSP-ADMIN
ChargePoint Admin	CT4000-CPSP-ADMIN-2
ChargePoint Admin	CT4000-CPSP-ADMIN-3
ChargePoint Admin	CT4000-CPSP-ADMIN-4
ChargePoint Admin	CT4000-CPSP-ADMIN-5
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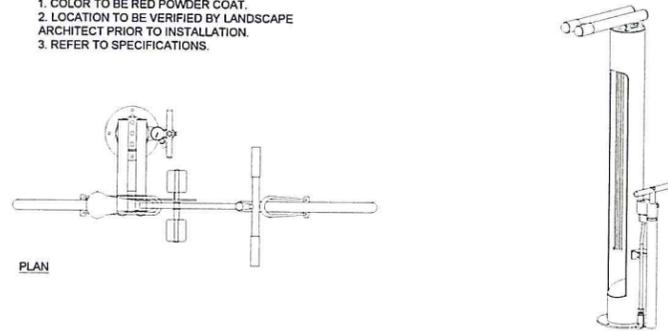
Order Code Examples	Order Code
8 Single Port Wall Mount	CT4000-CPSP-8
6 Single Port Wall Mount	CT4000-CPSP-6
8 Dual Port Wall Mount	CT4000-CPSP-8DP
6 Dual Port Wall Mount	CT4000-CPSP-6DP
Single Column Mount	CT4000-CPSP-SCM
Single Column Mount - Call Us	CT4000-CPSP-SCM-CU
Single Column Mount - Call Us	CT4000-CPSP-SCM-CU-2
Single Column Mount - Call Us	CT4000-CPSP-SCM-CU-3
Single Column Mount - Call Us	CT4000-CPSP-SCM-CU-4
Single Column Mount - Call Us	CT4000-CPSP-SCM-CU-5
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Single Column Mount - Call Us	CT4000-CPSP-SCM-CU-7
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Single Column Mount - Call Us	CT4000-CPSP-SCM-CU-10
Single Column Mount - Call Us	CT4000-CPSP-SCM-CU-11
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Single Column Mount - Call Us	CT4000-CPSP-SCM-CU-22
Single Column Mount - Call Us	CT4000-CPSP-SCM-CU-23
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Single Column Mount - Call Us	CT4000-CPSP-SCM-CU-40
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Single Column Mount - Call Us	CT4000-CPSP-SCM-CU-44
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Single Column Mount - Call Us	CT4000-CPSP-SCM-CU-49
Single Column Mount - Call Us	CT4000-CPSP-SCM-CU-50



A ELECTRIC VEHICLE CHARGING STATION
SCALE: NTS

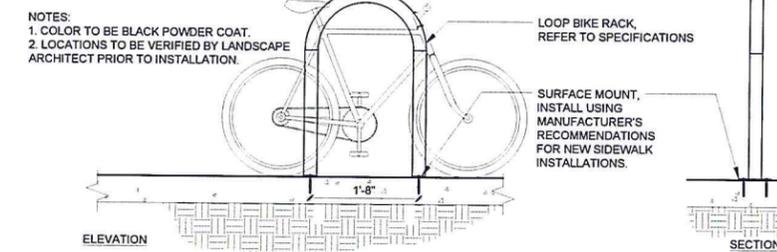
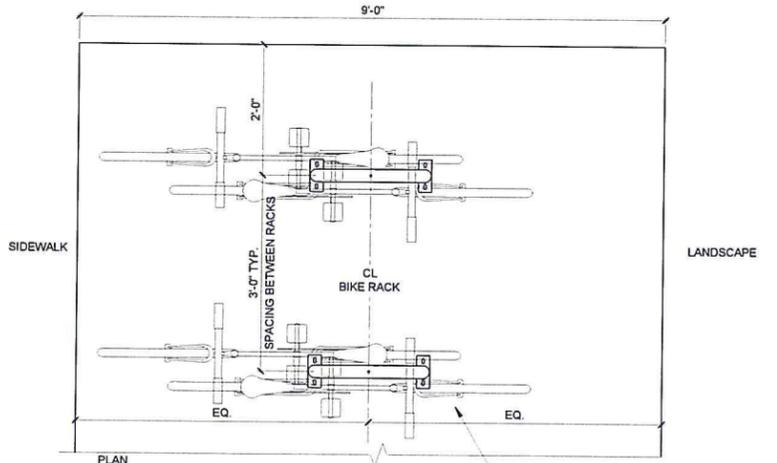
d-ev charging station model.dwg

- NOTES:
1. COLOR TO BE RED POWDER COAT.
2. LOCATION TO BE VERIFIED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. REFER TO SPECIFICATIONS.



E BIKE TUNING STATION
SCALE 1" = 1'

d-bike tuning station.dwg



D BIKE RACK
SCALE 1" = 1'

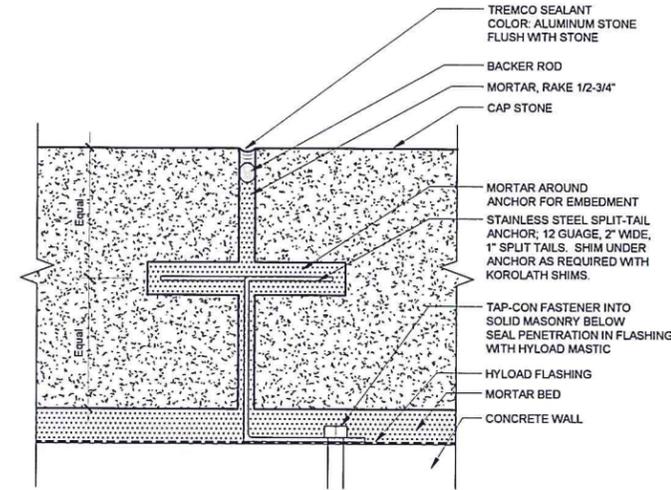
d-bike rack typ.dwg



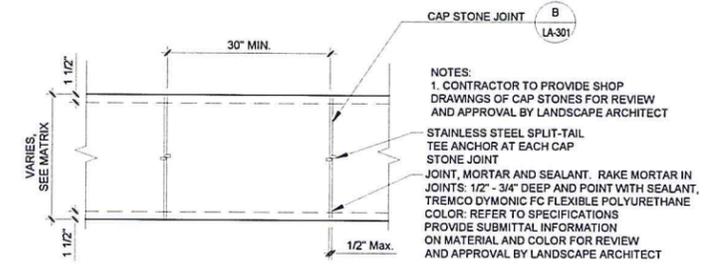
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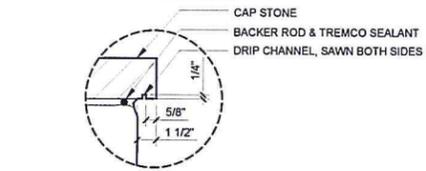
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Landscape Architects and Planners
131 Church Street
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Tel: 802-249-2000
Fax: 802-249-2443
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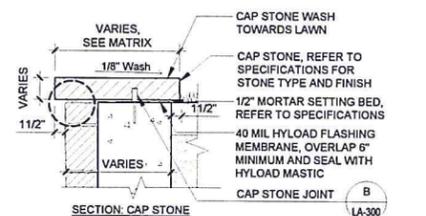
B CAP STONE JOINT
SCALE 1" = 1"
d-cap stone joint.dwg



PLAN: CAP STONE - SCALE 1" = 1'-0"

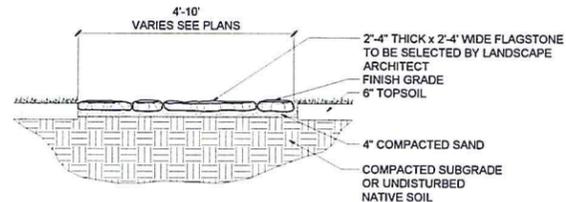


SECTION: CAP STONE SCALE 1" = 1'-0"

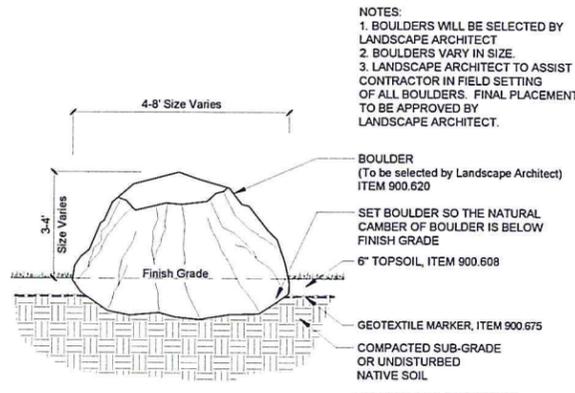


A CAP STONE
SCALE 1" = 1'-0"
d-cap stone.dwg

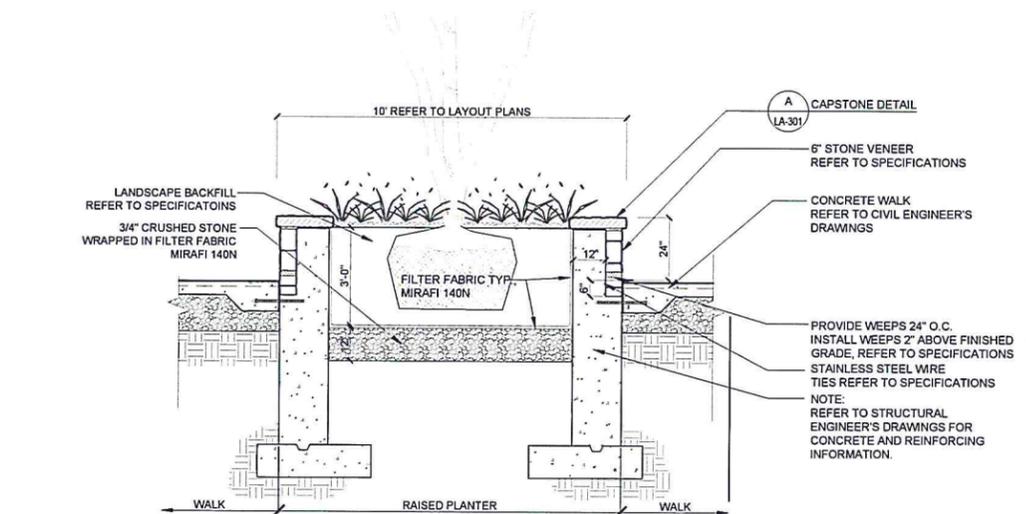
CAPSTONE MATRIX		
TYPE	WIDTH	THICKNESS
A	21"	3"



E STEPPING STONES
SCALE 1/2" = 1'-0"



D LANDSCAPE BOULDER
SCALE 1/2" = 1'-0"
d-landscape boulder.dwg



C SECTION: STONE VENEER PLANTER WALL
SCALE 1/2" = 1'-0"
d-stone veneer planter wall.dwg

CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO: **A1536.00**

DATE: **04/22/16** AS NOTED

DESIGNED BY: **MW**

CHECKED BY:

Schematic Design	02.12.2016
Design Development	04.15.2016
Permit Plans	04.22.2016
Permit Plans	06.17.2016
Permit Plans	07.29.2016

LANDSCAPE DETAILS

LA-301

PROGRESS SET
NOT FOR
CONSTRUCTION



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11 Maple Street - Rutland #115341
802-248-4241 - Fax: 802-248-4242
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130 Chittenden Street #1
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DEPARTMENT OF
PLANNING & ZONING

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CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO:
A1536.00

ORIGINATOR DATE: 04/22/16 AS NOTED

DESIGNED BY: MW

CHECKED BY: MW

DATE: 02-12-2016

DATE: 04-15-2016

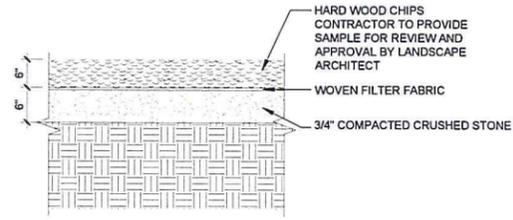
DATE: 04-22-2016

DATE: 06-17-2016

DATE: 07-29-2016

LANDSCAPE DETAILS

SHEET NO:
LA-302



E WOOD CHIPS
SCALE 1" = 1'-0" d-wood chips.dwg

- Notes:
1. DIAMETER OF LOGS WILL VARY (18"-30")
 2. EXPOSED HEIGHT OF LOGS WILL VARY (10-30")
 3. USE HARDWOOD LOGS WITH BARK REMOVED
 4. LOGS WILL BE SET INTO STONE SUB-BASE



B STEPPING LOGS
SCALE: NTS d-step logs.dwg

- Notes:
1. CLIMBING LOGS WILL VARY IN DIAMETER (+/-10"-24")
 2. CLIMBING LOGS WILL VARY IN LENGTH (+/-8'-13')
 3. LOGS ARE EXPECTED TO BE IRREGULAR IN SHAPE, OFFERING VARIETY
 4. ALL LOGS WILL BE SELECTED BY LANDSCAPE ARCHITECT



A CLIMBING LOGS
SCALE: NTS d-climbing logs.dwg

- Notes:
1. HEIGHT IS APPROXIMATELY 10' TALL
 2. VERTICAL AND HORIZONTAL COMPONENTS WILL BE MADE FROM ROUGH CUT CEDAR LOGS
 3. WALL WILL BE FREE STANDING, POSTS WILL BE BURIED IN THE GROUND SURROUNDED BY CONCRETE.
 4. ALL WOOD COMPONENTS WILL BE LEFT NATURAL WOOD, NO FINISH
 5. ALL HARDWARE SHALL BE STAINLESS STEEL



D GREEN WALL
SCALE: NTS d-green wall.dwg

- Notes:
1. BOULDER LENGTHS WILL VARY BETWEEN 5-7'
 2. BOULDER WIDTHS WILL VARY BETWEEN 4'-6'
 3. EXPOSED HEIGHT OF BOULDERS WILL VARY
 4. BOULDERS WILL BE SET INTO THE STON SUB-BASE
 5. ALL BOULDERS TO BE SELECTED BY LANDSCAPE ARCHITECT



C CLIMBING BOULDERS
SCALE: NTS d-climbing boulders.dwg

FIXTURE AND POLE SPECIFICATIONS

<p>Fixture A</p> <p>Manufacturer: Kim Lighting Fixture: Altitude - ALT96 Configuration: 1SA Optics: Type 3 Lamp: 96watt LED - 4,000K Milliamps: 350ma Lens: Flat Lens - FGL Color: Black Options: — Pole: PRA20-4188</p>
<p>Fixture B</p> <p>Manufacturer: Kim Lighting Fixture: Altitude - ALT96 Configuration: 1SA Optics: Type 3 Lamp: 96watt LED - 4,000K Milliamps: 350ma Lens: Flat Lens - FGL Color: Black Options: — Pole: PRA17.5-4188* (Modified)</p> <p>Note: Poles are mounted on 30" raised footings, so final mounting height is 20'.</p>
<p>Fixture C</p> <p>Manufacturer: Kim Lighting Fixture: Altitude - ALT96 Configuration: 2SB Optics: Type V Lamp: 96watt LED - 4,000K Milliamps: 350ma Lens: Flat Lens - FGL Color: Black Options: — Pole: PRA17.5-4188* (Modified)</p> <p>Note: Poles are mounted on 30" raised footings, so final mounting height is 20'.</p>
<p>Fixture D</p> <p>Manufacturer: Gardco Fixture: 101L Wall Sconce Optics: Type IV Wattage: 35watt LED - 4,000K Color: Black Options: Wall Mounted - 14' Mounting Height</p>
<p>Fixture E</p> <p>Manufacturer: Prescolite Fixture: 8LFLED5G4 - 8" LED Downlight Optics: Type V Wattage: 1100 Lumen - 4,000K Color: Black Options: Recessed Canopy Light +/-14' Mounting Height</p>
<p>Fixture F</p> <p>Manufacturer: Modern Forms Fixture: Urban - WS-W1116 Optics: Top Lens Wattage: 16watt Color: Black Options: Wall Light +/-8' Mounting Height</p>

ISO-CONTOUR KEY

ISO-CONTOUR	FOOTCANDLE VALUE
	1.00
	0.50
	0.25

STATISTICAL AREA SUMMARY

Grid Type: Horizontal Illuminance at finish grade.
 Grid Units: Footcandles

Statistical Area	Avg	Max	Min	Avg/Min	Max/Min
1 Parking Lot and Service Area	1.37	3.60	0.10	13.70	36.00
2 Building Entry / Walks	1.67	6.80	0.00	0.00	0.00

Disclaimer:
 This analysis was calculated in accordance with published IES calculation methods and procedures with the data as entered by the user. This analysis is based on tested IES photometric data, light loss factors as defined in the LLF value. This analysis is a mathematical model of real life situations, and it can be only as accurate as the model itself. Calculated values may vary from actual measurements in certain situations. SE Group is not responsible for light output deviations due to lamp/ballast combinations or other variables.

