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JAN 28 2016

DEPARTMENT OF
PLANNING & ZONING

January 28, 2016

Scott Gustin, AICP, CFM
Interim Zoning Administrator
Dept. of Planning & Zoning
149 Church Street
Burlington, VT 05401

Re: Elizabeth's Place, 20 Fletcher Place
Burlington, VT

Dear Scott:

We are writing on behalf of our client, Martha Lang, DBA Wiltshire Properties, LLC, to request approval of the attached Boundary Line Adjustments and Site Plan Applications. This proposed project involves boundary line adjustments between 20 Fletcher Place, 128 Colchester Avenue and 132 Colchester Avenue, all owned by Wiltshire Properties, LLC. At this point, Wiltshire's other properties are not involved. This project is intended to continue the infill along Fletcher Place, and to provide some much-needed residential units along the existing transit routes in the City, and in close proximity to the two largest institutions in the City.

The boundary line adjustments are proposed to result in 1,061 s.f. being transferred from 128 CA (Colchester Avenue) to 20 FP (Fletcher Place), 2,505 s.f. being transferred from 132 CA to 20 FP and 1,166 s.f. being transferred from 132 CA to 128 CA. The results of these adjustments will be that 20 FP increases from 8,746 s.f. to 12,312 s.f., 128 CA increasing from 7,245 s.f. to 7,350 s.f. and 132 CA decreasing from 8,349 s.f. to 4,678 s.f. These proposed adjustments are shown on the Boundary Line Adjustment Plat attached hereto. As you noted in your e-mail to me of January 18, 2016, these boundary line adjustments trigger a Level III Certificate of Appropriateness (COA).

The site plan depicts a new 3 unit residential building proposed to be constructed in the space between the existing single family dwelling on 20 FP and the gravel parking area serving 128 CA. The building is proposed to be a three story building with a gabled roof, similar in architectural style to those on the surrounding properties. As you noted in your e-mail to me of January 18, 2016, the three unit building is a Conditional Use, and as such triggers a Level II Certificate of Appropriateness (COA). Associated with this new building, in addition to serving the existing building on 20 FP, a new driveway and four-space parking area is proposed. In accordance with Table 8.1.8-1 of the City of Burlington Comprehensive Development Ordinance (CDO), one of the four new spaces will serve as the second parking space required by the single family dwelling on 20 FP, with the other three meeting the requirement of one space per unit for the new building.

Following discussions with Megan Moir on January 13, 2016, we propose to construct the new drive and parking with pervious asphalt to encourage infiltration and reduce runoff. This drive will slope very gradually toward Fletcher Place. In times of intense storms, shallow grass swales lead between the drive and the buildings toward a small detention / infiltration area in the

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existing low point at the rear of the property. This area will have a 4" overflow pipe leading to the existing storm sewer pipe running down the westerly edge of Fletcher Place. This overflow pipe will also serve as a method of dewatering the base of the pervious concrete drive. The intention of this basin is to provide storage of the water quality volume for the project, as well as reduce the volume of stormwater currently flowing off of this property onto the University of Vermont property to the north of this property.

A lighting plan is also included with this application. We have attempted to minimize the amount of light spilling off of the site by using all down-shielded lights, while at the same time providing needed illumination at the building entrances and toward the parking area.

As required by Article 3 of the CDO, and as per your email dated January 18, 2016, we have attached the following;

COA Level III – Boundary Line Adjustments –

One Zoning Permit Application and Completed Checklist for each of the three properties;
\$300 application fee (\$100 per lot);
Two (2) 18" x 24" copies of the Boundary Line Adjustment Plat
and one (1) 11" x 17" copy of the Boundary Line Adjustment Plat.

COA Level II – Site Plan – for 20 Fletcher Place

Zoning Permit Application;
Completed Level I and Level II checklists;
\$80 application fee for the Level I COA;
\$2,110 application fee for the Level II COA (\$ 110 base fee + \$2,000[\$2/\$1,000 x \$1,000,000 estimated construction cost]);
\$150 application fee for the Conditional Use;
One (1) 24" x 36" set of the project plans
and one (1) 11" x 17" set of the project plans.

Please feel free to contact me if you have any questions.

Sincerely,


Doug Henson, L.S., E.I.

Cc Martha Lang

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THE CONTRACTOR SHALL NOTIFY 'DIGSAFE' PRIOR TO ANY EXCAVATION

LEGEND

- EXISTING PROJECT BOUNDARY
- ABUTTING PROPERTY LINE
- BUILDING SETBACK
- - - 316 EXISTING GROUND CONTOUR
- A,E&T - EXISTING UTILITY POLE AND OVERHEAD WIRE
- S - EXISTING SEWER LINE
- W - EXISTING WATER LINE
- O - EXISTING CHAIN LINK FENCE
- IPF IRON PIPE FOUND
- IBF IRON BAR FOUND
- CMF CONCRETE MONUMENT FOUND
- GMF GRANITE MONUMENT FOUND
- MMF MARBLE MONUMENT FOUND

PROJECT STATISTICS

ZONING DISTRICT - INSTITUTIONAL

DIMENSIONAL REQUIREMENTS	REQUIRED	EXISTING		
MAXIMUM DENSITY	20 DU/ ACRE	20 FLETCHER PLACE 8,746 SF (4 MAX)	128 COLCHESTER AVE. 7,350 SF (3.3 MAX)	132 COLCHESTER AVE. 8,349 SF (3.6 MAX)
MINIMUM FRONT SETBACK	15 FT MIN (AVG. OF 2 NEIGHBORING LOTS)	8 FT	6 FT	4.6 FT
MINIMUM SIDE SETBACK	5 - 20 FT (10% OF LOT WIDTH)	5.3 FT	1.9 FT	2.6 FT
MINIMUM REAR SETBACK	20 - 75 FT (25% OF LOT DEPTH)	32.6 FT	82 FT	95 FT
MAXIMUM COVERAGE	40%	20.0% (1,757 SF)	39.9% (2,935 SF)	17.6% (1,470 SF)

EXISTING USES - SINGLE AND MULTI FAMILY RESIDENTIAL

UTILITIES:
WATER/WASTEWATER - MUNICIPAL SERVICES.

EXISTING PARKING

20 FLETCHER PLACE	2 SPACES PER ZP 12-0868FC
128 COLCHESTER AVE.	8 SPACES PER 1-3-98 APPROVAL
132 COLCHESTER AVE.	2 SPACES

SHEET INDEX

- 1 EXISTING CONDITIONS SITE PLAN
- 2 OVERALL SITE PLAN
- 3 20 FLETCHER PLACE PROPOSED SITE AND UTILITY PLAN
- 4 GRADING PLAN
- 5 LANDSCAPING PLAN
- 6 LIGHTING PLAN
- 7 WATER, STORMWATER & SITE DETAILS AND SPECIFICATIONS
- 8 SEWER, LANDSCAPING & EROSION CONTROL DETAILS AND SPECIFICATIONS