Statistical Boundary

	Parking Lot and Service Area
	Building Entry / Walks



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 CONSTRUCTION



DEPARTMENT OF
 PLANNING & ZONING

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CITY MARKET
 SOUTH END

Burlington,
 Vermont

PROJECT NO: A1536.00

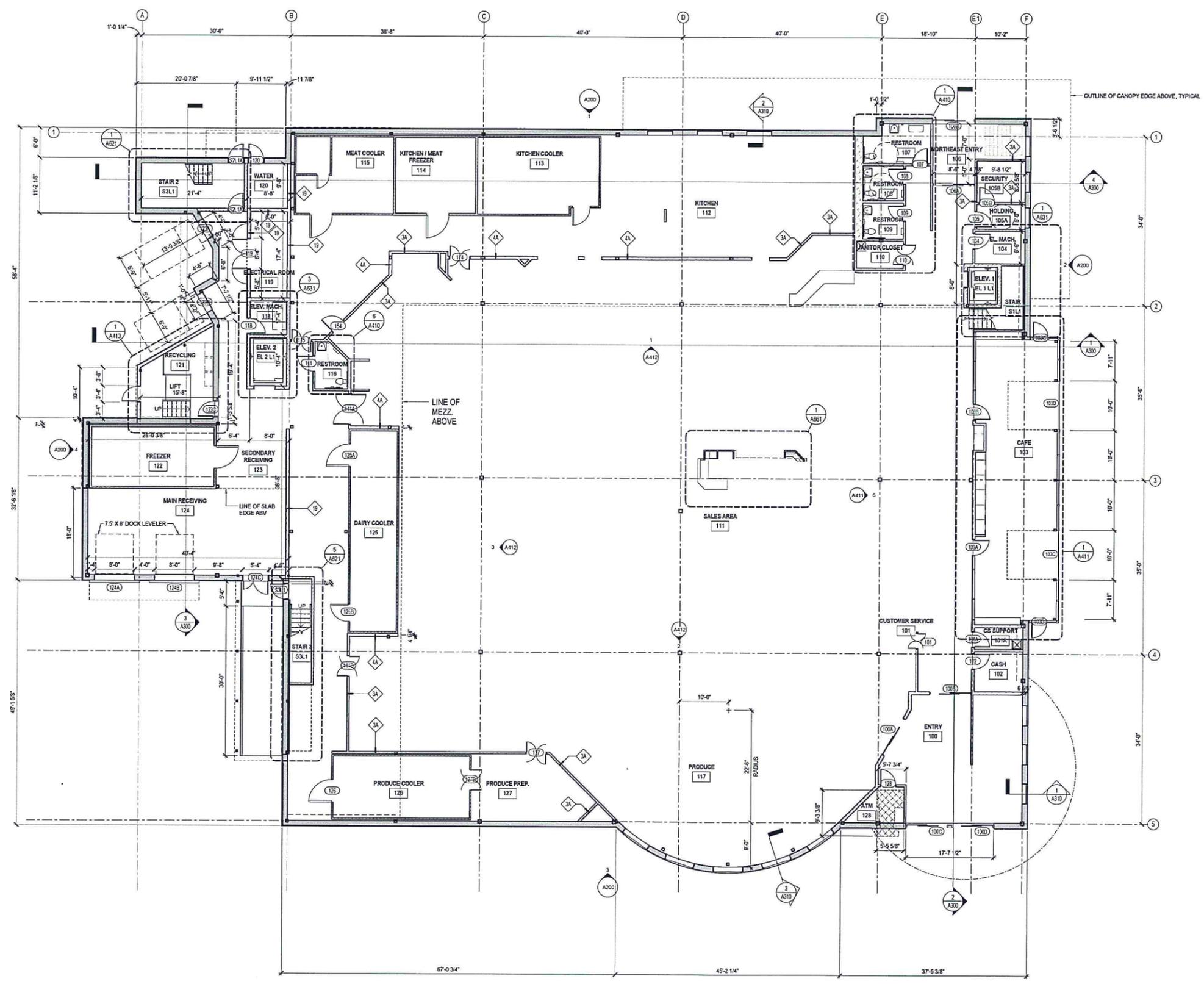
DATE: 04/22/16	SCALE: 1"=20'
DRAWN BY: MW	CHECKED BY: MW

REVISIONS:

Submittal Drawn	02-12-2016
Design Development	04-15-2016
Permit Plans	04-22-2016
Permit Plans	06-17-2016
Permit Plans	07-29-2016

LIGHTING PLAN

LA-400



FLOOR PLAN GENERAL NOTES

- ALSO SEE SYMBOL LEGEND ON COVER SHEET.
- DIMENSIONS: ALL INTERIOR DIMENSIONS ARE TO FACE OF G/WB OR OTHER FINISH UNLESS OTHERWISE NOTED. EXTERIOR DIMENSIONS ARE TO FACE OF CLADDING UNLESS OTHERWISE NOTED.
 - PLANS ARE TO BE VIEWED IN CONJUNCTION WITH CIVIL, LANDSCAPE, STRUCTURAL, MEPP, AND ALL OTHER TRADES, AS APPROPRIATE. DISCREPANCIES ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR RESOLUTION BEFORE COMMENCING WORK.
 - ALL NON-ARCHITECTURAL INFORMATION SHOWN HERE IS FOR REFERENCE ONLY.
 - REFER TO CIVIL PLANS FOR LIMIT OF WORK.
 - REFER TO 2000 LIFE SAFETY PLANS FOR LOCATIONS OF SMOKE AND FIRE RESISTANT RATED CONSTRUCTION.
 - THE DISTANCE FROM THE HINGE SIDE OF THE DOOR TO THE FACE OF ADJACENT PERPENDICULAR WALL SHALL BE 6 INCHES (INCLUDING FRAME) UNLESS NOTED OTHERWISE.
 - ALL VERTICAL AND HORIZONTAL PENETRATIONS THROUGH RATED ASSEMBLIES ARE TO BE SEALED WITH UL-LISTED FIRE-RATING AND/OR SEALANT ASSEMBLIES TO MAINTAIN RATING.
 - KEEP STANDPIPES AND ASSOCIATED ASSEMBLIES CLEAR OF THE REQUIRED PATH OF EGRESS.

NOT FOR CONSTRUCTION.
NOT FOR BUILDING PERMIT.



FLOOR PLAN LEGEND

- ALSO SEE SYMBOL LEGEND ON COVER SHEET
- EXISTING WALL / COLUMN TO REMAIN
 - NEW METAL STUD / GYPSUM WALLBOARD WALL
 - NEW MASONRY WALL
 - NEW STEEL/ CONCRETE COLUMN - SEE STRUCTURAL 1" FIREPROOFING, TYP FOR ALL STEEL COLUMNS.
 - FIRE EXTINGUISHER CABINET:
 - FEC-1: SEMI-RECESSED CABINET W/ FE-1
 - FEC-2: SURFACE MOUNT CABINET W/ FE-1
 - FIRE EXTINGUISHER ON WALL BRACKET:
 - FE-1: MULTI-PURPOSE DRY CHEM. EXTINGUISHER (TYPE A-B-C)
 - FE-2: KITCHEN/ GREASE EXTINGUISHER (TYPE K)
 - G/WB COLUMN ENCLOSURE
 - METAL COLUMN ENCLOSURE
 - PORCELAIN TILE COLUMN ENCLOSURE (KITCHEN, TLT'S TYP)
- Room name: ROOM TAG - SEE A300 FOR FINISHES
ROOM NAME
ROOM NUMBER
- WALL TAG - SEE SHEETS A003, A004
WALL TYPE
WHERE A WALL TYPE LEADER PASSES THROUGH 2 OR MORE WALLS, ALL OF THOSE WALLS SHALL BE OF THE TYPE INDICATED.
- DOOR TAG - SEE SHEET A800
DOOR NUMBER
- WINDOW OR CURTAINWALL TAG
SEE SHEET A810
WINDOW OR CURTAINWALL TYPE

CITY MARKET
SOUTH END

Burlington,
Vermont

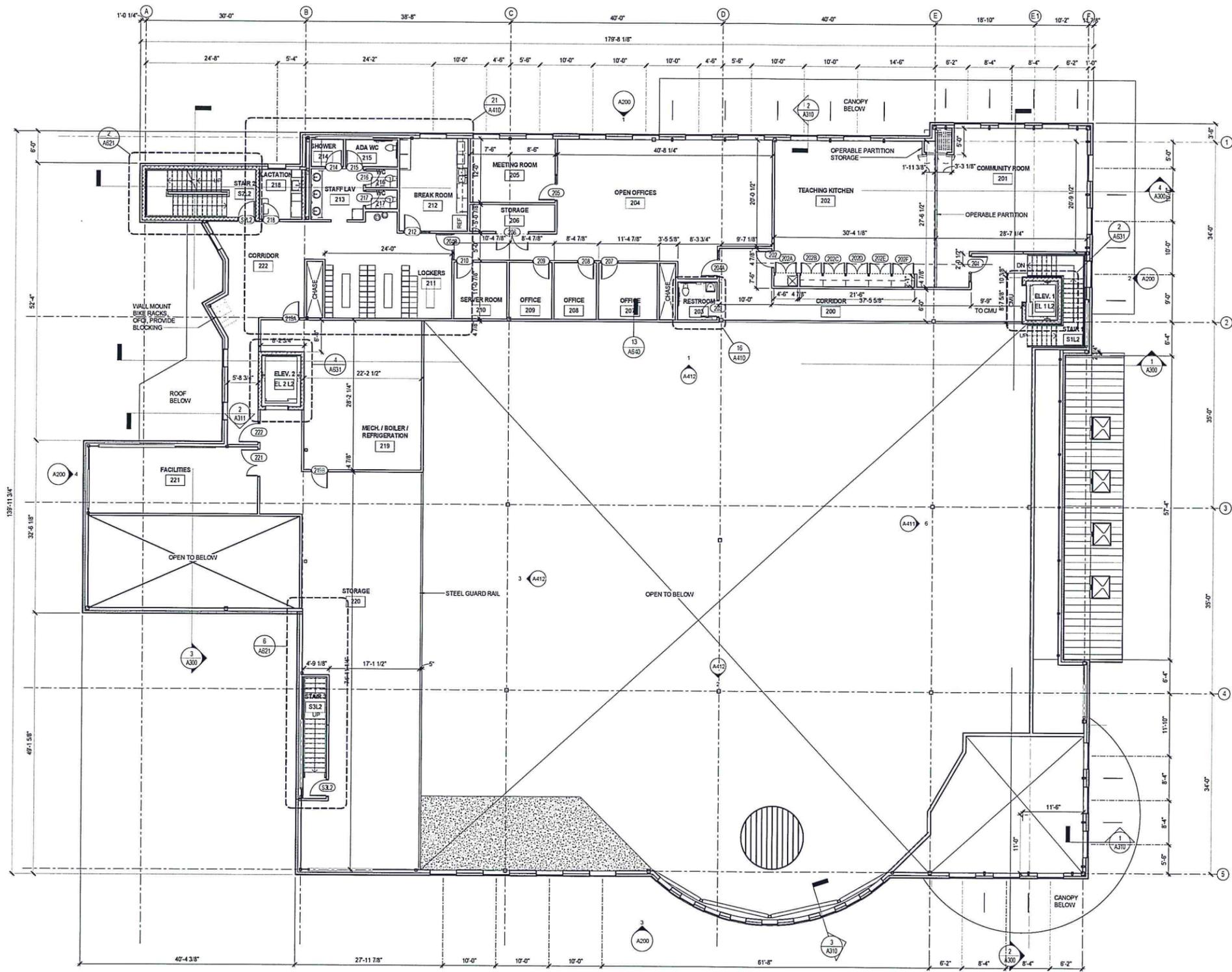
PROJECT NO.	A1536.00
DATE	01/01/16
SCALE	1/8" = 1'-0"
DESIGNER	FFF
BL	
DATE	02/12/2016
DATE	11/15/2015
DATE	11/02/2014

1ST FLOOR PLAN

A101

1 LEVEL 1
SCALE: 1/8" = 1'-0"





FLOOR PLAN GENERAL NOTES

1. DIMENSIONS: ALL INTERIOR DIMENSIONS ARE TO FACE OF GVB OR OTHER FINISH UNLESS OTHERWISE NOTED. EXTERIOR DIMENSIONS ARE TO FACE OF CLADDING UNLESS NOTED OTHERWISE.
2. PLANS ARE TO BE VIEWED IN CONJUNCTION WITH CIVIL, LANDSCAPE, STRUCTURAL, MEPP, AND ALL OTHER TRADES, AS APPROPRIATE. DISCREPANCIES ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR RESOLUTION BEFORE COMMENCING WORK.
3. ALL NON-ARCHITECTURAL INFORMATION SHOWN HERE IS FOR REFERENCE ONLY.
4. REFER TO CIVIL PLANS FOR LIMIT OF WORK.
5. REFER TO C200 LIFE SAFETY PLANS FOR LOCATIONS OF SMOKE AND FIRE RESISTANT RATED CONSTRUCTION.
6. THE DISTANCE FROM THE HINGE SIDE OF THE DOOR TO THE FACE OF ADJACENT PERPENDICULAR WALL SHALL BE 9 INCHES (INCLUDING FRAME) UNLESS NOTED OTHERWISE.
7. ALL VERTICAL AND HORIZONTAL PENETRATIONS THROUGH RATED ASSEMBLIES ARE TO BE SEALED WITH UL-LISTED FIRE-RATING AND/OR SEALANT ASSEMBLIES TO MAINTAIN RATING.
8. KEEP STANDPIPES AND ASSOCIATED ASSEMBLIES CLEAR OF THE REQUIRED PATH OF EGRESS.

NOT FOR CONSTRUCTION.
NOT FOR BUILDING PERMIT.

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11 Maple Street - Burlington VT 05401
802-249-5851 - Fax: 802-249-5852
Architect-Engineer

FLOOR PLAN LEGEND

ALSO SEE SYMBOL LEGEND ON COVERSHEET

- EXISTING WALL / COLUMN TO REMAIN
- NEW METAL STUD / GYPSUM WALLBOARD WALL
- NEW MASONRY WALL
- NEW STEEL / CONCRETE COLUMN - SEE STRUCTURAL 1" FIREPROOFING, TYP FOR ALL STEEL COLUMNS.
- FIRE EXTINGUISHER CABINET:
 - FEC-1: SEMI-RECESSED CABINET W/ FE-1
 - FEC-2: SURFACE MOUNT CABINET W/ FE-1
- FIRE EXTINGUISHER ON WALL BRACKET:
 - FE-1: MULTI-PURPOSE DRY CHEM. EXTINGUISHER (TYPE A-B-C)
 - FE-2: KITCHEN GREASE EXTINGUISHER (TYPE K)
- GVB COLUMN ENCLOSURE
- METAL COLUMN ENCLOSURE
- PORCELAIN TILE COLUMN ENCLOSURE (KITCHEN, TLT'S TYP.)

ROOM TAG - SEE A800 FOR FINISHES
ROOM NAME
ROOM NUMBER

- WALL TAG - SEE SHEETS A003, A004
- WALL TYPE
- WHERE A WALLTYPE LEADER PASSES THROUGH 2 OR MORE WALLS, ALL OF THOSE WALLS SHALL BE OF THE TYPE INDICATED.
- DOOR TAG - SEE SHEET A800
- DOOR NUMBER
- WINDOW OR CURTAINWALL TAG
- SEE SHEET A810
- WINDOW OR CURTAINWALL TYPE

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CITY MARKET SOUTH END

Burlington, Vermont

PROJECT NO: **A1536.00**

DATE: 08/15/12 SCALE: 1/8" = 1'-0"

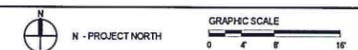
FF: BL

Schematic Design: 02/12/2011
 Design Development: 14/15/2011
 Permit Plans: 14/22/2011

MEZZANINE FLOOR PLAN

A102

1 LEVEL 2
A102 SCALE: 1/8" = 1'-0"

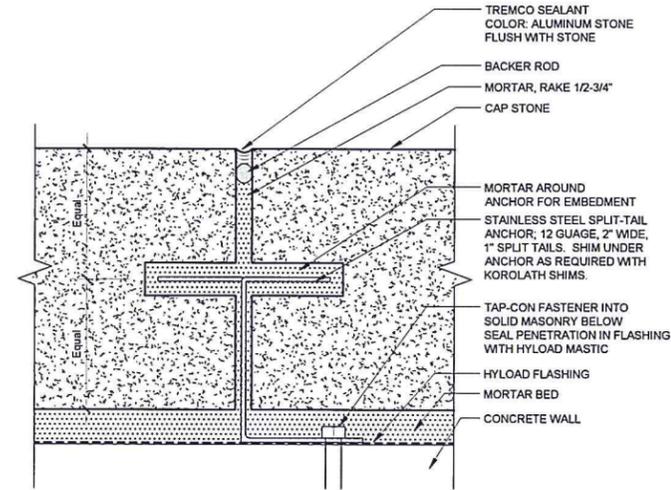




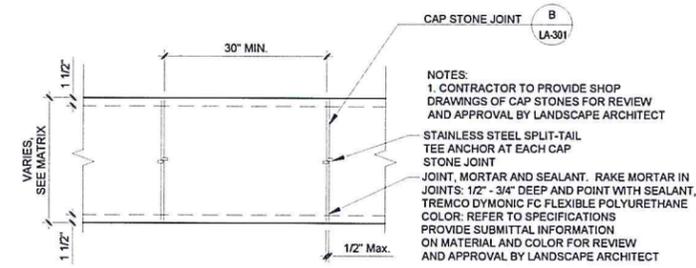
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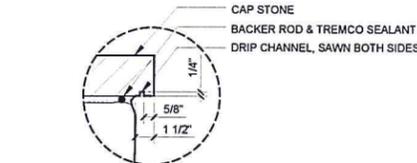
SE GROUP
Landscape Architects and Planners
130 Church Street, Suite 200
Burlington, VT 05401
Tel: 802.486.2000
Fax: 802.486.2044
www.segroup.com



B CAP STONE JOINT
SCALE 1" = 1'-0"
d-cap stone joint.dwg



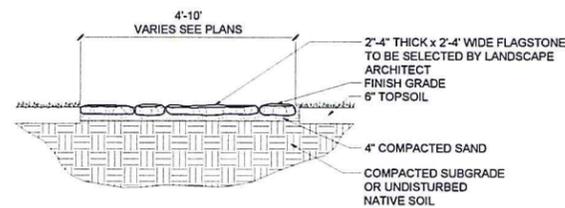
PLAN: CAP STONE - SCALE 1" = 1'-0"



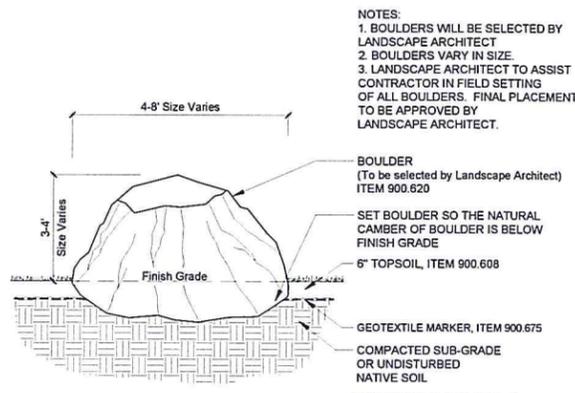
SECTION: CAP STONE
SCALE 1" = 1'-0"

A CAP STONE
SCALE 1" = 1'-0"
d-cap stone.dwg

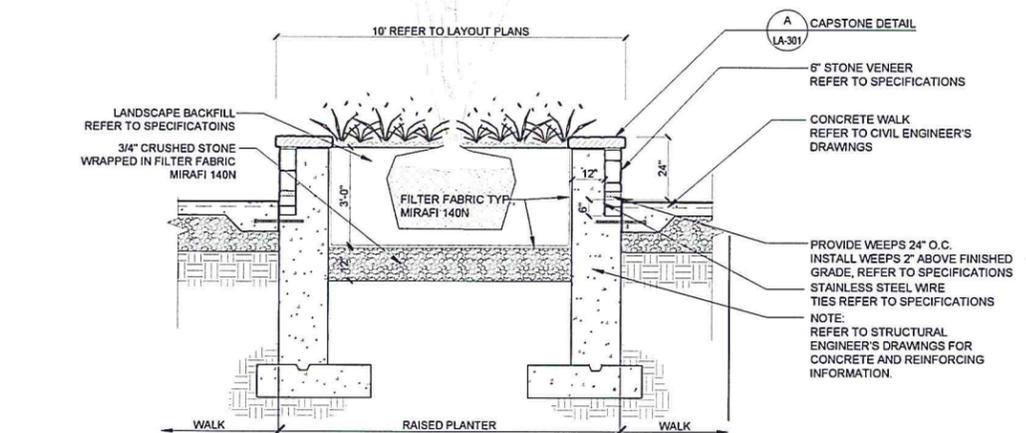
CAPSTONE MATRIX		
TYPE	WIDTH	THICKNESS
A	21"	3"



E STEPPING STONES
SCALE 1/2" = 1'-0"



D LANDSCAPE BOULDER
SCALE 1/2" = 1'-0"
d-landscape boulder.dwg



C SECTION: STONE VENEER PLANTER WALL
SCALE 1/2" = 1'-0"
d-stone veneer planter wall.dwg

CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO.	A1536.00
DATE	04/22/16 AS NOTED
DESIGNED BY	MW
CHECKED BY	
DATE	

LANDSCAPE DETAILS

LA-301

PROGRESS SET
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CONSTRUCTION



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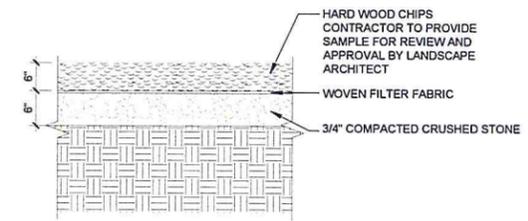
CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO:	A1536.00
DATE:	04/22/16 AS NOTED
DRAWN BY:	MW
CHECKED BY:	
DATE:	

LANDSCAPE DETAILS

LA-302



E WOOD CHIPS
SCALE 1" = 1'-0"
d-wood chips.dwg

- Notes:
1. DIAMETER OF LOGS WILL VARY (18"-30")
 2. EXPOSED HEIGHT OF LOGS WILL VARY (10-30")
 3. USE HARDWOOD LOGS WITH BARK REMOVED
 4. LOGS WILL BE SET INTO STONE SUB-BASE



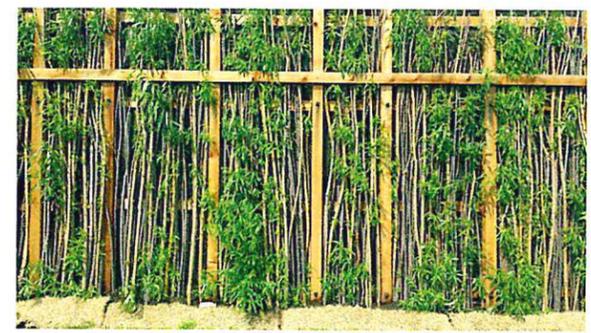
B STEPPING LOGS
SCALE: NTS
d-step logs.dwg

- Notes:
1. CLIMBING LOGS WILL VARY IN DIAMETER (+/-10"-24")
 2. CLIMBING LOGS WILL VARY IN LENGTH (+/-8'-13')
 3. LOGS ARE EXPECTED TO BE IRREGULAR IN SHAPE, OFFERING VARIETY
 4. ALL LOGS WILL BE SELECTED BY LANDSCAPE ARCHITECT



A CLIMBING LOGS
SCALE: NTS
d-climbing logs.dwg

- Notes:
1. HEIGHT IS APPROXIMATELY 10' TALL
 2. VERTICAL AND HORIZONTAL COMPONENTS WILL BE MADE FROM ROUGH CUT CEDAR LOGS
 3. WALL WILL BE FREE STANDING, POSTS WILL BE BURIED IN THE GROUND SURROUNDED BY CONCRETE.
 4. ALL WOOD COMPONENTS WILL BE LEFT NATURAL WOOD, NO FINISH
 5. ALL HARDWARE SHALL BE STAINLESS STEEL



D GREEN WALL
SCALE: NTS
d-green wall.dwg

- Notes:
1. BOULDER LENGTHS WILL VARY BETWEEN 5'-7'
 2. BOULDER WIDTHS WILL VARY BETWEEN 4'-6'
 3. EXPOSED HEIGHT OF BOULDERS WILL VARY
 4. BOULDERS WILL BE SET INTO THE STON SUB-BASE
 5. ALL BOULDERS TO BE SELECTED BY LANDSCAPE ARCHITECT



C CLIMBING BOULDERS
SCALE: NTS
d-climbing boulders.dwg

FIXTURE AND POLE SPECIFICATIONS

- Fixture A**
 Manufacturer: Kim Lighting
 Fixture: Altitude - ALT96
 Configuration: 1SA
 Optics: Type 3
 Lamp: 96watt LED - 4,000K
 Milliamps: 350ma
 Lens: Flat Lens - FGL
 Color: Black
 Options: ---
 Pole: PRA20-4188
- Fixture B**
 Manufacturer: Kim Lighting
 Fixture: Altitude - ALT96
 Configuration: 1SA
 Optics: Type 3
 Lamp: 96watt LED - 4,000K
 Milliamps: 350ma
 Lens: Flat Lens - FGL
 Color: Black
 Options: ---
 Pole: PRA17.5-4188* (Modified)

Note: Poles are mounted on 30" raised footings, so final mounting height is 20'.
- Fixture C**
 Manufacturer: Kim Lighting
 Fixture: Altitude - ALT96
 Configuration: 29B
 Optics: Type V
 Lamp: 96watt LED - 4,000K
 Milliamps: 350ma
 Lens: Flat Lens - FGL
 Color: Black
 Options: ---
 Pole: PRA17.5-4188* (Modified)

Note: Poles are mounted on 30" raised footings, so final mounting height is 20'.
- Fixture D**
 Manufacturer: Gardco
 Fixture: 101L Wall Sconce
 Optics: Type IV
 Wattage: 35watt LED - 4,000K
 Color: Black
 Options: Wall Mounted - 14' Mounting Height
- ★ Fixture E**
 Manufacturer: Prescolite
 Fixture: 8LFLD5G4 - 8" LED Downlight
 Optics: Type V
 Wattage: 1100 Lumen - 4,000K
 Color: Black
 Options: Recessed Canopy Light +/-14' Mounting Height
- ▲ Fixture F**
 Manufacturer: Modern Forms
 Fixture: Urban - WS-W1116
 Optics: Top Lens
 Wattage: 16watt
 Color: Black
 Options: Wall Light +/-8' Mounting Height

ISO-CONTOUR KEY

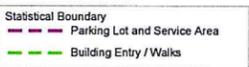
ISO-CONTOUR	FOOTCANDLE VALUE
	1.00
	0.50
	0.25

STATISTICAL AREA SUMMARY

Grid Type: Horizontal Illuminance at finish grade.
 Grid Units: Footcandles

Statistical Area	Avg	Max	Min	Avg/Min	Max/Min
1 Parking Lot and Service Area	1.37	3.60	0.10	13.70	36.00
2 Building Entry / Walks	1.67	6.80	0.00	0.00	0.00

Disclaimer:
 This analysis was calculated in accordance with published IES calculation methods and procedures with the data as entered by the user. This analysis is based on tested IES photometric data, light loss factors as defined in the LLF value. This analysis is a mathematical model of real life situations, and it can be only as accurate as the model itself. Calculated values may vary from actual measurements in certain situations. SE Group is not responsible for light output deviations due to lamp/ballast combinations or other variables.



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CITY MARKET
 SOUTH END

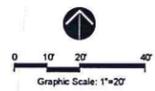
Burlington,
 Vermont

PROJECT NO: A1536.00
 DATE: 04/22/16
 SCALE: 1"=20'
 DRAWN BY: MW
 CHECKED BY: MW

DATE: 02-12-2016
 DATE: 04-18-2016
 DATE: 04-22-2016
 DATE: 06-17-2016
 DATE: 07-29-2016

LIGHTING PLAN

LA-400



PROGRESS SET
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802.488.4444 ext. 5000
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CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO.
A1536.00

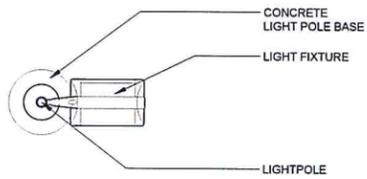
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SCALE: MW

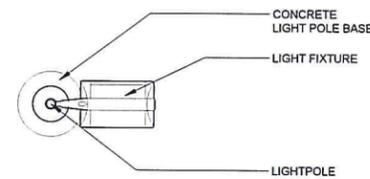
DATE	DESCRIPTION
02.12.2016	Schematic Design
04.13.2016	Design Development
04.22.2016	Permit Plans
06.17.2016	Permit Plans
07.29.2016	Permit Plans