OWNER/APPLICANT

WILTSHIRE PROPERTIES, LLC
c/o MARTHA LANG, Ph.D.
138 COLCHESTER AVENUE
BURLINGTON, VT 05401

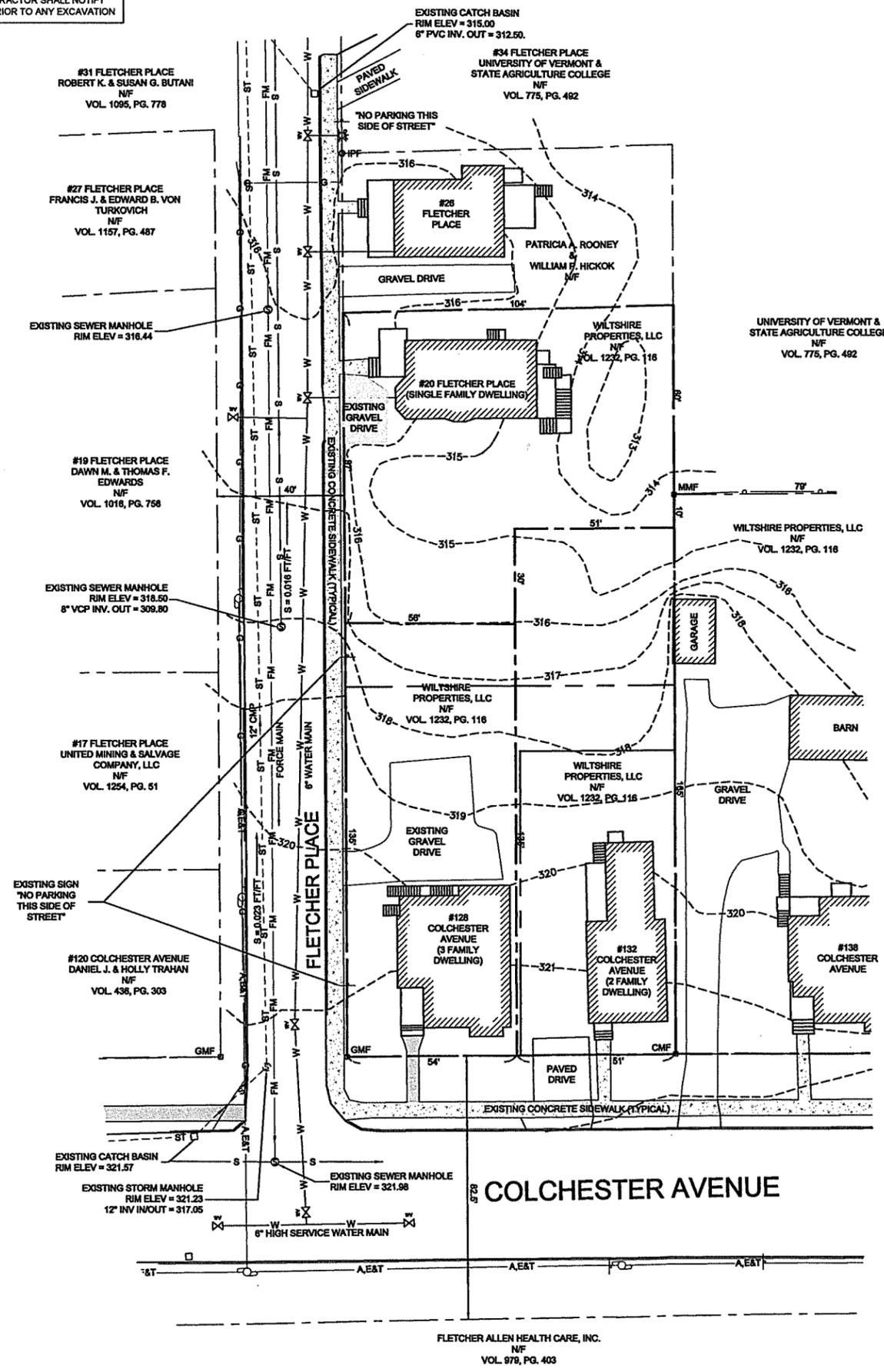
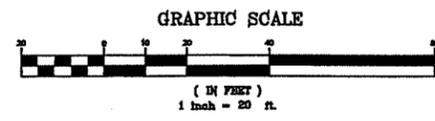
NOTES

1. THIS IS A SITE PLAN ONLY AND IS NOT INTENDED TO BE USED FOR PROPERTY CONVEYANCES. SEE A PLAN ENTITLED 'A PORTION OF LANDS OF WILTSHIRE PROPERTIES, LLC, 20 FLETCHER PLACE, 128 AND 132 COLCHESTER AVENUE, BOUNDARY LINE ADJUSTMENT PLAN' FOR A SURVEY OF THE PROPERTY.
2. THE SOILS ON THIS PROPERTY ARE A COMBINATION OF ADAMS AND WINDSOR LOAMY SANDS AND GEORGIA STONY LOAM SOILS.

Date	Revision	By
These plans shall only be used for the purpose shown below:		
<input checked="" type="checkbox"/> Sketch/Concept	<input type="checkbox"/> Act 250 Review	
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction	
<input type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing	
LANDS OF WILTSHIRE PROPERTIES, LLC.		Project No. 15141
ELIZABETH'S PLACE		Survey KMR
20 FLETCHER PL., 128 & 132 COLCHESTER AVE. BURLINGTON, VT 05403		Design DLH
EXISTING CONDITIONS SITE PLAN		Drawn DLH
		Checked DJG
		Date 12-7-15
		Scale AS NOTED
		Sheet number 1



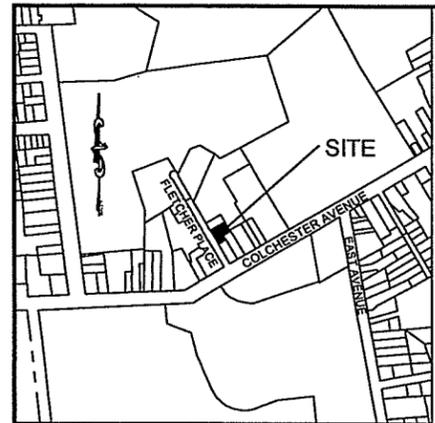
LOCATION PLAN
NTS



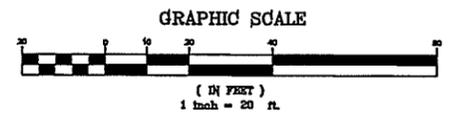
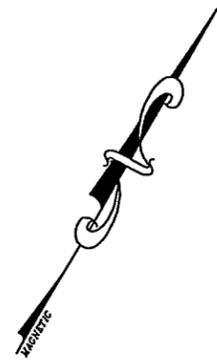
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LOCATION PLAN
NTS



THE CONTRACTOR SHALL NOTIFY
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#31 FLETCHER PLACE
ROBERT K. & SUSAN G. BUTANI
N/F
VOL. 1095, PG. 778

#27 FLETCHER PLACE
FRANCIS J. & EDWARD B. VON
TURKOVICH
N/F
VOL. 1157, PG. 487

#19 FLETCHER PLACE
DAWN M. & THOMAS F.
EDWARDS
N/F
VOL. 1016, PG. 758

#17 FLETCHER PLACE
UNITED MINING & SALVAGE
COMPANY, LLC
N/F
VOL. 1254, PG. 51

#120 COLCHESTER AVENUE
DANIEL J. & HOLLY TRAHAN
N/F
VOL. 438, PG. 303

#34 FLETCHER PLACE
UNIVERSITY OF VERMONT &
STATE AGRICULTURE COLLEGE
N/F
VOL. 775, PG. 492

PATRICIA A. ROONEY
&
WILLIAM P. HICKOK
N/F

WILTSHIRE
PROPERTIES, LLC
N/F
VOL. 1232, PG. 118

UNIVERSITY OF VERMONT &
STATE AGRICULTURE COLLEGE
N/F
VOL. 775, PG. 492

WILTSHIRE PROPERTIES, LLC
N/F
VOL. 1232, PG. 118

WILTSHIRE
PROPERTIES, LLC
N/F
VOL. 1232, PG. 118

WILTSHIRE
PROPERTIES, LLC
N/F
VOL. 1232, PG. 118

EXISTING SIGN
"NO PARKING
THIS SIDE OF
STREET"

FLETCHER PLACE

COLCHESTER AVENUE

FLETCHER ALLEN HEALTH CARE, INC.
N/F
VOL. 979, PG. 403

LEGEND

- EXISTING PROJECT BOUNDARY
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- MMF MARBLE MONUMENT FOUND

PROJECT STATISTICS

ZONING DISTRICT - INSTITUTIONAL

DIMENSIONAL REQUIREMENTS:	REQUIRED	PROPOSED		
		20 FLETCHER PLACE	128 COLCHESTER AVE.	132 COLCHESTER AVE.
LOT SIZE	N/A	12,312 SF	7,350 SF	4,878 SF
MAXIMUM DENSITY	20 DU/ACRE	14 DU/ACRE	17.7 DU/ACRE	19 DU/ACRE
MINIMUM FRONT SETBACK	15 FT MIN.(AVG. OF 2 NEIGHBORING LOTS)*	8 FT (EXISTING)	6 FT (EXISTING)	4.6 FT (EXISTING)
MINIMUM SIDE SETBACK	5 - 20 FT (10% OF LOT WIDTH)	5.3 FT (EXISTING)	1.9 FT (EXISTING)	2.6 FT (EXISTING)
MINIMUM REAR SETBACK	20 - 75 FT (25% OF LOT DEPTH)	32.6 FT (28' REQ'D)	63 FT (28' REQ'D)	25 FT (24' REQ'D)
MAXIMUM COVERAGE	40%	39.4% (4,847 SF)	39.9% (2,935 SF)	31.4% (1,470 SF)

*WHICHEVER IS LESS

EXISTING USES - SINGLE AND MULTI FAMILY RESIDENTIAL

UTILITIES:
WATER/WASTEWATER - MUNICIPAL SERVICES.