DISCIPLINE:
LIGHTING
DETAILS

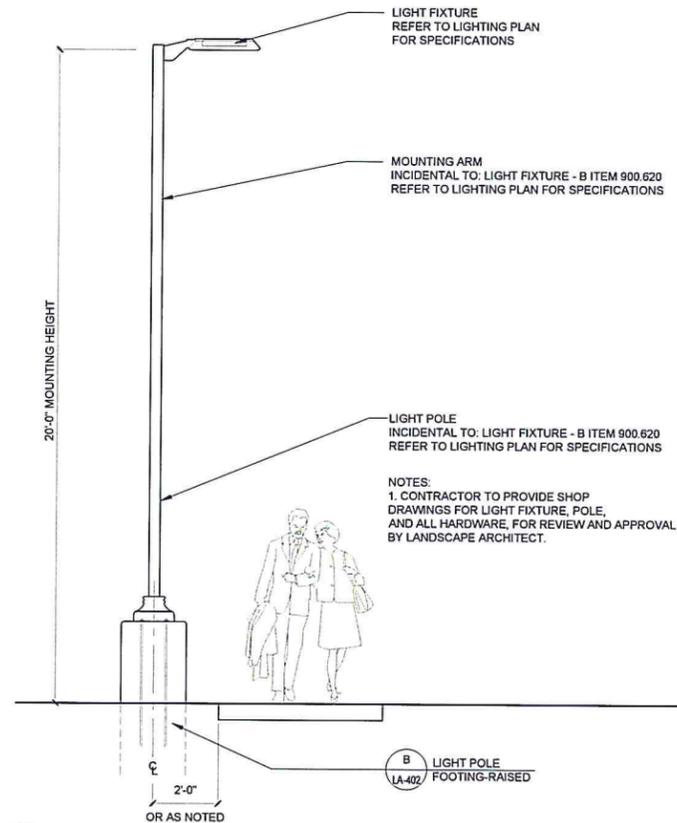
SHEET NO.
LA-401



PLAN VIEW

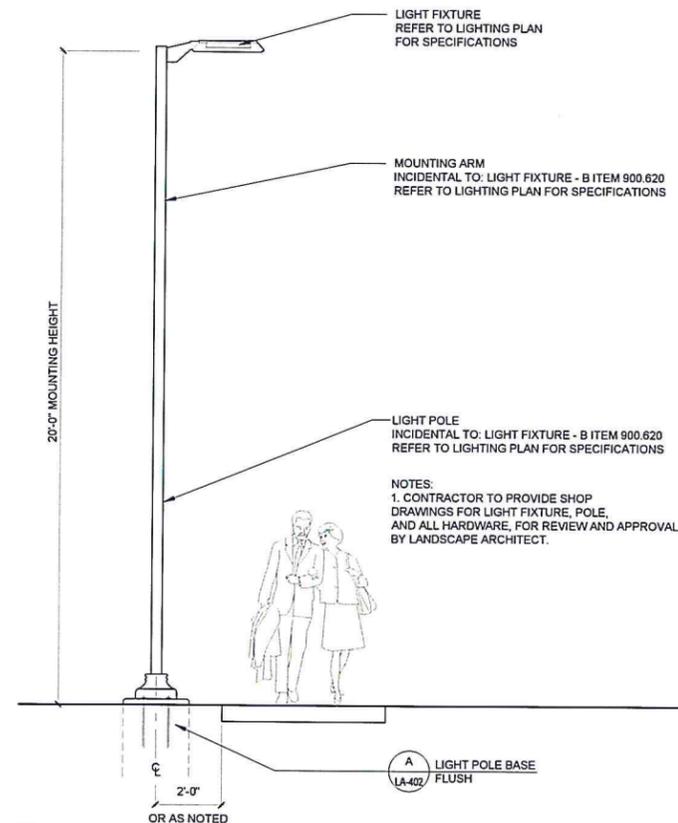


PLAN VIEW



B LIGHT FIXTURE - (Fixture B)
SCALE 1/2" = 1'-0"

d-light_fixtureB.dwg



A LIGHT FIXTURE - (Fixture A)
SCALE 1/2" = 1'-0"

d-light_fixtureA.dwg

NOTES:
1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR LIGHT FIXTURE, POLE, AND ALL HARDWARE, FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.

NOTES:
1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR LIGHT FIXTURE, POLE, AND ALL HARDWARE, FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.

PROGRESS SET
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CONSTRUCTION



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CITY MARKET
SOUTH END

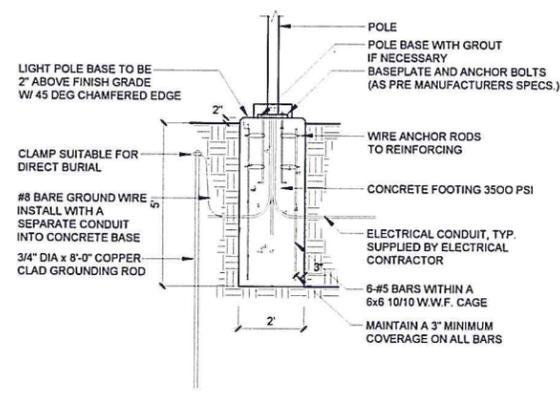
Burlington,
Vermont

PROJECT NO:	A1536.00
ORGANIZATION:	CDM
DATE:	04/22/16 AS NOTED
DESIGNED BY:	MW
CHECKED BY:	
DATE:	
DATE:	
DATE:	
DATE:	

LIGHTING
DETAILS

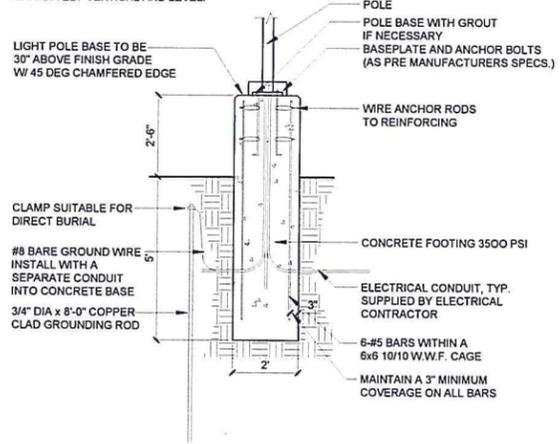
LA-402

NOTE: POLE BASE IS TO BE ONE CONTINUOUS POUR.
THE CONTRACTOR WILL TAKE SPECIAL CARE TO
ENSURE CONCRETE POLE BASES ARE INSTALLED
ABSOLUTELY VERTICAL AND LEVEL.

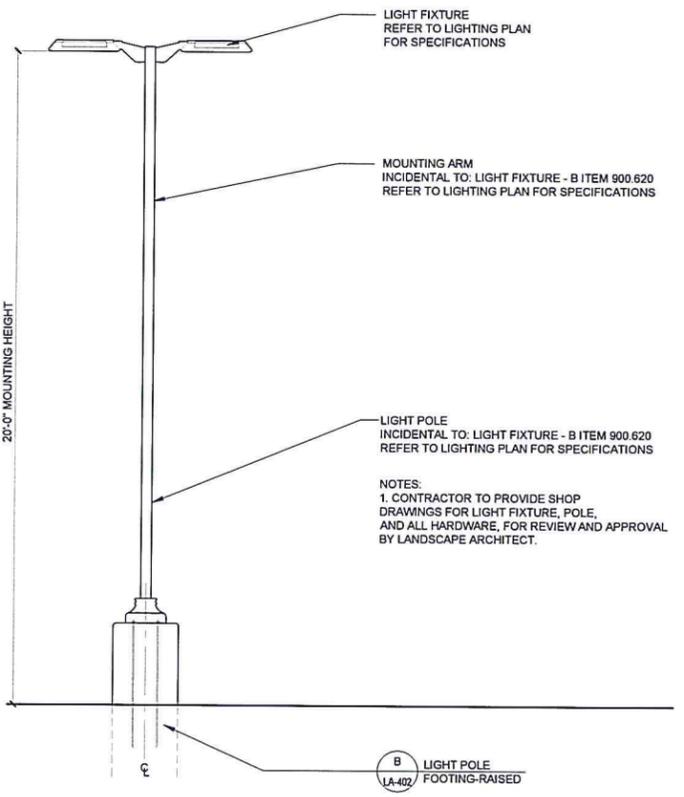
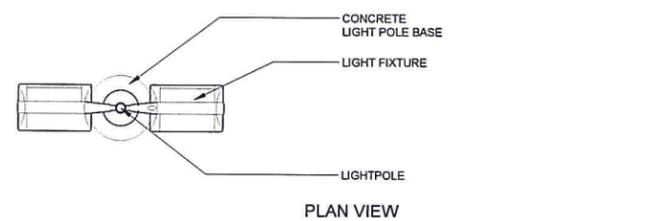


A LIGHT POLE FOOTING - FLUSH
SCALE 1/2" = 1'-0" d-light footing - flush.dwg

NOTE: POLE BASE IS TO BE ONE CONTINUOUS POUR.
THE CONTRACTOR WILL TAKE SPECIAL CARE TO
ENSURE CONCRETE POLE BASES ARE INSTALLED
ABSOLUTELY VERTICAL AND LEVEL.

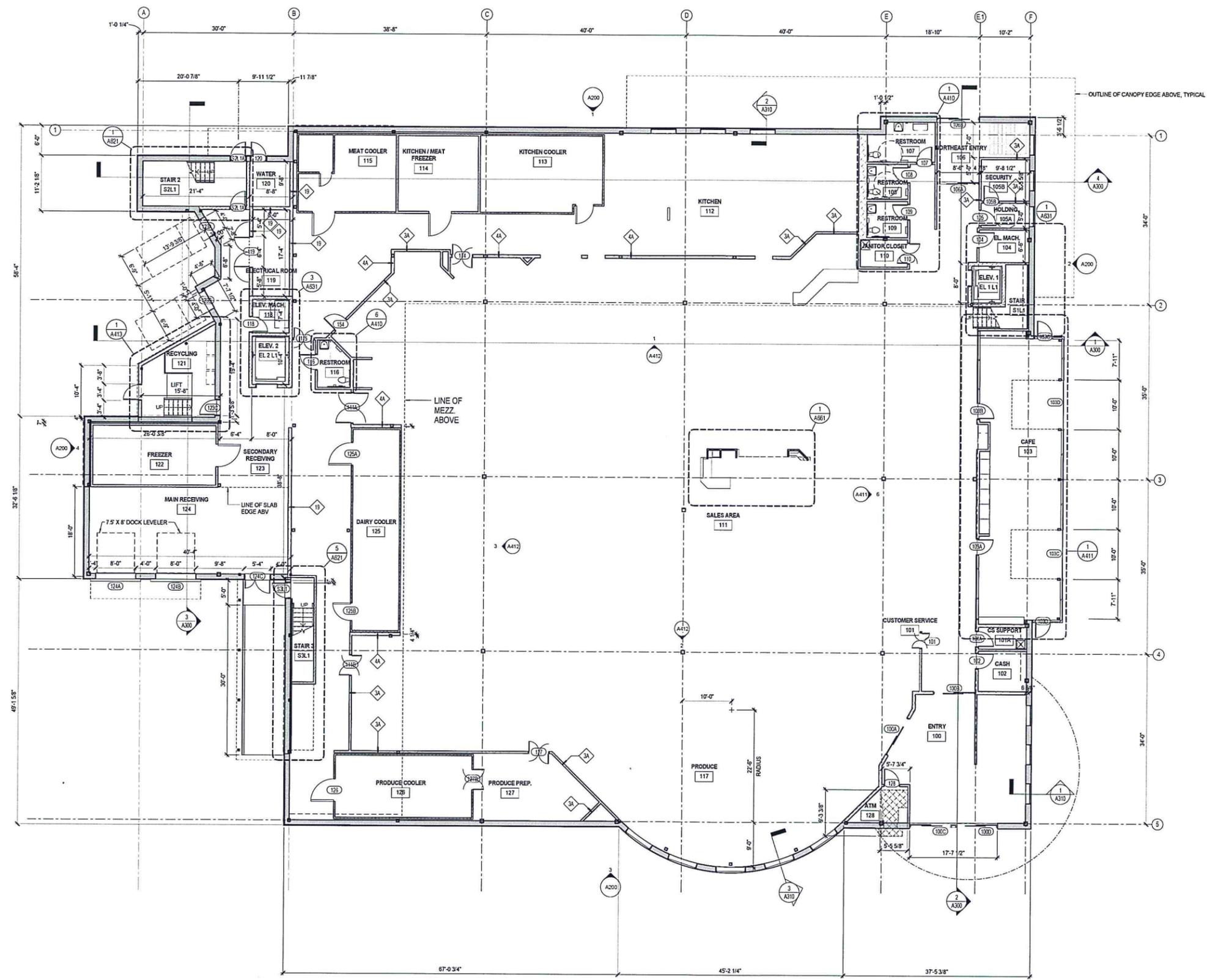


B LIGHT POLE FOOTING - RAISED
SCALE 1/2" = 1'-0" d-light footing - raised.dwg



C LIGHT FIXTURE - (Fixture C)
SCALE 1/2" = 1'-0" d-light fixture.dwg

B LIGHT POLE FOOTING-RAISED
LA-402



FLOOR PLAN GENERAL NOTES

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NOT FOR CONSTRUCTION.
NOT FOR BUILDING PERMIT.



FLOOR PLAN LEGEND

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- EXISTING WALL / COLUMN TO REMAIN
 - NEW METAL STUD / GYPSUM WALLBOARD WALL
 - NEW MASONRY WALL
 - NEW STEEL / CONCRETE COLUMN - SEE STRUCTURAL 1" FIREPROOFING, TYP FOR ALL STEEL COLUMNS.
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 - GYB COLUMN ENCLOSURE (GCE)
 - METAL COLUMN ENCLOSURE (MCE)
 - PORCELAIN TILE COLUMN ENCLOSURE (KITCHEN, T.L.T.'S TYP.) (PCE)
- Room name - SEE A600 FOR FINISHES
- ROOM TAG - ROOM NAME
 - ROOM NUMBER
 - WALL TAG - SEE SHEETS A003, A004
 - WALL TYPE - WHERE A WALL TYPE LEADER PASSES THROUGH 2 OR MORE WALLS, ALL OF THOSE WALLS SHALL BE OF THE TYPE INDICATED.
 - DOOR TAG - SEE SHEET A800
 - DOOR NUMBER
 - WINDOW OR CURTAIN WALL TAG - SEE SHEET A810
 - WINDOW OR CURTAIN WALL TYPE

CITY MARKET
SOUTH END

Burlington,
Vermont

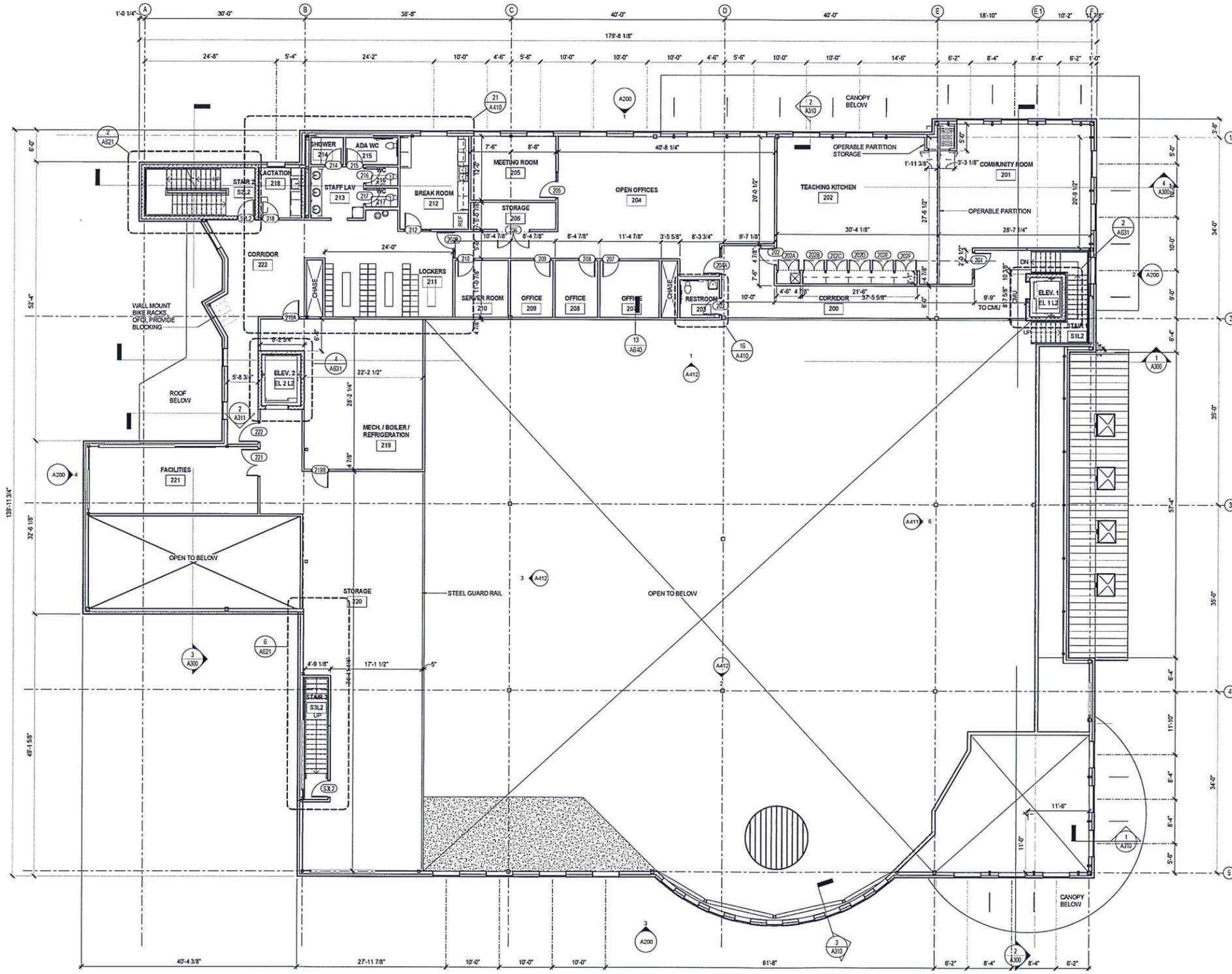
PROJECT NO.		A1536.00	
DATE	SCALE	DATE	SCALE
01/01/18	1/8" = 1'-0"		
DESIGNER	CLIENT	DATE	
FFF	BL	02/12/2018	
ARCHITECT	DATE	04/15/2018	
Freeman French Freeman	04/15/2018		

1ST FLOOR PLAN

A101

1 LEVEL 1
A101 SCALE: 1/8" = 1'-0"





FLOOR PLAN GENERAL NOTES

ALSO SEE SYMBOL LEGEND ON COVER SHEET.

- DIMENSIONS: ALL INTERIOR DIMENSIONS ARE TO FACE OF G/MB OR OTHER FINISH UNLESS OTHERWISE NOTED. EXTERIOR DIMENSIONS ARE TO FACE OF CLADDING UNLESS NOTED OTHERWISE.
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- KEEP STAIRWELLS AND ASSOCIATED ASSEMBLIES CLEAR OF THE REQUIRED PATH OF EGRESS.

NOT FOR CONSTRUCTION.
NOT FOR BUILDING PERMIT.



FLOOR PLAN LEGEND

ALSO SEE SYMBOL LEGEND ON COVER SHEET

- EXISTING WALL / COLUMN TO REMAIN
- NEW METAL STUD / GYPSUM WALLBOARD WALL
- NEW MASONRY WALL
- NEW STEEL CONCRETE COLUMN - SEE STRUCTURAL 1" FIREPROOFING, TYP FOR ALL STEEL COLUMNS.
- FIRE EXTINGUISHER CABINET:
 - FEC-1: SEMI-RECESSED CABINET W/ FE-1
 - FEC-2: SURFACE MOUNT CABINET W/ FE-1
- FIRE EXTINGUISHER ON WALL BRACKET:
 - FE-1: MULTI-PURPOSE DRY CHEM. EXTINGUISHER (TYPE A-B-C)
 - FE-2: KITCHEN GREASE EXTINGUISHER (TYPE K)
- G/MB COLUMN ENCLOSURE
- METAL COLUMN ENCLOSURE
- MCE
- PORCELAIN TILE COLUMN ENCLOSURE (KITCHEN, TLT'S TYP.)
- PCE

Room name - SEE A800 FOR FINISHES
ROOM NAME
ROOM NUMBER

WALL TAG - SEE SHEETS A003, A004
WALL TYPE
WHERE A WALLTYPE LEADER PASSES THROUGH 2 OR MORE WALLS, ALL OF THOSE WALLS SHALL BE OF THE TYPE INDICATED.

DOOR TAG - SEE SHEET A800
DOOR NUMBER

WINDOW OR CURTAINWALL TAG
SEE SHEET A810
WINDOW OR CURTAINWALL TYPE

DEPARTMENT OF PLANNING & ZONING

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CITY MARKET SOUTHERN

Burlington, Vermont

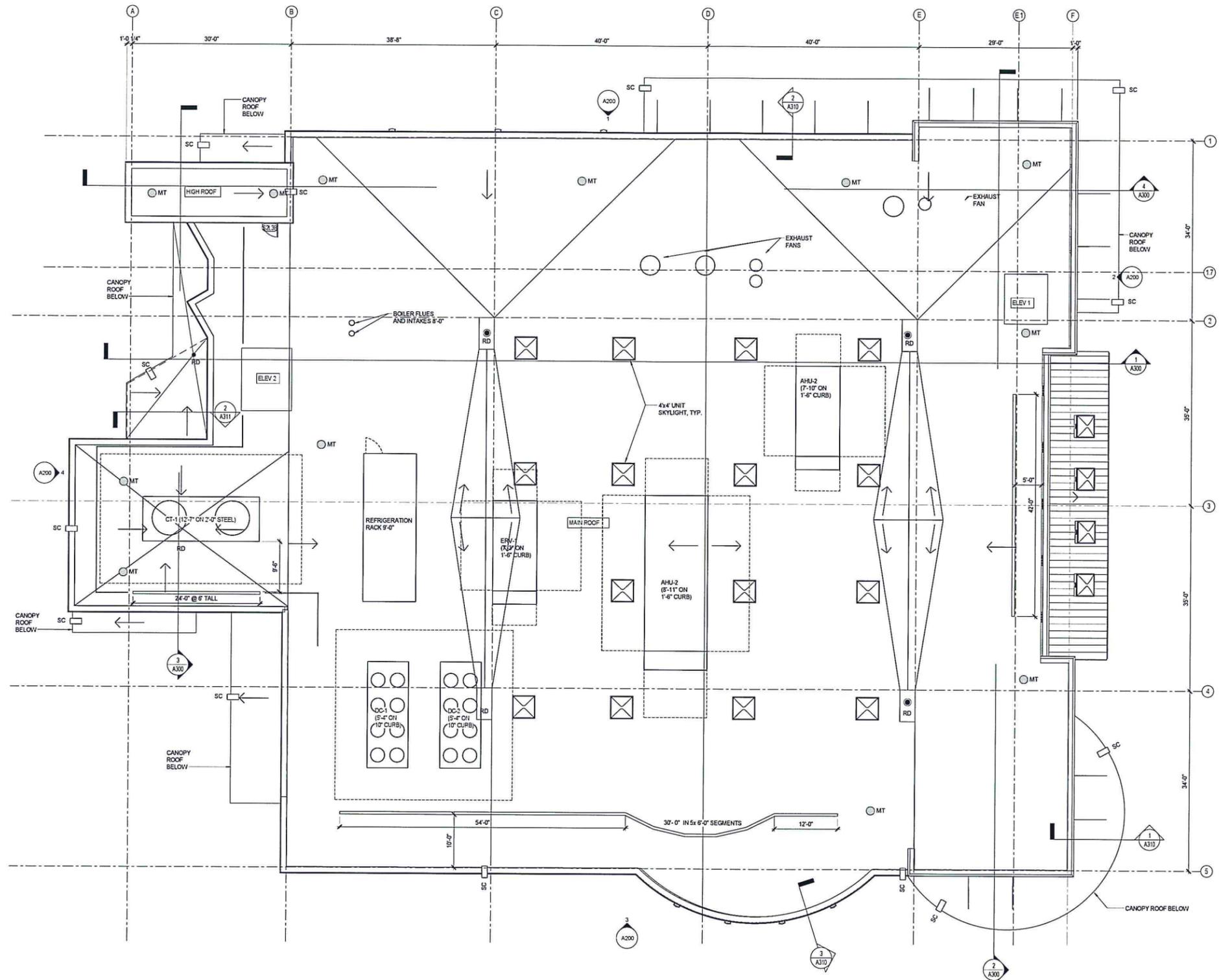
PROJECT NO: A1536.00
DATE: 08/16/12
SCALE: 1/8" = 1'-0"
DRAWN BY: FF
CHECKED BY: BL
DESIGNED BY: 02/12/2012
DEVELOPMENT: 04/15/2012
FINAL PLAN: 04/22/2012

MEZZANINE FLOOR PLAN

A102

1 LEVEL 2
A102 SCALE: 1/8" = 1'-0"





ROOF PLAN LEGEND

○ RD	ROOF DRAIN
● MT	MAINTENANCE TIEDOWN
⊥ SC	SCUPPER
⊥ SCP	SCUPPER TO PAD ON ROOF BELOW
⊥ SVRL	SCUPPER WITH RAIN LEADER TO PAD ON ROOF BELOW
⊥ RMF	ROOF MANIFOLD

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- ROOF PLAN GENERAL NOTES**
1. SEE EXTERIOR WALL SECTION SHEETS AND EXTERIOR ASSEMBLY SHEET FOR ROOF SYSTEM NOTES.
 2. SEE MEPP/PP DRAWINGS & SPECIFICATIONS FOR ROOF TOP EQUIPMENT REQUIREMENTS INCLUDING CURBS.
 3. SEE PLUMBING DWGS FOR ROOF DRAIN QUANTITIES, SIZES & LAYOUT. CONTACT ARCHITECT IF DISCREPANCIES ARE FOUND. SECONDARY ROOF DRAINAGE IS PROVIDED USING SCUPPERS. SEE PLAN FOR SCUPPER SIZE & LOCATIONS.
 4. ROOF DECK IS TAPERED. INSULATION REQUIRED TO SLOOPE TO DRAIN IS TAPERED AT 1/4" PER FOOT. CRICKETS ARE TAPERED AT 1/2" PER FOOT, UNLESS OTHERWISE NOTED.

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CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO: **A1536.00**

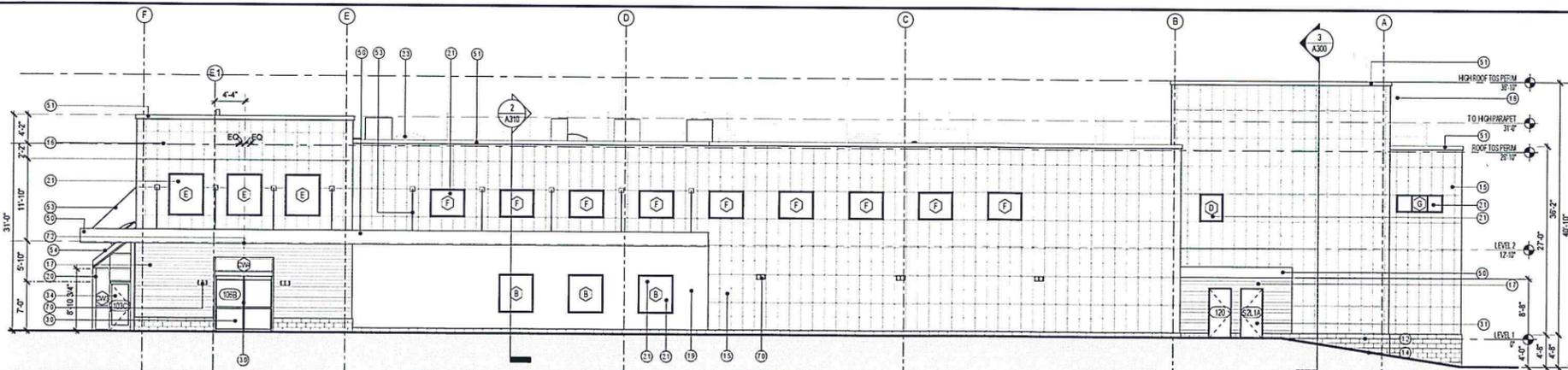
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DESIGNER: AC	CHECKED: BL
DATE: 02/12/2016	DATE: 04/15/2016
DATE: 04/15/2016	DATE: 04/22/2016
DATE: 04/22/2016	DATE: 04/27/2016

PROJECT TITLE: **ROOF PLAN**

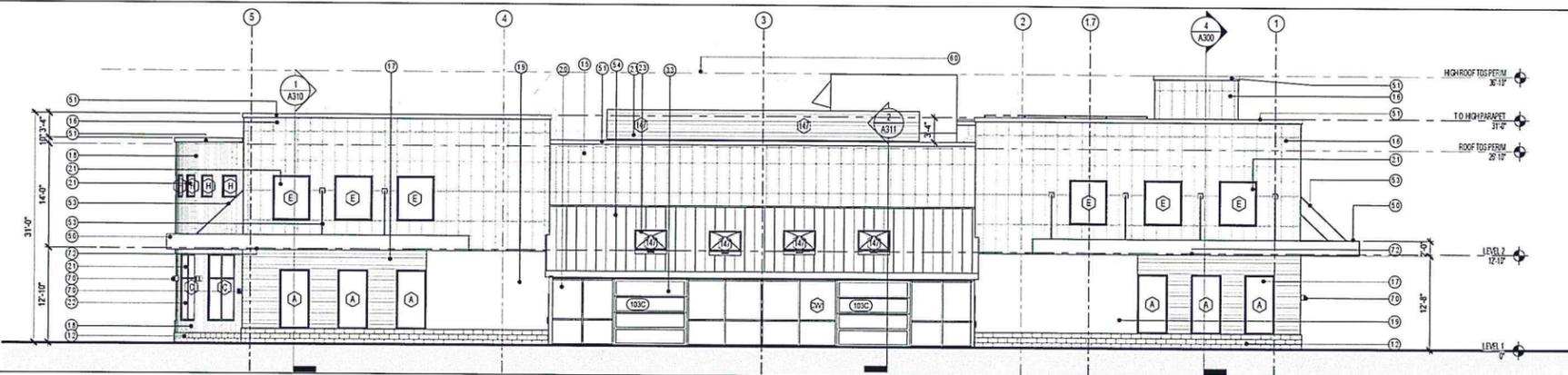
PROJECT NO: **A103**

1 Roof Plan
SCALE: 1/8" = 1'-0"

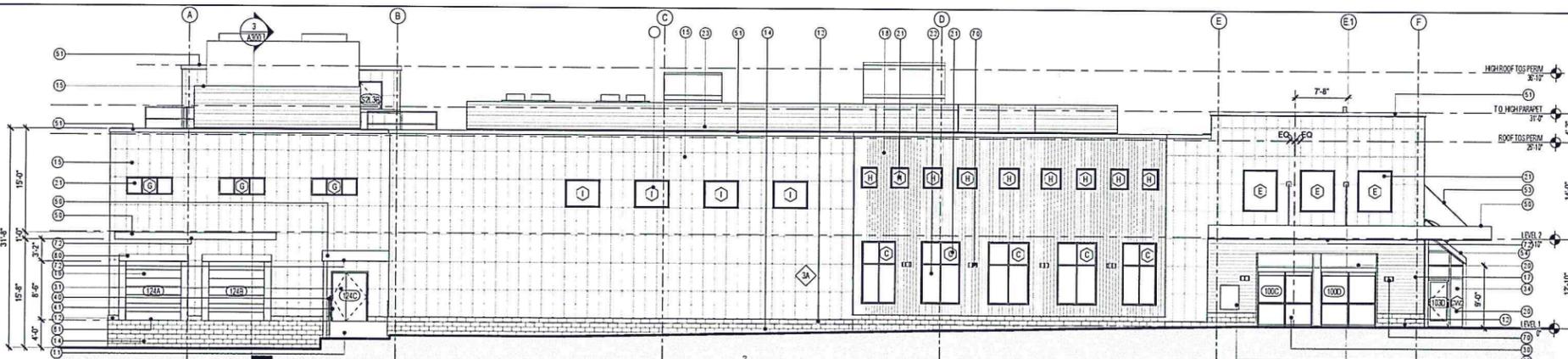




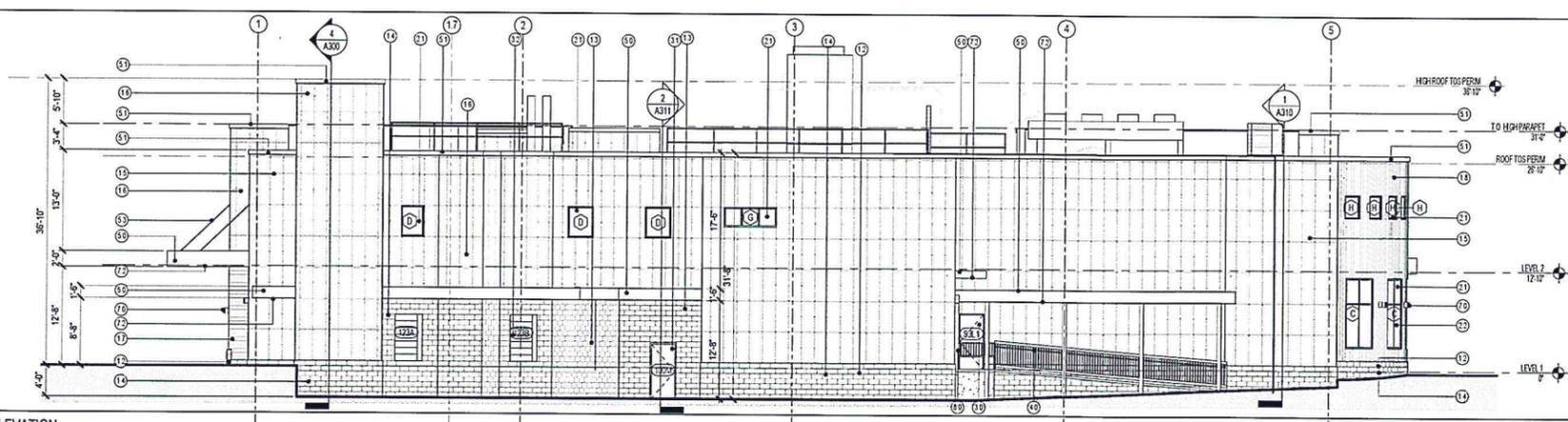
1 NORTH ELEVATION
A200 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
A200 SCALE: 1/8" = 1'-0"