EXISTING PARKING

20 FLETCHER PLACE	2 SPACES PER ZP 12-0868FC
128 COLCHESTER AVE.	8 SPACES PER 1-3-98 APPROVAL
132 COLCHESTER AVE.	2 SPACES

OWNER/APPLICANT

WILTSHIRE PROPERTIES, LLC
c/o MARTHA LANG, Ph.D.
138 COLCHESTER AVENUE
BURLINGTON, VT 05401

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LANDS OF WILTSHIRE PROPERTIES, LLC.		Project No. 15141
ELIZABETH'S PLACE		Survey KMR
20 FLETCHER PL., 128 & 132 COLCHESTER AVE. BURLINGTON, VT 05403		Design DLH
OVERALL SITE PLAN		Drawn DLH
		Checked DJG
		Date 12-7-15
		Scale AS NOTED
Lamoureux & Dickinson Consulting Engineers, Inc. 14 Morse Drive, Essex, VT 05452 802-878-4450 www.LDengineering.com		Sheet number 2

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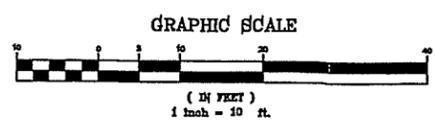
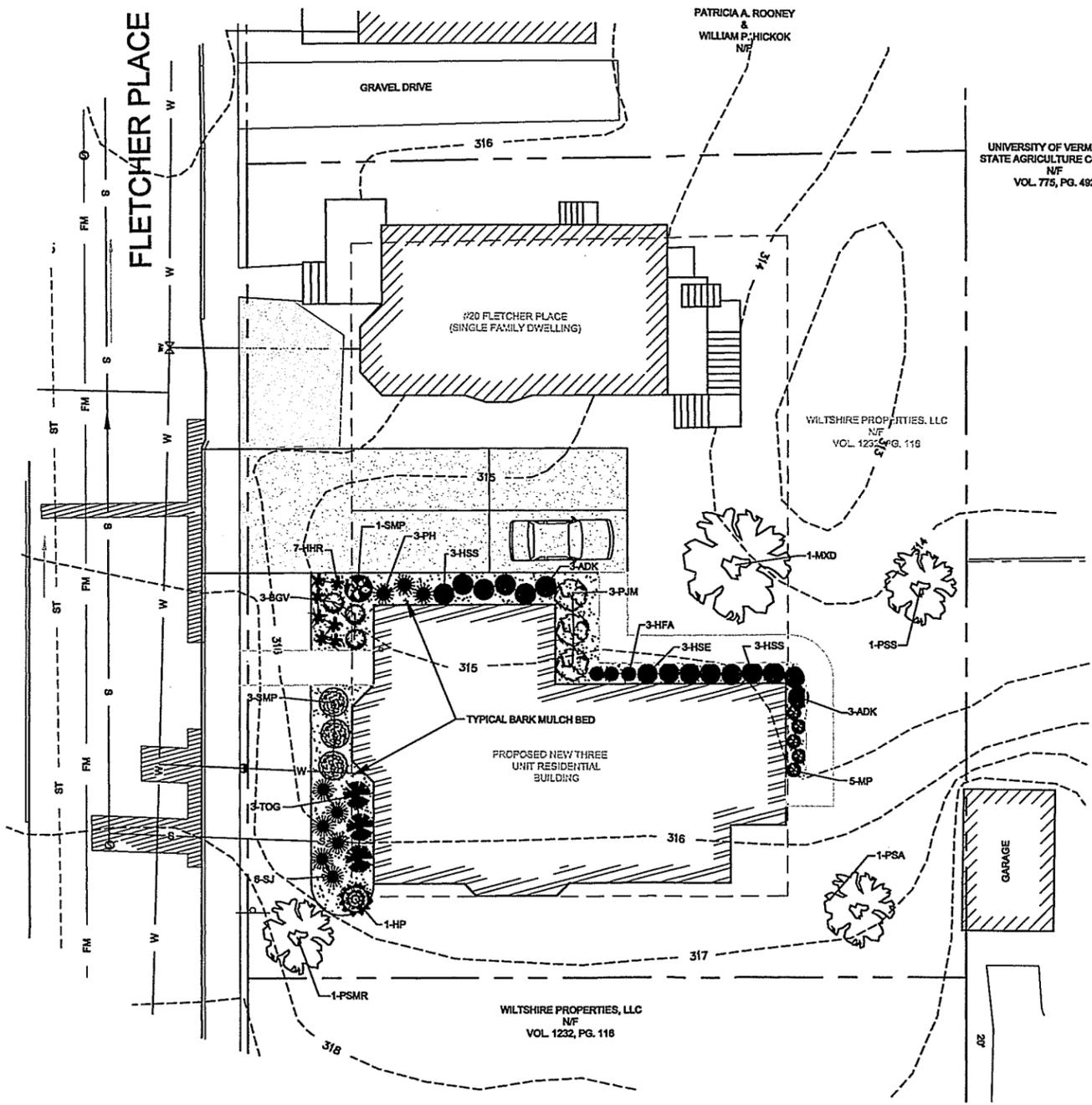


LEGEND

	EXISTING PROJECT BOUNDARY
	ABUTTING PROPERTY LINE
	BUILDING SETBACK
	EXISTING GROUND CONTOUR
	EXISTING UTILITY POLE AND OVERHEAD WIRE
	EXISTING SEWER LINE
	EXISTING WATER LINE

PLANTING SCHEDULE

Count	ID	Common Name	Item Description	Unit	Height	Spread
Trees						
1	MXD	Fireside Apple	Malus x domestica 'Fireside'	5-7 gal	12-15 ft	14 ft
1	PSMR	Mt Royal European Plum	Prunus spp. 'Mt Royal'	5-7 gal	10-12 ft	>12 ft
1	PSA	Anjou Pear	Pyrus spp. 'Anjou'	5-7 gal	10-12 ft	>12 ft
1	FSS	Seckel Pear	Pyrus spp. 'Seckel'	5-7 gal	10-12 ft	>12 ft
Shrubs						
3	BGV	Green Velvet Boxwood	Buxus 'Green Velvet' (COPF)	3 gal	3-5 ft.	36 in. - 4 ft.
1	HP	Pinky Winky™ Hardy Hydrangea	Hydrangea paniculata 'DVPpinky'	3 gal	4-7 ft.	4-7 ft.
3	PJM	PJM Rhododendron	Rhododendron 'PJM'	3 gal	3-5 ft	4-7 ft.
6	SJ	Neon Flash Spiraea	Spiraea japonica 'Neon Flash'	2-3 gal	30 in. - 3 ft.	24 - 36ft.
4	SMP	Dwarf Korean Lilac	Syringa meyeri 'Palibin'	2-3 gal	3-5 ft.	4-7ft.
3	TOG	Globe Arborvitae	Thuja occidentalis 'Globosa'	2 gal	3-5 ft	4-7ft.
Herbaceous						
6	ADK	Kneiffi Goat's Beard	Anuncus dioiclus 'Kneiffi'	#2	30 in - 3 ft	24 - 36in
7	HHR	Happy Returns Daylily	Hemeroallis 'Happy Returns'	#1	12 - 18 in	<= 12in
3	HFA	Variegated Plantain Lily	Hosta fortunei 'Albomarginata'	#2		
3	HSE	Sieboldiana Elegans Plantain Lily	Hosta sieboldiana 'Elegans'	#2		
6	HSS	Sum & Substance Hosta	Hosta x 'Sum & Substance'	#2	24 - 30 in.	4-7 ft.
5	MIP	Ostrich Fern	Matteuccia pennsylvanica	#1	30 in - 3 ft	12 - 24 in
3	PH	Cottage Mix Peony	Paeonia hybrids	#2	24 - 30 in	24 - 36 ft.



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ELIZABETH'S PLACE		Survey KMR
20 FLETCHER PL., 128 & 132 COLCHESTER AVE. BURLINGTON, VT 05403		Design DLH
LANDSCAPING PLAN		Drawn DLH
		Checked DJG
		Date 12-7-15
		Scale AS NOTED
		Sheet number 5

LANDSCAPE DESIGN BY:

Ginkgo Design, LLC
Smart Landscape Solutions

22 Pearl Street
Essex, VT 05453
(802) 857-5104

Designed by: David Duran, VCI
Vermont Certified Horticulturist
www.GinkgoDesignVT.com

L Lamoureux & Dickinson
Consulting Engineers, Inc.