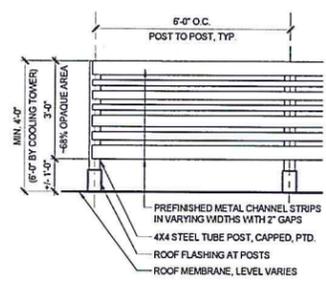
3 SOUTH ELEVATION
A200 SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
A200 SCALE: 1/8" = 1'-0"

KEY	KEYNOTE
1.1	CONCRETE RAMP [03 3000]
1.2	STONE SILL COURSE [04 2000]
1.3	GROUND FACE BLOCK WALL [04 2000]
1.4	GROUND FACE BLOCK VENEER [04 2000]
1.5	FACE FASTENED ALUMINUM PANEL SYSTEM- CUSTOM FINISH
1.6	FACE FASTENED ALUMINUM PANEL SYSTEM- CUSTOM IMAGES
1.7	STAINED CEDAR HORIZONTAL SIDING
1.8	STAINED CEDAR VERTICAL SIDING
1.9	EXTERIOR GYPSUM (ART WALL BY OWNER)
2.0	ALUMINUM CURTAINWALL VISION GLAZING [08 4413]
2.1	FIBERGLASS WINDOW VISION GLAZING [08 4413]
2.2	FIBERGLASS WINDOW SPANDREL [08 4010]
2.3	UNIT SKYLIGHT [08 8000]
3.0	ALUMINUM ENTRY DOOR SYSTEM [08 1116]
3.1	INSULATED HOLLOW METAL DOOR & THERMALLY BROKEN FRAME
3.2	INSULATED OVERHEAD SECTIONAL DOOR [08 3613]
3.3	ALUMINUM GLAZED OVERHEAD SECTIONAL DOOR
3.4	ALUMINUM STOREFRONT DOOR
4.0	GUARDRAILS [05 5010]
4.1	HANDRAILS [05 5200]
5.0	CANOPY EDGE - PRE-FINISHED METAL FASCIA [05 5002]
5.1	PRE-FINISHED METAL ROOF EDGE [07 5010]
5.3	CANOPY CABLE STAYS AND BRACKETS
5.4	PRE-FINISHED STANDING SEAM METAL ROOF
6.0	MECHANICAL EQUIPMENT, SEE MECHANICAL
7.0	BUILDING MOUNTED SCENCE
7.2	UNDER CANOPY DOWNLIGHTS
8.0	LOADING DOCK SEALS & BUMPERS [11 1300]
8.1	LOADING DOCK LEVELERS
9.2	AUTOMATIC TELLER MACHINE

5 ROOF SCREEN ELEVATION, TYP.
A200 SCALE: 1/2" = 1'-0"



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DEPARTMENT OF
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CITY MARKET
SOUTHEND

Burlington,
Vermont

PROJECT NO: A1536.00

DATE: 08/17/12

SCALE: As Indicated

BL BL

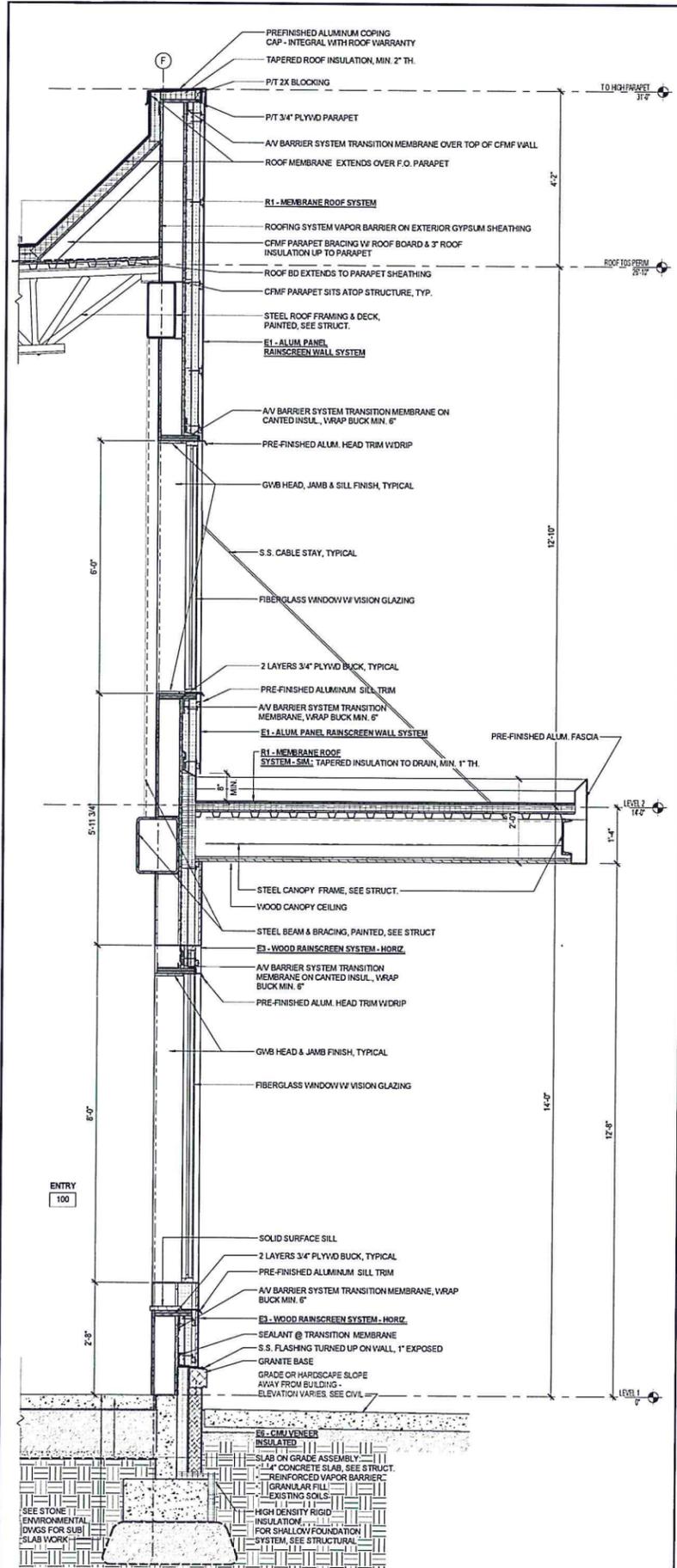
REVISIONS:

Revised Design	02/02/2014
Design Development	04/15/2014
Permit Plans	04/22/2014
Permit Plans	04/17/2014

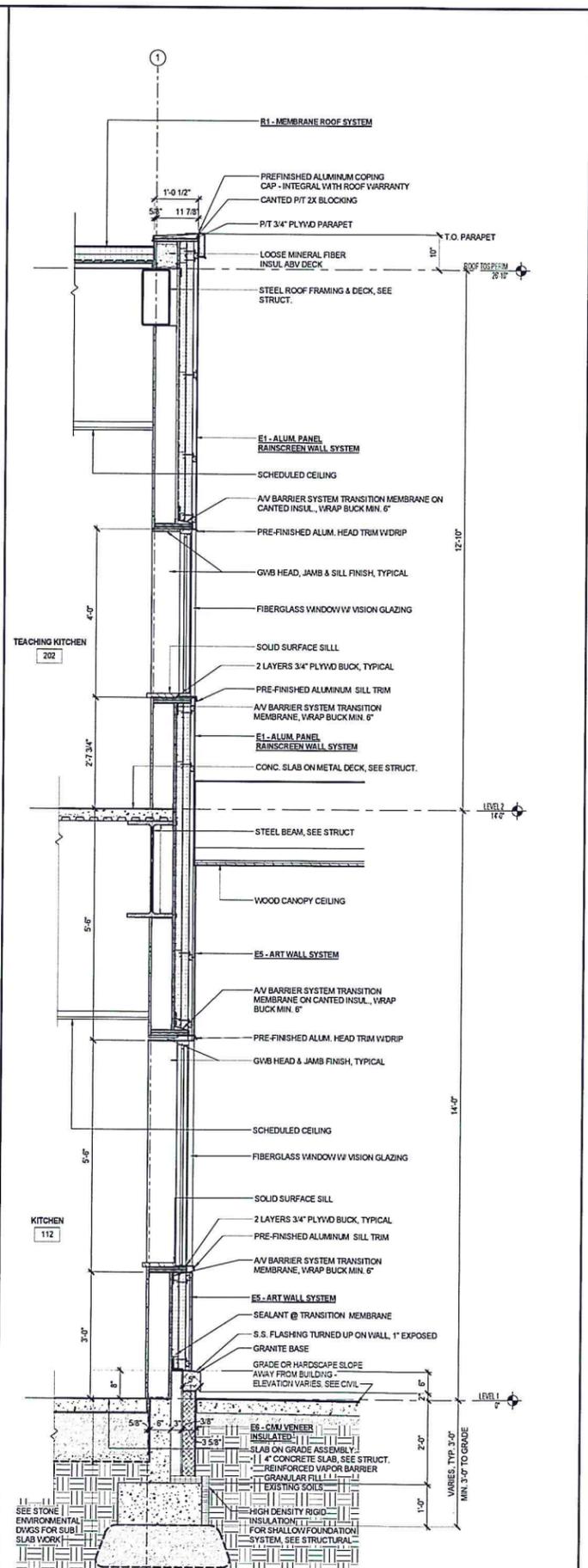
EXTERIOR ELEVATIONS

A200

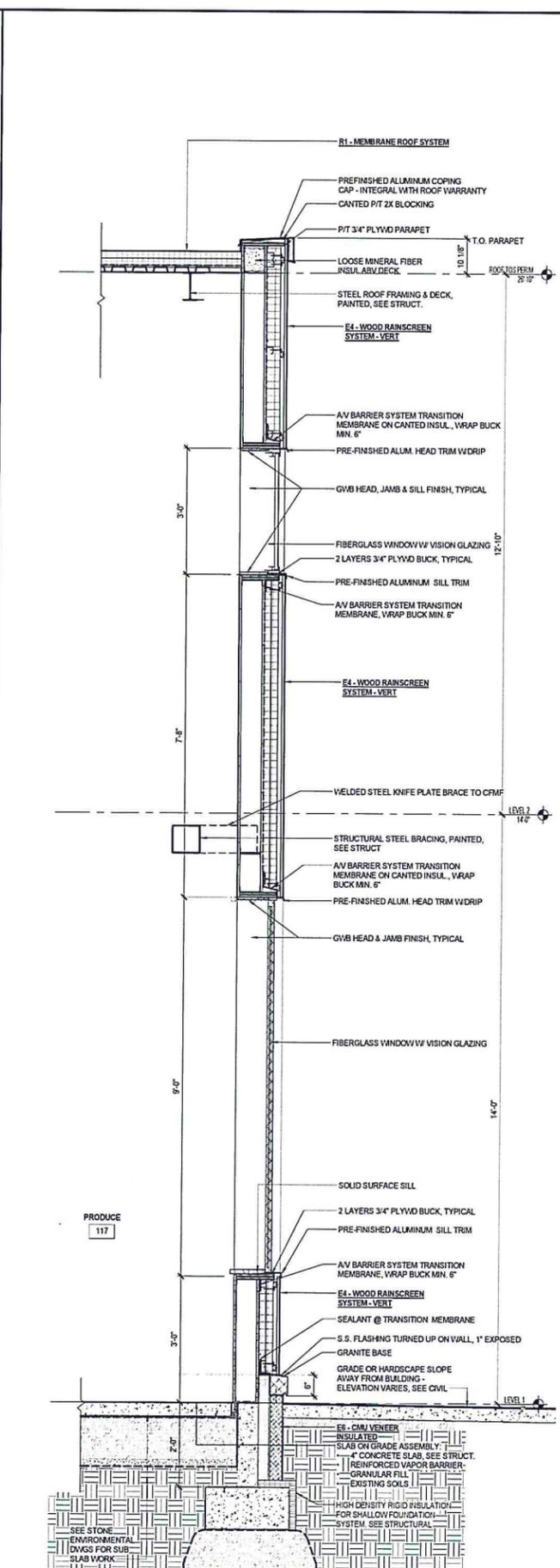
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1 WALL SECTION
A310 SCALE: 3/4" = 1'-0"