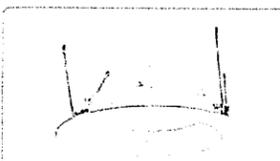
14 Morse Drive, Essex, VT 05452
802-878-4450 www.LDengineering.com

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DLED6R12YY



Project:	Type:
Prepared By:	Date:

Driver Info	LED Info
Type: 12V	Power: 12W
12V: 0.15A	Color Temp: 2700K
20V: 0.08A	Color Accuracy: 84 CRI
24V: 0.07A	L70 L80: 100,000
27V: 0.06A	Lumens: 1312
Input Power: 12W	Efficiency: 91 LM/W
Efficiency: 94%	

LED recessed down lights are perfect for creating ambient lighting in a wide variety of applications. Recessed into 120V.

Color: Warm White Weight: 4.8 lbs

Technical Specifications

UL Listing: 100,000 hour LED lifetime based on ENEC LM-80 results and TM-21 recalculation.

IESNA LM-79 & LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80 and have received the Department of Energy Lighting Facts label.

Construction: IP Rating: IP65 (Indoor and outdoor)

Warranty: 5-year limited warranty

SLIM12N



Project:	Type:
Prepared By:	Date:

Driver Info	LED Info
Type: 12V	Power: 12W
12V: 0.15A	Color Temp: 4000K (Neutral)
20V: 0.08A	Color Accuracy: 84 CRI
24V: 0.07A	L70 L80: 100,000
27V: 0.06A	Lumens: 1312
Input Power: 12W	Efficiency: 99 LM/W
Efficiency: 94%	

12, 18 and 24 inch SLIM wallpacks are with 1/2 inch and 1 inch recessed light distribution with a compact and precise design that is superior to most recessed lighting designs.

Color: Neutral Weight: 4.8 lbs

Technical Specifications

UL Listing: 100,000 hour LED lifetime based on ENEC LM-80 results and TM-21 recalculation.

IESNA LM-79 & LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80 and have received the Department of Energy Lighting Facts label.

Construction: IP Rating: IP65 (Indoor and outdoor)

Warranty: 5-year limited warranty

WBLED18N



Project:	Type:
Prepared By:	Date:

Driver Info	LED Info
Type: 12V	Power: 18W
12V: 0.15A	Color Temp: 2700K (Warm White)
20V: 0.08A	Color Accuracy: 84 CRI
24V: 0.07A	L70 L80: 100,000
27V: 0.06A	Lumens: 1800
Input Power: 18W	Efficiency: 83 LM/W
Efficiency: 81%	

18 inch LED wall sconce. Do not use with multi-pack. Do not use with other RAB products.

Color: Warm White Weight: 11 lbs

Technical Specifications

UL Listing: 100,000 hour LED lifetime based on ENEC LM-80 results and TM-21 recalculation.

IESNA LM-79 & LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80 and have received the Department of Energy Lighting Facts label.

Construction: IP Rating: IP65 (Indoor and outdoor)

Warranty: 5-year limited warranty

Legend

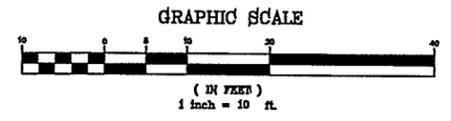
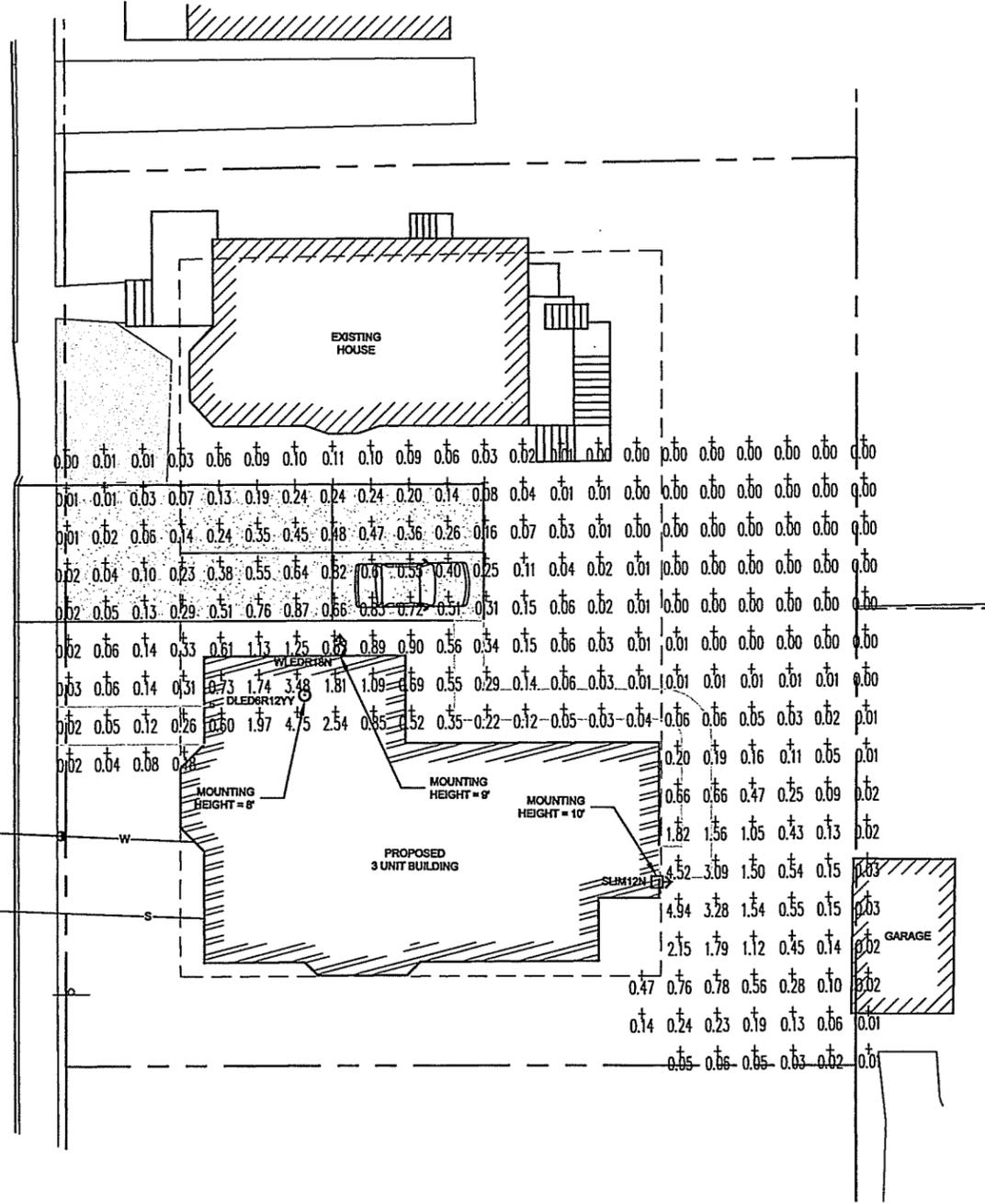
 PROPOSED LUMINAIRE
 PROPOSED LUMINAIRE
 PROPOSED LUMINAIRE
 LIGHTING LEVEL (FOOT-CANDLES)

LIGHTING SUMMARY TABLE	
LUMINAIRES:	RAB DLED6R12YY RECESSED CAN LIGHT
	RAB WBLED18N WALL SCONCE
	RAB SLIM 12N WALLPACK
ZONING AREA:	INSTITUTIONAL
MOUNTING HEIGHT:	VARIABLE - SEE PLAN
MAX ILLUMINATION:	4.95 foot-candles
MIN ILLUMINATION:	0.05 foot-candles
AVG. ILLUMINATION:	0.85 foot-candles
UNIFORMITY RATIO (AVG/MIN):	17:1

LIGHTING LEVELS ARE BASED ON INTENDED ILLUMINATION AREAS ONLY AND ARE NOT REPRESENTATIVE OF THE ENTIRE LIGHTING GRID SHOWN ON THIS PLAN.

Date:	Revision:	By:
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LANDS OF WILTSHIRE PROPERTIES, LLC. ELIZABETH'S PLACE 20 FLETCHER PL., 128 & 132 COLCHESTER AVE. BURLINGTON VT 05403		Project No. 15141 Survey KMR Design DLH Drawn DLH Checked DJG Date 12-7-15 Scale AS NOTED Sheet number 6
LIGHTING PLAN		
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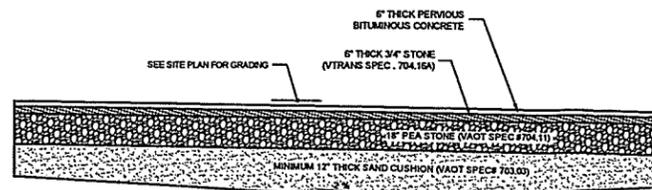
FLETCHER PLACE



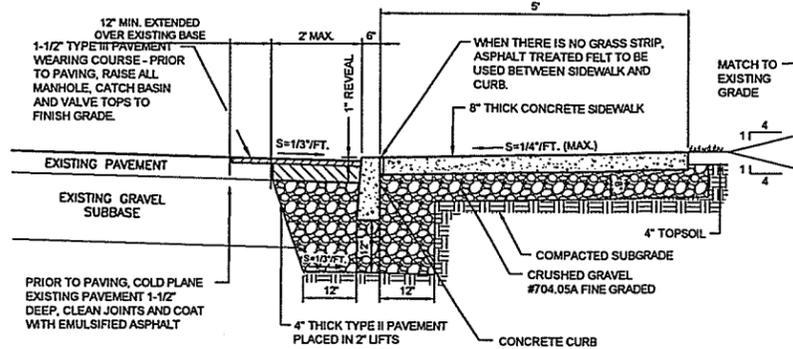
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GENERAL CONSTRUCTION NOTES

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST VERMONT AGENCY OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION 2006, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (2003 EDITION), THE CITY OF BURLINGTON PUBLIC WORKS SPECIFICATION REQUIREMENTS, AND THESE PLANS.
- THE CONTRACTOR SHALL CONTACT ALL UTILITIES BEFORE EXCAVATION TO VERIFY THE LOCATION OF ANY UNDERGROUND LINES. THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-344-7233 (1-888-DIG-SAFE).
- UTILITIES INFORMATION SHOWN HEREON WERE OBTAINED FROM BEST AVAILABLE SOURCES AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY, PUBLIC OR PRIVATE, SHOWN OR NOT SHOWN HEREON. THE CONTRACTOR SHALL CONNECT OR RECONNECT ALL UTILITIES TO THE NEAREST SOURCE THROUGH COORDINATION WITH UTILITY OWNERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING SURFACES, SOILS, VEGETATION, PAVEMENT AND STRUCTURES NECESSARY TO CONSTRUCT THE PROJECT UNLESS OTHERWISE NOTED ON THESE PLANS. THE CONTRACTOR SHALL REMOVE ALL EXCESS MATERIAL, DEBRIS AND TRASH FROM THE SITE UPON COMPLETION OF CONSTRUCTION, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE DUST CREATED AS A RESULT OF CONSTRUCTION DOES NOT CREATE A NUISANCE OR A SAFETY HAZARD. WHERE AND WHEN DEEMED NECESSARY BY THE ENGINEER OR OWNER, THE CONTRACTOR SHALL BE REQUIRED TO WET SECTIONS OF THE CONSTRUCTION AREA WITH WATER, APPLY CALCIUM CHLORIDE OR SWEEP ASPHALT ROADS WITH A POWER BROOM AS DUST CONTROL.
- ANY SURFACES, LINES, OR STRUCTURES WHICH HAVE BEEN DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THE CONDITION AT LEAST EQUAL TO THAT IN WHICH THEY WERE FOUND IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS.
- CONSTRUCTION OBSERVATION AND CERTIFICATION IS OFTEN REQUIRED AS A CONDITION OF STATE AND LOCAL PERMITS. IT IS RECOMMENDED THAT CONSTRUCTION OF THE IMPROVEMENTS DETAILED ON THESE PLANS BE OBSERVED BY LAMOUREUX & DICKINSON CONSULTING ENGINEERS INC. (L&D) TO DETERMINE IF THE WORK IS BEING PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. L&D WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS THAT MAY ARISE FROM FAILURE TO FOLLOW THESE PLANS AND SPECIFICATIONS AND THE DESIGN INTENT THAT THEY CONVEY. ANY CHANGES MADE IN THE PLANS AND SPECIFICATIONS OR IN THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS WITHOUT L&D'S PRIOR KNOWLEDGE AND CONSENT, AND/OR FAILURE TO SCHEDULE OBSERVATION OF THE WORK AND TESTING IN PROGRESS.
- FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY A MINIMUM OF ONE-WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES. CONTINUOUS TWO-WAY TRAFFIC WILL BE REQUIRED AT NIGHT, DURING PEAK HOURS, AND WHENEVER POSSIBLE DURING ACTUAL CONSTRUCTION ACTIVITIES. TEMPORARY CONSTRUCTION SIGNS AND TRAFFIC CONTROL SIGNS SHALL BE ERECTED BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND CITY STANDARDS.
- TO ASSURE COMPLIANCE WITH THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER 24 HOURS IN ADVANCE OF STARTING ANY WORK. BEGINNING INSTALLATION OF ANY UTILITIES, BRINGING IN ANY NEW GRAVEL FOR THE NEW PAVED AREAS, PAVING, AND FINAL INSPECTION.
- TOPSOIL SHALL BE STOCKPILED, SEEDED, AND MULCHED UNTIL REUSED. SILT FENCE SHALL BE PLACED AND STAKED CONTINUOUSLY AROUND THE DOWNSLOPE PERIMETER OF THE TOPSOIL PILES.
- HEALTHY EXISTING TREES AS SHOWN ON THE SITE PLAN TO BE SAVED SHALL BE PROTECTED BY THE CONTRACTOR.
- OPEN CUT AREAS SHALL BE MULCHED OUTSIDE OF ACTUAL WORK AREAS, AND SILT FENCE SHALL BE EMPLOYED TO CONFINE SHEET WASH AND RUNOFF TO THE IMMEDIATE OPEN AREA AS ORDERED BY THE ENGINEER.
- AT COMPLETION OF GRADING, SLOPES, DITCHES, AND ALL DISTURBED AREAS SHALL BE SMOOTH AND FREE OF POCKETS WITH SUFFICIENT SLOPE TO ENSURE DRAINAGE.
- ALL FILL SHALL BE PLACED IN 6 INCH LIFTS AND THOROUGHLY COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698 STANDARD PROCTOR, UNLESS OTHERWISE SPECIFIED.

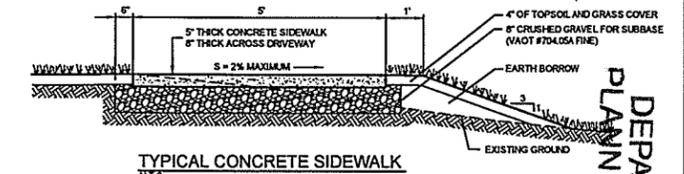


TYPICAL PERVIOUS DRIVE / PARKING AREA CROSS SECTION
N.T.S.

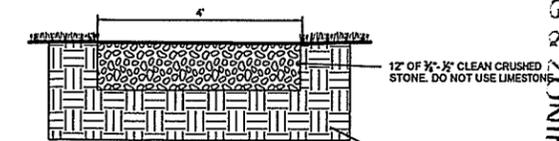


TYPICAL CONCRETE SIDEWALK WITH DEPRESSED CONCRETE CURB SECTION
N.T.S.

GRADATION REQUIREMENTS		
MATERIAL	SEIVE SIZE	PERCENT (%) PASSING
SAND BORROW AND CUSHION - VT SPEC 703.03	2"	100%
	1 1/2"	90-100%
	1/2"	70-100%
	#4	60-100%
	#200	0-20%
PEASTONE - VT SPEC 704.11	3/4"	100%
	#4	80 TO 100% 0-5%
DRAINAGE AGGREGATE VT SPEC 704.16A FINE	1"	100%
	3/4"	90-100%
	3/8"	20-55%
	#4	0-10%
CRUSHED GRAVEL FOR SUBBASE VT SPEC 704.05A-FINE	2"	100%
	1 1/2"	90-100%
	#4	30-60%
	#100	0-12%
DENSE GRADED CRUSHED STONE VT SPEC 704.06	3 1/2"	100%
	3"	90-100%
	1 1/2"	75-100%
	#4	30-60%
	#10	15-40%
	#200	0-8%



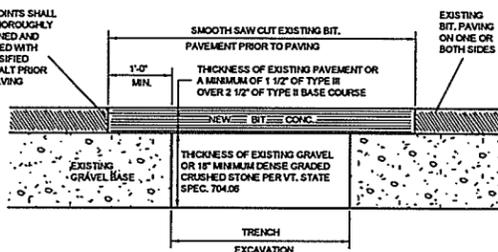
TYPICAL CONCRETE SIDEWALK
N.T.S.