2 WALL SECTION
A310 SCALE: 3/4" = 1'-0"



3 WALL SECTION
A310 SCALE: 3/4" = 1'-0"

EXTERIOR ASSEMBLIES	
R1	MEMBRANE ROOF SYSTEM (I) TO OUT • LOW SLOPE (1/4" PER FOOT) 1 1/2" ROOF DECK - SEE STRUCT. • 1/2" GYPSUM ROOF BOARD • ADHERED AIR BARRIER • MIN. 4" POLYISO BOARD INSULATION W/ MIN. 2 LAYERS STAGGERED • TAPERED INSULATION AS REQUIRED TO FORM CANTS • 1/2" POLYISO COVER BOARD • ADHERED EPDM ROOF MEMBRANE (COLOR TBD)
R2	METAL ROOF SYSTEM (I) TO OUT • 9/12 SLOPE 1 1/2" ROOF DECK - SEE STRUCT. • 1/2" GYPSUM ROOF BOARD • ADHERED AIR BARRIER • MIN. 4" POLYISO BOARD INSULATION W/ MIN. 2 LAYERS STAGGERED • 4" RIGID POLYISO BOARD INSUL. W/ 5/16" PLYWD. NAILBASE • FELT FAPPER • STANDING SEAM METAL ROOFING
E1	ALUMINUM PANEL RAINSCREEN WALL SYSTEM (CMF BACKUP) (I) TO OUT • 5/8" TYPE X GYPSUM • COLD FORMED METAL FRAMED STUD WALL • 5/8" GYPSUM SHEATHING • AR & WATER BARRIER • 4" MINERAL FIBER IN TWO LAYERS • 2" HORIZONTAL S.S. COLD FORMED Z-FURRING COORDINATED WITH PANEL FASTENERS AT APPROXIMATELY 24" O.C. VERTICAL SPACING • AR GAP • FACE FASTENED ALUMINUM PANEL SYSTEM WITH CUSTOM GRAPHIC FINISH
E1R1	ALUMINUM PANEL RAINSCREEN WALL SYSTEM (CMF BACKUP) - 1/8" RATED (I) TO OUT • 5/8" TYPE X GYPSUM • COLD FORMED METAL FRAMED STUD WALL • 5/8" GYPSUM SHEATHING TYPE X • AR & WATER BARRIER • 4" MINERAL FIBER IN TWO LAYERS • 2" HORIZONTAL S.S. COLD FORMED Z-FURRING COORDINATED WITH PANEL FASTENERS AT APPROXIMATELY 24" O.C. VERTICAL SPACING • AR GAP • FACE FASTENED ALUMINUM PANEL SYSTEM WITH CUSTOM GRAPHIC FINISH
E1	ALUMINUM PANEL RAINSCREEN WALL SYSTEM (CMU BACKUP) (I) TO OUT • 10M 8" CMU WALL - SEE STRUCTURAL • AR & WATER BARRIER • 4" MINERAL FIBER IN TWO LAYERS • 2" HORIZONTAL S.S. COLD FORMED Z-FURRING COORDINATED WITH PANEL FASTENERS AT APPROXIMATELY 24" O.C. VERTICAL SPACING • AR GAP • FACE FASTENED ALUMINUM PANEL SYSTEM WITH CUSTOM GRAPHIC FINISH
E1	WOOD RAINSCREEN WALL SYSTEM (HORIZONTAL) (I) TO OUT • 5/8" TYPE X GYPSUM • COLD FORMED METAL FRAMED STUD WALL • 5/8" GYPSUM SHEATHING • AR & WATER BARRIER • 4" MINERAL FIBER IN TWO LAYERS • 2" HORIZONTAL S.S. COLD FORMED Z-FURRING COORDINATED WITH PANEL FASTENERS AT APPROXIMATELY 24" O.C. VERTICAL SPACING • AR GAP • FACE FASTENED HORIZONTAL 1X8 CEDAR PLANK CLADDING
E4	WOOD RAINSCREEN WALL SYSTEM (VERTICAL) (I) TO OUT • 5/8" TYPE X GYPSUM • COLD FORMED METAL FRAMED STUD WALL • 5/8" GYPSUM SHEATHING • AR & WATER BARRIER • 4" MINERAL FIBER IN TWO LAYERS • 2" HORIZONTAL S.S. COLD FORMED Z-FURRING COORDINATED WITH PANEL FASTENERS AT APPROXIMATELY 24" O.C. VERTICAL SPACING • AR GAP • FACE FASTENED VERTICAL 1X8 CEDAR PLANK CLADDING
E5	ART WALL SYSTEM (I) TO OUT • 5/8" TYPE X GYPSUM • COLD FORMED METAL FRAMED STUD WALL • 5/8" GYPSUM SHEATHING • AR & WATER BARRIER • 4" MINERAL FIBER IN TWO LAYERS • 2" HORIZONTAL S.S. COLD FORMED Z-FURRING COORDINATED WITH PANEL FASTENERS AT APPROXIMATELY 24" O.C. VERTICAL SPACING • AR GAP • 5/8" EXTERIOR GLASS FACED GYPSUM SHEATHING
E6	CMU VENEER INSULATED (C.I.P. CONCRETE BACKUP) (I) TO OUT • CONCRETE FOUNDATION WALL - SEE STRUCTURAL • AR & WATER BARRIER ABOVE GRADE • 2" XPS RIGID INSULATION • 3/8" SOLID GROUT • 10M 4" GROUND FACE CMU
E7	CMU VENEER UNINSULATED (C.I.P. CONCRETE BACKUP) (I) TO OUT • CONCRETE FOUNDATION WALL - SEE STRUCTURAL • 3/8" SOLID GROUT • 10M 4" GROUND FACE CMU
E8	CMU VENEER (CMU BACKUP) (I) TO OUT • 10M 8" CMU - SEE STRUCTURAL • AR & WATER BARRIER • 2" XPS RIGID INSULATION • 3/8" SOLID GROUT • 10M 4" GROUND FACE CMU
E9	CMU WALL • 10M 8" GROUND FACE CMU - SEE STRUCT.
E10	GALV. STEEL PANEL (CMU BACKUP) (I) TO OUT • 10M 8" CMU - SEE STRUCTURAL • AR & WATER BARRIER • 4" MINERAL FIBER IN TWO LAYERS • 2" HORIZONTAL S.S. COLD FORMED Z-FURRING COORDINATED WITH FASTENERS AT APPROXIMATELY 24" O.C. VERTICAL SPACING • FACE FASTENED VERTICAL GALVANIZED STEEL PANELS
E11	GALV. STEEL PANEL (CMF BACKUP) (I) TO OUT • 5/8" TYPE X GYPSUM • COLD FORMED METAL FRAMED STUD WALL • 5/8" GYPSUM SHEATHING • AR & WATER BARRIER • 4" MINERAL FIBER IN TWO LAYERS • 2" HORIZONTAL S.S. COLD FORMED Z-FURRING COORDINATED WITH FASTENERS AT APPROXIMATELY 24" O.C. VERTICAL SPACING • FACE FASTENED VERTICAL GALVANIZED STEEL PANELS
<p>--- INDICATES AV BARRIER, VAPOR BARRIER, WATERPROOFING --- INDICATES AV BARRIER TRANSITION MEMBRANE</p> <p>NOTE ON MINERAL FIBER BOARD INSULATION: 2" REAR LAYER, 2" FRONT LAYER, INSULATION LAYERS ROTATED 90 DEGREES, JOINTS STAGGERED IN BOTH DIRECTIONS</p>	

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CITY MARKET
SOUTHEND

Burlington,
Vermont

PROJECT NO: **A1536.00**

DATE: 01/04/15

SCALE: As Indicated

AC BL

Architectural Design: 02/12/2015
Design Development: 04/15/2015
Permit Plans: 04/22/2015

WALL SECTIONS

A310

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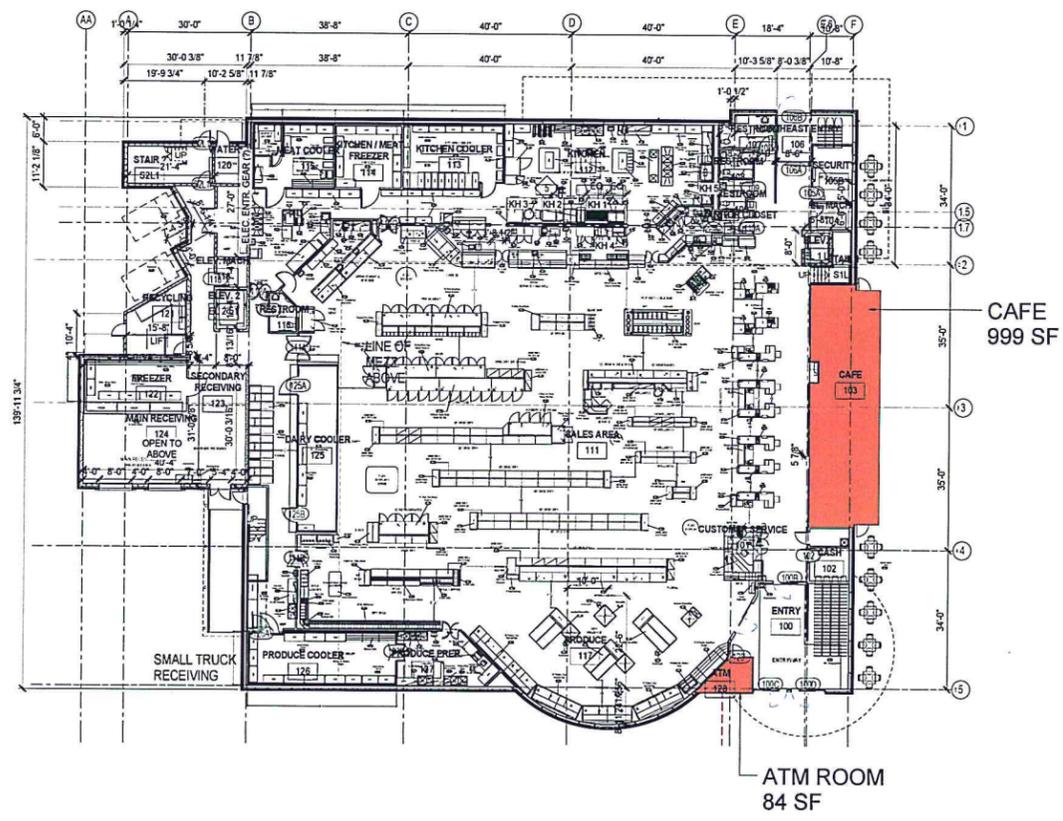
CITY MARKET
SOUTHEND

Burlington,
Vermont

PROJECT NO: A1536.00	
DATE: 07/29/16	SCALE: 1/16" = 1'-0"
BY: BXL	CHECKED BY: BXL
DESIGNED BY: Burlington Design	DATE: 02/12/2015
DESIGN DEVELOPMENT BY: Design Development	DATE: 04/15/2015
PERMIT PLAN BY: Permit Plan	DATE: 04/22/2015
PERMIT PLAN BY: Permit Plan	DATE: 04/17/2015
PERMIT PLAN BY: Permit Plan	DATE: 07/29/2015

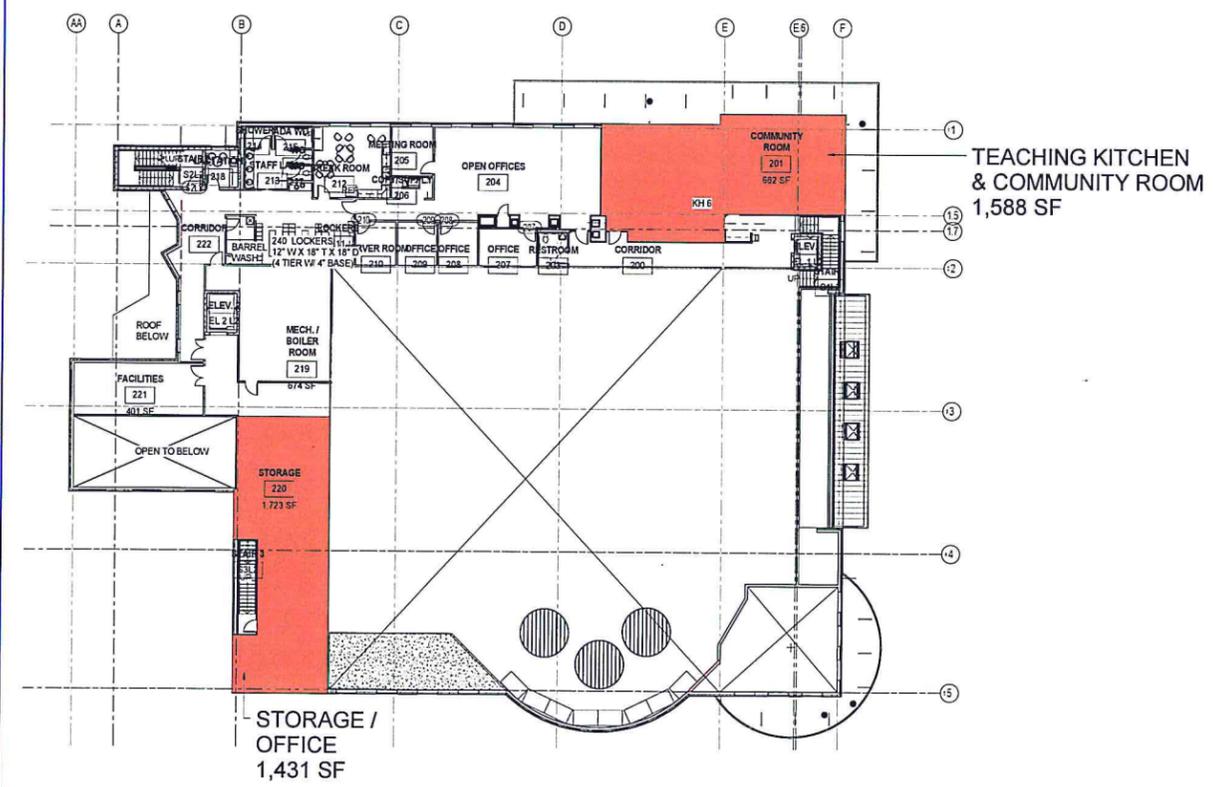
ACCESSORY
AREAS

G300



SUMMARY:	
CAFE:	999 SF
ATM:	84 SF
COMM. ROOM:	1,588 SF
STOR/OFFICE:	1,431 SF
TOTAL:	4,102 SF

1 LEVEL 1 ACCESSORY AREAS
G300 SCALE: 1/16" = 1'-0"



2 MEZZANINE ACCESSORY AREAS
G300 SCALE: 1/16" = 1'-0"

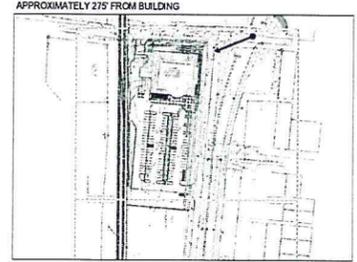
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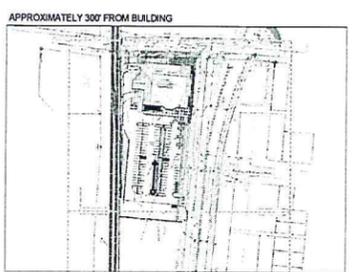
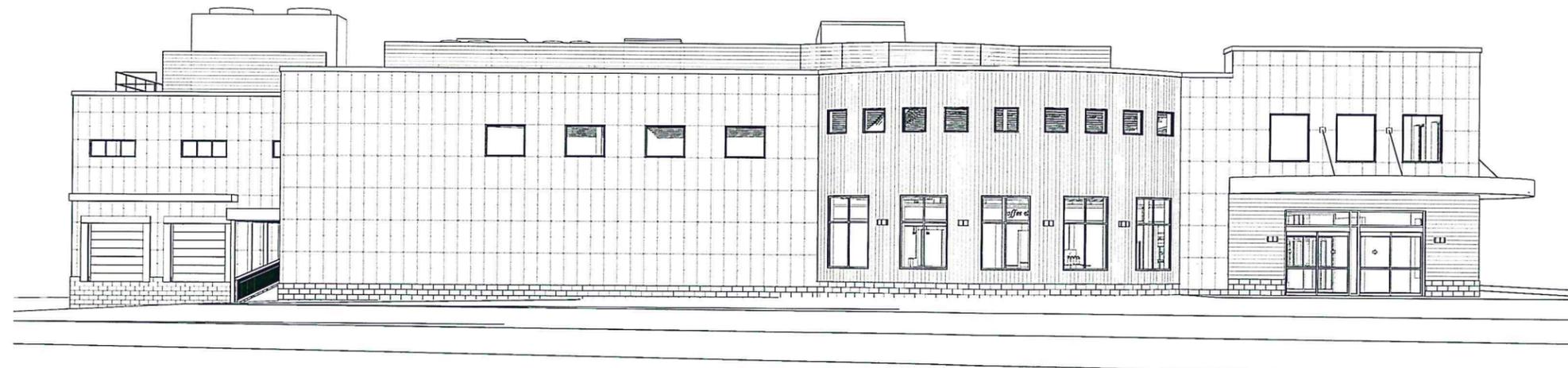
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AUG 01 2016



NOTE: PERSPECTIVES FOR REFERENCE ONLY

1 VIEW FROM PARKWAY AND FLYNN
SCALE:



NOTE: PERSPECTIVES FOR REFERENCE ONLY

2 VIEW FROM PARKING LOT
SCALE:

CITY MARKET
SOUTH END

Burlington,
Vermont

A1536.00

03/30/16

JW BL

Architect's Design 02/12/2015
Design Development 04/15/2015
Permit Plans 04/22/2015
Permit Plans 04/27/2015