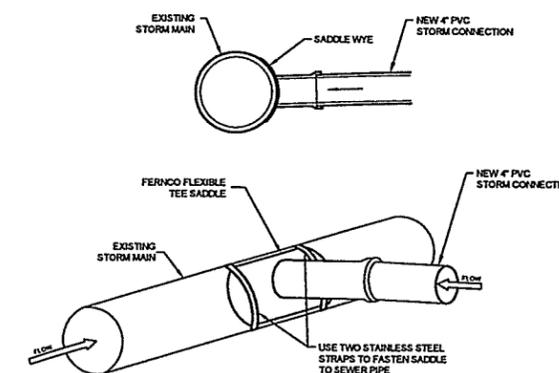
GRAVEL WALK SECTION
N.T.S.

WATER PIPING SPECIFICATIONS

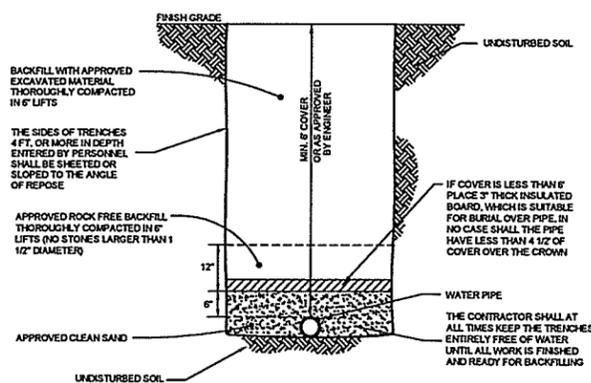
- INSTALLATION - PIPES, FITTINGS, AND ACCESSORIES SHALL BE CAREFULLY HANDLED TO AVOID DAMAGE. PRIOR TO THE DATE OF ACCEPTANCE OF THE PROJECT WORK BY THE OWNER, THE CONTRACTOR SHALL REPLACE ANY NEW PIPE OR ACCESSORY FOUND TO BE DEFECTIVE AT ANY TIME, INCLUDING AFTER INSTALLATION, AT NO EXPENSE TO THE OWNER. ALL INSTALLATION AND TESTING SHALL BE DONE IN ACCORDANCE WITH AWWA STANDARD C-900 AND ANSI SPECIFICATION A21.11. ALL PIPES SHOWING CRACKS SHALL BE REJECTED. IF CRACKS OCCUR IN THE PIPE, THE CONTRACTOR MAY, AT HIS OWN EXPENSE AND WITH THE APPROVAL OF THE ENGINEER, CUT OFF THE CRACKED PORTION AT A POINT AT LEAST TWO FEET (60") FROM THE VISIBLE LIMITS OF THE CRACK AND USE THE SOUND PORTION OF THE PIPE. ALL PIPES AND FITTINGS SHALL BE CLEARED OF ALL FOREIGN MATTER AND DEBRIS PRIOR TO INSTALLATION AND SHALL BE KEPT CLEAN UNTIL THE TIME OF ACCEPTANCE BY THE OWNER. AT ALL TIMES, WHEN THE PIPE LAYING IS NOT ACTUALLY IN PROGRESS, THE OPEN ENDS OF THE PIPE SHALL BE CLOSED BY TEMPORARY WATER-TIGHT PLUGS OR BY OTHER APPROVED MEANS. IF WATER IS IN THE TRENCH WHEN WORK IS RESUMED, THE PLUG SHALL NOT BE REMOVED UNTIL ALL DANGER OF WATER ENTERING THE PIPE HAS PASSED. THE PIPE SHALL BE INSTALLED IN TRENCHES AND AT THE LINE AND GRADE SHOWN ON THE CONTRACT DRAWINGS, AND THE JOINTS SHALL BE WITHIN THE LIMITS SPECIFIED BY THE MANUFACTURER. ALL PIPING AND APPURTENANCES CONNECTED TO THE EQUIPMENT SHALL BE SUPPORTED SO THAT NO STRAIN WILL BE IMPOSED ON THE EQUIPMENT. IF THE EQUIPMENT MANUFACTURER'S SPECIFICATIONS INCLUDE THAT PIPING LOADS ARE NOT TO BE TRANSFERRED, THE CONTRACTOR SHALL SUBMIT CERTIFICATION OF COMPLIANCE. WHENEVER SEWERS CROSS UNDER WATERMANS, THE WATERMAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATERMAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER. THIS VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN FEET (10') HORIZONTALLY OF ANY SEWER IT CROSSES. THERE SHALL BE NO PHYSICAL CONNECTION BETWEEN THE DISTRIBUTION SYSTEM AND ANY PIPES, PUMPS, HYDRANTS, OR TANKS WHICH ARE SUPPLIED OR MAY BE SUPPLIED WITH WATER THAT IS, OR MAY BE, CONTAMINATED. IN INSTANCES WHERE THE USE OF DIFFERENT TYPES OF PIPE REQUIRE JOINING, THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY ADAPTERS. ALL TRENCHING SAFETY STANDARDS SHALL BE IN CONFORMANCE WITH ALL APPLICABLE STATE AND FEDERAL REGULATIONS AND AS SPECIFIED ON THE PLANS. THE CONTRACTOR SHALL AT ALL TIMES, KEEP THE TRENCHES ENTIRELY FREE OF WATER UNTIL ALL WORK IS FINISHED AND READY FOR BACKFILLING. AFTER THE VARIOUS PIPELINES HAVE BEEN INSTALLED, THE TRENCHES AND OTHER AREAS TO BE FILLED SHALL BE BACKFILLED TO SUBGRADE WITH, WHEREVER POSSIBLE, MATERIAL EXCAVATED FROM THE TRENCH. NO BACKFILLING WILL BE ALLOWED UNTIL ANY CONCRETE MASONRY HAS SET SUFFICIENTLY, AS DETERMINED BY THE ENGINEER. ALL MATERIAL FOR BACKFILLING SHALL BE FREE OF ROOTS, STUMPS, AND FROST. MATERIALS USED FOR BACKFILLING TRENCHES SHALL BE FREE OF STONES WEIGHING OVER 30 POUNDS. NO STONES MEASURING OVER ONE AND ONE-HALF INCHES (1 1/2") IN THE LONGEST DIMENSION SHALL BE PLACED WITHIN ONE FOOT (1') OF THE PIPELINE BEING BACKFILLED. BACKFILL FOR ALL PIPELINES SHALL BE PLACED IN SIX INCH (6") LAYERS, EACH LAYER BEING THOROUGHLY COMPACTED TO NOT LESS THAN 95 PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO-T99 STANDARD PROCTOR. PARTICULAR PRECAUTIONS SHALL BE TAKEN IN THE PLACEMENT AND COMPACTON OF THE BACKFILL MATERIAL IN ORDER NOT TO DAMAGE THE PIPE OR STRUCTURE. THE BACKFILL SHALL BE BROUGHT UP EVENLY. ALL WATER LINES SHALL BE INSTALLED WITH A MINIMUM COVER DEPTH OF SIX (6)'. SURPLUS EXCAVATED MATERIALS NOT USED FOR BACKFILL SHALL BE DISPOSED OF IN A MANNER SATISFACTORY TO THE ENGINEER. ALL SURPLUS MATERIAL OR SOIL SHALL BE REMOVED PROMPTLY AND DISPOSED OF SO AS NOT TO BE OBSTRUCTIVE TO BUTTERS OR TO THE GENERAL PUBLIC. VALVE BOXES ARE TO BE INSTALLED ON ALL BURIED VALVES. THE BOXES SHALL BE CAST IRON WITH A MINIMUM FIVE AND ONE-FOURTHS INCH (5 1/4") DIAMETER AND LONG ENOUGH TO EXTEND FROM THE VALVE TO FINISHED GRADE. THE BOXES SHALL ENCLOSE THE OPERATING NUT AND STUFFING BOX OF THE VALVE. VALVE BOXES SHALL NOT TRANSFER LOADS INTO THE VALVE. COVERS SHALL BE CLOSE FITTING AND DIRT-TIGHT WITH THE TOP OF THE COVER FLUSH WITH THE TOP OF THE BOX RIM. COVERS SHALL BE MARKED "WATER" WITH AN ARROW INDICATING THE DIRECTION OF OPENING. VALVE BOXES SHALL BE THREE PIECE SLIP-TYPE. THE CONTRACTOR SHALL PROVIDE A STABLE, TEMPORARY PVC MARKER APPROVED BY THE ENGINEER AT ALL GATE VALVES, CURB STOPS, AND AT THE END OF WATERLINES TO A POINT SIX INCHES (6") ABOVE FINISH GRADE. THE MARKER SHALL BE SEATED SECURELY INTO THE GROUND.
- DISINFECTION - CHLORINATION OF THE NEW SERVICE SHALL BE CONDUCTED ONLY AFTER THE SERVICE HAS BEEN FLUSHED AND A CLEAR STREAM IS OBTAINED AS DETERMINED BY THE ENGINEER. THE CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS, AND TOOLS NECESSARY TO DISINFECT THE PIPE AND APPURTENANCES IN ACCORDANCE WITH THE AWWA STANDARD FOR DISINFECTING WATERMANS, C-651, WITH THE EXCEPTION OF THE TABLET METHOD. THE METHOD OF DISINFECTION SHALL BE BY THE CONTINUOUS FEED METHOD UNLESS OTHERWISE APPROVED BY THE ENGINEER. AFTER FILLING, FLUSHING, AND THE ADDITION OF CHLORINE SOLUTION, THE FREE CHLORINE CONCENTRATION WITHIN THE PIPE SHALL BE AT LEAST 25 MG/L. THE CHLORINATED WATER SHALL REMAIN IN THE MAIN FOR A PERIOD OF AT LEAST 24 HOURS. AT THE END OF THIS PERIOD, THE TREATED WATER SHALL PORTIONS OF THE MAIN SHALL NOT HAVE A RESIDUAL OF LESS THAN 10 MG/L OF FREE CHLORINE. ALL DISINFECTION SHALL BE PERFORMED UNDER THE SUPERVISION OF THE ENGINEER. THE DISINFECTION PROCESS SHALL BE DEEMED ACCEPTABLE ONLY AFTER (2) SAMPLES OF WATER FROM THE FLUSHED, DISINFECTED MAIN TAKEN BY THE ENGINEER AND TESTED AT AN APPROVED LABORATORY SHOW NO EVIDENCE OF BACTERIOLOGICAL CONTAMINATION. DISINFECTION SHALL CONFORM TO THE LATEST AWWA C-651 REVISION. THE PIPELINE AND APPURTENANCES SHALL BE MAINTAINED IN AN UNCONTAMINATED CONDITION UNTIL FINAL ACCEPTANCE. DISINFECTION SHALL BE REPEATED WHEN AND WHERE REQUIRED AT NO EXPENSE TO THE OWNER UNTIL FINAL ACCEPTANCE BY THE OWNER.
- FROST PROTECTION OF SHALLOW WATERLINES - WATERLINES WITH LESS THAN SIX FEET (6') OF COVER OVER THE CROWN, OR WHERE INDICATED ON THE PLANS, SHALL BE PROTECTED AGAINST FREEZING BY INSTALLING AT LEAST THREE INCHES (3") OF INSULATING SHEETS WITH A TOTAL WIDTH OF FOUR FEET (4') OR TWICE THE PIPE DIAMETER, WHICHEVER IS GREATER. THE SHEETS SHALL BE PLACED SIX INCHES (6") ABOVE THE CROWN OF THE MAIN AFTER COMPACTION OF THE SIX INCH (6") LIFT IMMEDIATELY ABOVE THE CROWN. CARE SHALL BE EXERCISED BY THE CONTRACTOR DURING BACKFILL AND COMPACTION OVER THE STYROFOAM SHEETS TO PREVENT DAMAGE TO THE WATERMAIN. INSULATING SHEETS SHALL MEET THE COMpressive STRENGTH REQUIREMENTS OF ASTM D1821-73 AND SHALL BE AS MANUFACTURED BY DOW CHEMICAL COMPANY, MIDLAND, MICHIGAN, OR EQUIVALENT. IN NO CASE SHALL THE WATERLINES HAVE LESS THAN FOUR FEET (4') OF COVER OVER THE TOP OF THE PIPE.



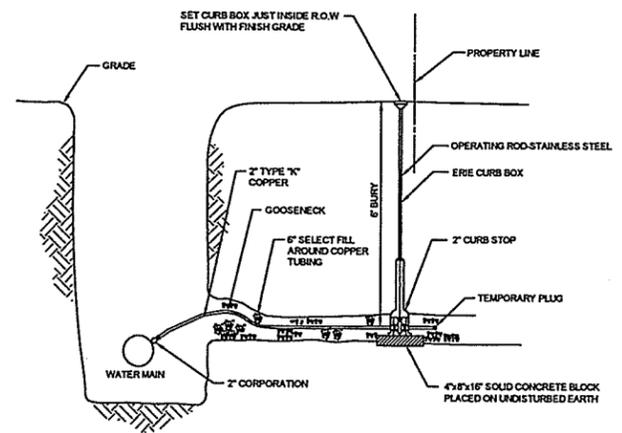
REPLACEMENT OF EXISTING BITUMINOUS PAVEMENT
N.T.S.



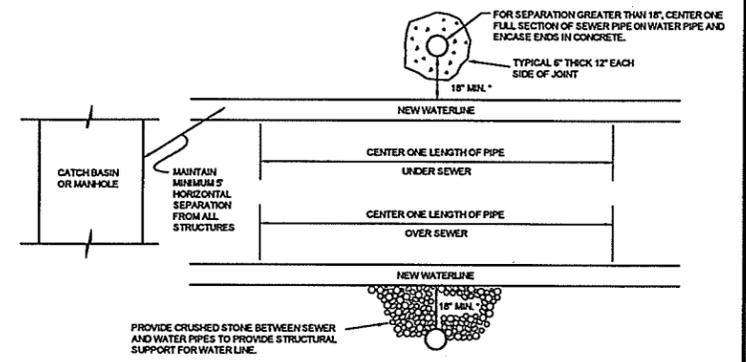
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TYPICAL WATER TRENCH
N.T.S.



INDIVIDUAL UNIT WATER SERVICE DETAIL
N.T.S.



SEWER / WATER SEPARATION DETAIL FOR CROSSINGS
N.T.S.

VERTICAL SEPARATION AT CROSSINGS:

- SEWERS CROSSING WATER MAINS SHALL BE LAID BENEATH THE WATER MAIN WITH AT LEAST 18\"/>
 - THE CROSSINGS SHALL BE ARRANGED SO THAT ONE FULL LENGTH OF SEWER IS CENTERED ABOVE OR BELOW THE WATER LINE WITH SEWER JOINTS AS FAR AS POSSIBLE FROM WATER MAINS.
 - THE SEWER PIPE MUST BE CONSTRUCTED TO WATER MAIN STANDARDS FOR A MINIMUM DISTANCE OF 20 FEET EITHER SIDE OF THE CROSSING OR A TOTAL OF THREE PIPE LENGTHS, WHICHEVER IS GREATER.
 - THE SECTION CONSTRUCTED TO WATER MAIN STANDARDS MUST BE PRESSURE TESTED TO MAINTAIN 50 PSI FOR 15 MINUTES WITHOUT LEAKAGE PRIOR TO BACKFILLING BEYOND ONE FOOT ABOVE THE PIPE, TO ASSURE WATER TIGHTNESS.
 - WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT DAMAGE TO THE WATER MAIN.

Date	Revision	By

These plans shall only be used for the purpose shown below:

<input checked="" type="checkbox"/> Sketch/Concept	<input type="checkbox"/> Act 250 Review
<input type="checkbox"/> Preliminary	<input type="checkbox"/> Construction
<input type="checkbox"/> Final Local Review	<input type="checkbox"/> Record Drawing

LANDS OF WILTSHIRE PROPERTIES, LLC.