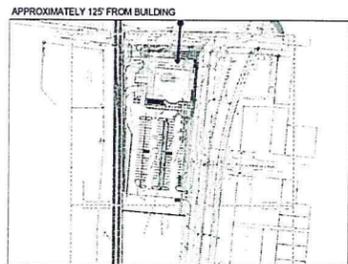
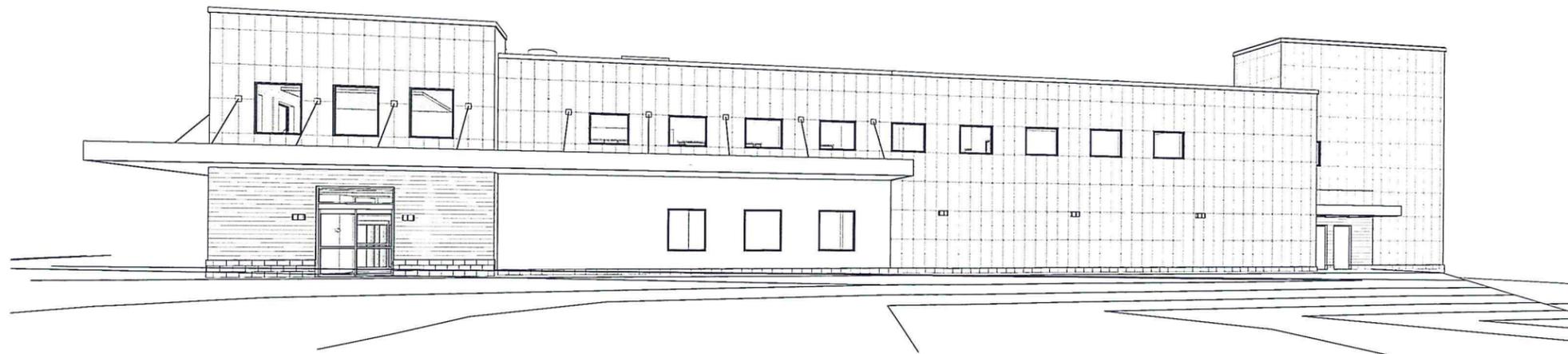
PERSPECTIVE
VIEWS

G401



NOTE: PERSPECTIVES FOR REFERENCE ONLY

1 VIEW FROM NEAREST FERGUSON RESIDENCE
SCALE:



NOTE: PERSPECTIVES FOR REFERENCE ONLY

2 VIEW FROM ACROSS FLYNN AVENUE
SCALE:

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CITY MARKET
SOUTHEND

Burlington,
Vermont

A1536.00

04/21/16

Author Checker

Schematic Design	02/15/2016
Design Development	04/15/2016
Permit Plans	04/22/2016
Permit Plans	04/27/2016

PERSPECTIVE
VIEWS

G402



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CITY MARKET
SOUTH END

Burlington,
Vermont

PROJECT NO:
A1536.00

DATE:
04/21/16

AUTHOR:
Author

CHECKER:
Checker

SCHEDULED DESIGN: 02/23/2016

DESIGN DEVELOPMENT: 04/14/2016

PERMIT PLAN: 04/22/2016

COLOR
PERSPECTIVE

G500

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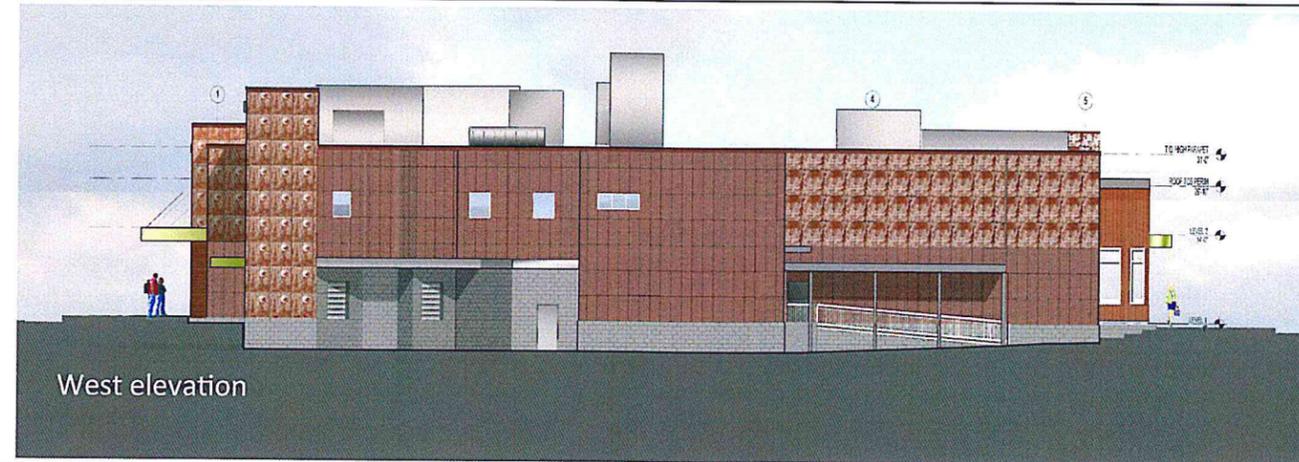
North Elevation



EAST ELEVATION
119' x 132'



South Elevation



West elevation

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PLANNING & ZONING
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CITY MARKET
SOUTH END

Burlington,
Vermont

A1536.00

04/21/15

Author Checker

02/22/2015

04/21/2015

04/22/2015

COLOR
ELEVATIONS

G501

- Reference Plats & Maps -

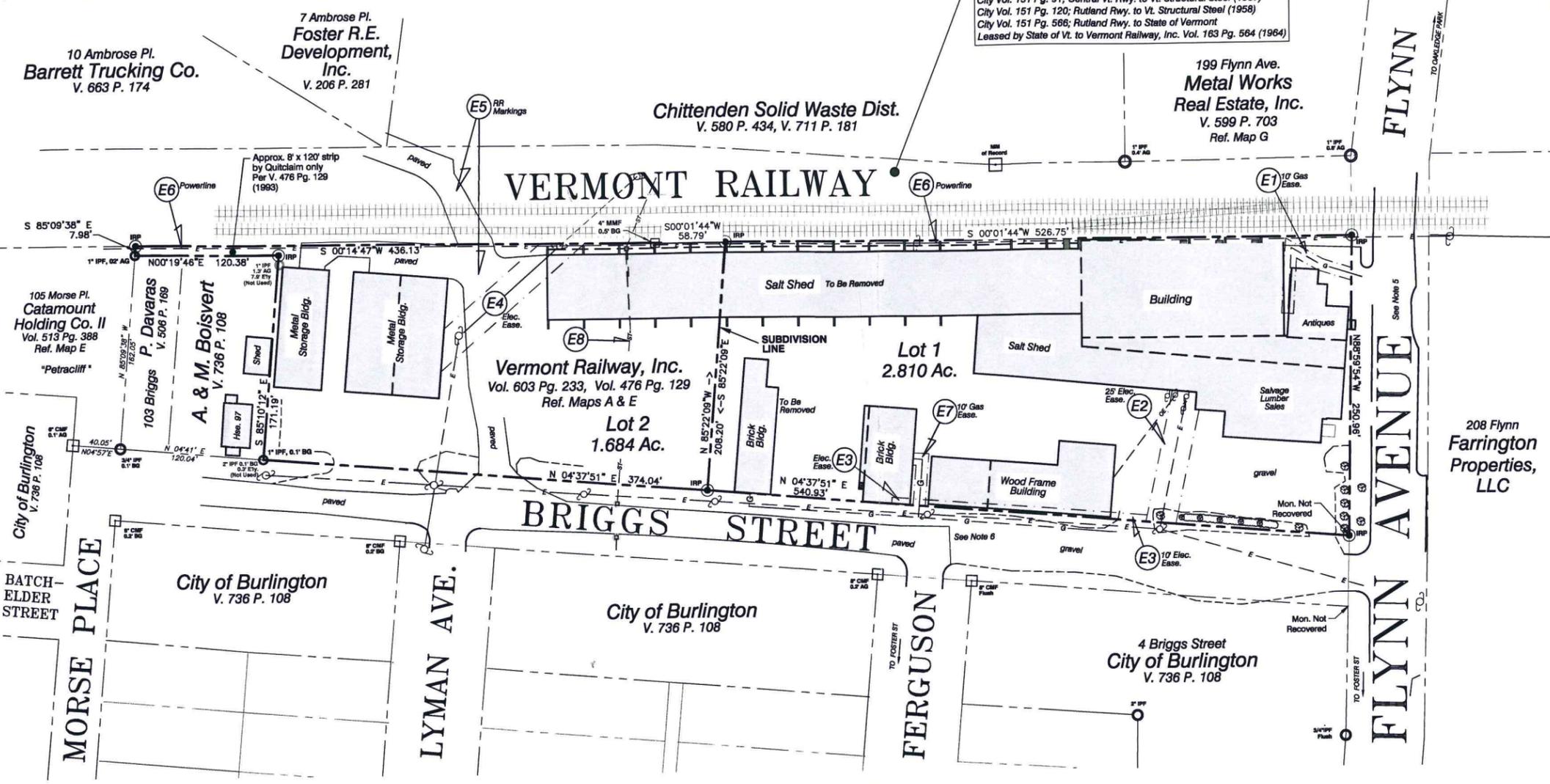
- A. "Ferguson & Scarff's Addition to Burlington, VT" dated January 1891 by A. Row, C.E. City Volume 28, Page 286.
- B. "Location Plans of the Rutland Railroad - Volume 1", circa 1893. State of Vermont Archives.
- C. "Right of Way & Track Map(s) - Rutland Railroad ...", Sheet V2-121, re-dated Jan. 1, 1964. Not of Record.
- D. "Central Vermont Railway, Inc Land Sold to Vt. Structural Steel Corp." dated July 25, 1957. City Volume 148, Page 566.
- E. "Vermont Structural Steel - Subdivision on Briggs Street", dated March, 1988 by F.C. Koerner, C.E. City Plat Slide 193-E.
- F. "Burlington Electric Department - Change from Primary Service - Cliffside Leasing Co. ...", dated May 10 & July 7, 1993 by Burlington Electric Department. City Plat Slides 268-B&C.
- G. "Final Plat - Two Lot Subdivision - Property of Cliffside Leasing Co.", last revised dated October 26, 1994 by Civil Engineering Associates, Inc. City Plat Slide 286-D.
- H. "R.O.W. Plan for Signage & Striping - Salt Crossing, Burlington, Private Drive" last revised March 13, 2000 by Systra Consulting. City Plat Slide 34-B.

- Legend of Symbols -

- SUBJECT PROPERTY LINE
- - - OTHER PROPERTY LINE (APPROX.)
- IRON ROD/PIPE FOUND
- MARBLE / CONC. MONUMENT FOUND
- IRON ROD PROPOSED
- (E6) EASEMENT NOTE NUMBER
- UTILITY POLE & GUY ANCHOR
- E ELECTRIC
- W WATER LINE (APPRX.)
- G GAS LINE (APPRX.)
- ST STORM DRAIN (APPRX.)



- Location Map -
NOT TO SCALE

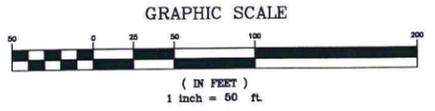


- Survey Notes -

1. Purposes of this survey and plat are to, a.) retrace and document the existing boundaries of a parcel of land conveyed to Cliffside Leasing Company (now Vermont Railway, Inc.) by deed of Howard Bank, N.A. dated March 19, 1993 and recorded in Volume 476 at Page 129 of the City of Burlington Land Records; and b.) to subdivide the subject parcel into two (2) lots as shown.
2. The subject property is a portion of lands depicted on Reference Map A (Ferguson & Scarff's Addition) plus lands Quitclaimed by the Rutland Railroad and Central Vermont Railway, Inc.
3. Field survey was conducted during December 2015 and consisted of a closed-loop traverse conducted with an electronic total station instrument. Bearings shown are from Grid North, Vermont Coordinate System of 1983, derived from GPS (OPUS) observations (NAD 83 (2011)) on or adjacent to the site.
4. Iron pipes found are described hereon with inside diameters; iron rods with outside diameters. Proposed markers shall consist of either 3/4" rebar or 4" square concrete monuments with aluminum disks stamped "Civil Engineering Assocs. - VT LS 597".
5. Flynn Avenue is a public right-of-way with a nominal width of 66 feet. It was formerly known as "Park Avenue" per Reference Highway Vol. 2, page 128. Prior to 1881 it was called "Proctor Street" per Reference Highway Vol. 2, page 129.
6. Briggs Street is a public right-of-way with a nominal width of 60 feet per Reference Highway Vol. 2, page 130 (circa 1891). See also Reference Map A.
7. Utilities shown hereon do not purport to constitute or represent ALL utilities located upon or adjacent to the surveyed premises.

- Easement Notes -

- E.1. Gas line easement(s) serving Vermont Gas Systems, Inc. (VGS). Ten feet wide, centered on lines as installed, from Flynn Avenue to 207 Flynn Ave. Volume 502 Page 176 (12/01/1993). APPROX. ONLY
- E.2. Power line easement, 25 feet wide, serving Burlington Electric Department (BED) for line running approximately 112 feet westerly from Briggs Street to "structural shop", per Reference Map F.
- E.3. Power line easement, 5 feet wide X 215 feet long, serving Burlington Electric Department (BED) for line running along westerly side of Briggs Street per Reference Map F.
- E.4. Power line easement, 25 feet wide, serving Burlington Electric Department (BED) for line running approximately 140' southwestly from railway R.O.W. to "truss shop" per Reference Map F.
- E.5. Easement to State of Vermont for signs, markings, etc., related to Transportation Project "Burlington-Charlotte Passenger Rail" per Volume 663 Page 180 (June 20, 2000).
- E.6. No record of easement was found recorded for the power transmission line of Green Mountain Power Corp. (GMP).
- E.7. Gas line easement(s) serving Vermont Gas Systems, Inc. (VGS). Ten feet wide, centered on line(s) as installed, from Briggs Street to buildings across from Ferguson Ave. Volume 502 Page 174 (12/01/1993). APPROX. ONLY
- E.8. Existing storm drain(s) run from Briggs Street, through Lot 2 and beneath railway. No record of easement found.



RECEIVED FOR RECORDING IN THE LAND RECORDS OF THE CITY OF BURLINGTON, VERMONT, AT _____ O'CLOCK ON THE DAY OF _____, 20____.

ATTEST: _____, CITY CLERK

APPROVED BY RESOLUTION OF THE DEVELOPMENT REVIEW BOARD OF THE CITY OF BURLINGTON, VERMONT, ON THE DAY OF _____, 20____, SUBJECT TO THE REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. SIGNED THIS _____ DAY OF _____, 20____.

BY _____, CHAIRPERSON

SURVEYORS:

CIVIL ENGINEERING ASSOCIATES, INC.
10 MANSFIELD VIEW LANE, SOUTH BURLINGTON, VT 05403
802-864-2323 FAX: 802-864-2271 web: www.caa-vt.com
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DRAWN	CEA	
CHECKED	TRC	
APPROVED	TRC	
DATE	CH'CK'D.	REVISION
04.21.16	TRC	ALTER EASEMENT NOTE 8

PLAT of SUBDIVISION
City Market South End
207 Flynn Avenue
City of Burlington, Vermont

DATE: Feb. 25, 2016
ORIGINAL SCALE: 1" = 50'
PROJ. NO.: 15253
DRAWING NUMBER: **P1**
SHEET 1 of 1

RECEIVED
APR 22 2016
DEPARTMENT OF PLANNING & ZONING