ELIZABETH'S PLACE

20 FLETCHER PL., 128 & 132 COLCHESTER AVE.
BURLINGTON, VT 05403

Project No. 15141
Survey KMR
Design DLH
Drawn DLH
Checked DJG
Date 12-7-15
Scale AS NOTED
Sheet number 7

WATER, STORMWATER & SITE DETAILS & SPECIFICATIONS

LD Lamoureux & Dickinson Consulting Engineers, Inc.
14 Mone Drive, Essex, VT 05452
802-878-4450 www.LDEngineering.com

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 DEPARTMENT OF PLANNING & ZONING

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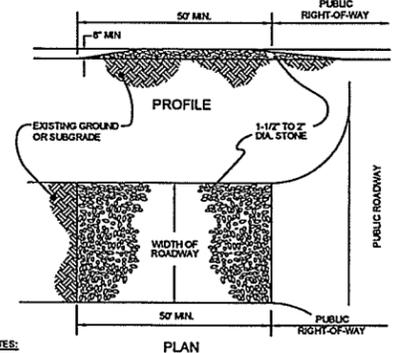
DEPARTMENT OF
 PLANNING & ZONING

TURF ESTABLISHMENT

ALL DISTURBED AREAS THAT DO NOT HAVE AN IMPERVIOUS SURFACE (PAVEMENT, SIDEWALKS, ROOFS) SHALL BE STABILIZED WITH SEEDING AND MULCHING PRIOR TO OCTOBER 1. ANY WORK PERFORMED AFTER SEPTEMBER 15 OF EACH YEAR SHALL BE STABILIZED WITH MULCH OR NETTING SUFFICIENT TO PREVENT EROSION AND SHALL BE IMMEDIATELY SEEDED AND REMULCHED AS SOON AS WEATHER PERMITS IN THE SPRING. PLACEMENT OF TOPSOIL, AND THE APPLICATION OF SEED, FERTILIZER, LIME (WHERE APPLICABLE), AND MULCH SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

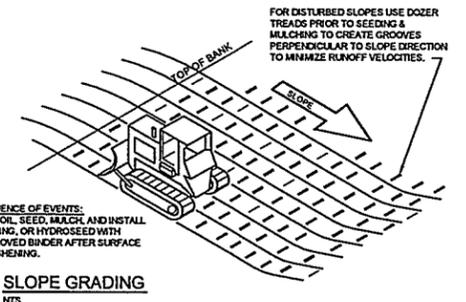
1. A MINIMUM OF 4" OF APPROVED TOPSOIL SHALL BE PLACED IN ALL AREAS. PLACEMENT OF TOPSOIL SHALL NOT BE DONE WHEN THE GROUND OR TOPSOIL IS FROZEN, EXCESSIVELY WET, OR OTHERWISE IN A CONDITION DETRIMENTAL TO THE WORK. FOLLOWING PLACEMENT OF TOPSOIL, THE SURFACE SHALL BE RAKED. ALL STONES, LUMPS, ROOTS, OR OTHER OBJECTIONAL MATERIAL SHALL BE REMOVED.
2. SEED MIXTURES SHALL CONFORM TO THE SEED MIX TABLE SHOWN ON THIS SHEET AND BE SPREAD UNIFORMLY IN ALL AREAS INDICATED ON THE PLANS AT THE SPECIFIED RATE. FOR SEEDING BETWEEN SEPTEMBER 1 AND OCTOBER 1, WINTER RYE SHALL BE OVERSEED AT AN APPLICATION RATE OF 100 POUNDS PER ACRE.
3. FERTILIZER SHALL CONFORM TO THE STANDARDS OF THE ASSOCIATION OF OFFICIAL AGRICULTURAL CHEMISTS AND BE APPLIED ONLY AFTER PERFORMING A SOIL TEST AND BE APPLIED BASED UPON SOIL DEFICIENCIES. LIME SHALL ONLY BE APPLIED AS NEEDED BASED UPON A SOIL PH TEST.
4. WITHIN 24 HOURS OF APPLICATION OF SEED, FERTILIZER AND LIME, THE SURFACE SHALL BE MULCHED WITH A HAY MULCH. MULCH SHALL BE SPREAD UNIFORMLY OVER THE AREA AT A MINIMUM RATE OF 2 TONS PER ACRE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A FULL GROWTH OF GRASS IN ALL DISTURBED AREAS TO BE RE-VEGETATED. VEGETATION GROWTH SHALL BE PERMANENT AND SUFFICIENT TO PREVENT EROSION OF THE UNDERLYING SOIL UNDER ALL CONDITIONS OF PRECIPITATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING AND CARING FOR SEEDED, MULCHED, AND AREAS OF ESTABLISHED VEGETATION UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER.

URBAN MIX GRASS SEED		
% BY WEIGHT	LBS. LIVE SEED PER ACRE	TYPE OF SEED
37.5	45	CREeping RED FESCUE
31.25	37.5	KENTUCKY BLUEGRASS
31.25	37.5	WINTER HARDY, PERENNIAL RYE
100	120 # LIVE SEED PER ACRE	



- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT TRACKED, SPILLED, OR WASHED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
 2. THE USE OF CALCIUM CHLORIDE OR WATER MAY BE NECESSARY TO CONTROL DUST DURING THE SUMMER.
 3. PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC RIGHT-OF-WAY.

STABILIZED CONSTRUCTION EXIT
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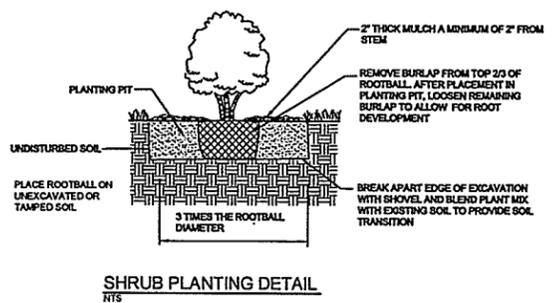


- SEQUENCE OF EVENTS:**
 TOPSOIL, SEED, MULCH, AND INSTALL MATTING, OR HYDROSEED WITH APPROVED BINDER AFTER SURFACE ROUGHENING.
- SLOPE GRADING**
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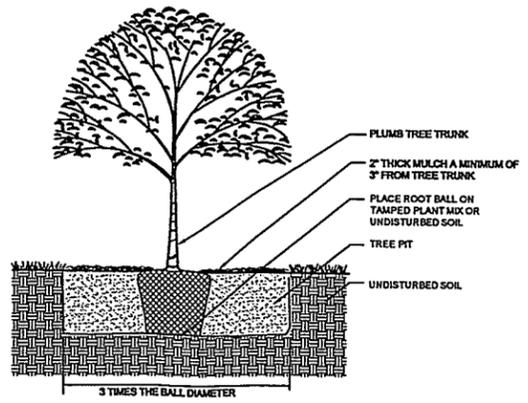
LANDSCAPE SPECIFICATIONS

TREE AND SHRUB PLANTINGS

1. ALL PLANT MATERIALS SHALL CONFORM TO THE INTERNATIONAL SOCIETY OF ARBORICULTURE PRINCIPALS AND PRACTICES OF PLANTING TREES AND SHRUBS, AND THE MOST RECENT VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK - ANSI Z60.1.
2. CONTRACTOR SHALL STAKE ALL PLANT LOCATIONS AND THE ENGINEER SHALL APPROVE PRIOR TO INSTALLATION.
3. CONTRACTOR SHALL PROTECT LANDSCAPE PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS. PLANTS THAT ARE TO BE TEMPORARILY STORED ON SITE UNTIL READY FOR INSTALLATION SHALL BE KEPT SHADED AND PROTECTED WITH SOIL, BARK MULCH OR OTHER ACCEPTABLE MATERIAL AND REGULARLY WATERED.
4. DURING INSTALLATION OF LANDSCAPE PLANTINGS, CONTRACTOR SHALL DETERMINE WHERE EXISTING UNDERGROUND UTILITIES ARE LOCATED TO AVOID INTERFERENCE.
5. STREET TREES TO ARRIVE FROM NURSERY WITH 6 FEET/2 METERS BETWEEN THE FINISHED GRADE AND THE FIRST TREE BRANCH.
6. DO NOT PRUNE THE TREES OR SHRUBS AT PLANTING. PRUNE ONLY DEAD OR CRUSHED ROOTS AND DEAD OR INJURED BRANCHES.
7. TREES SHALL HAVE A MINIMUM 50% LIVE CROWN RATIO.
8. EACH TREE AND SHRUB MUST BE PLANTED SUCH THAT THE ROOT FLARE AND MAIN ORDER ROOTS ARE VISIBLE AT THE TOP OF THE ROOT BALL. WHERE THE MAIN ORDER ROOTS ARE NOT VISIBLE, EXCESS SOIL SHALL BE REMOVED TO LOCATE THEM. PLANT TREES AND SHRUBS SO THAT THE MAIN ORDER ROOTS ARE AT FINISHED GRADE. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL OR MULCH.
9. EXAMINE ENTIRE TREE AND SHRUB AND REMOVE ALL NURSERY TAGS, TREE WRAP, ROPE, STRING AND SURVEYOR TAPE PRIOR TO PLANTING TO PREVENT GIRDLING.
10. FOR ALL TREES AND SHRUBS: CUT AND REMOVE WIRE MESH BASKET. CUT AND REMOVE ROPE AND BURLAP WRAP FROM TOP 2/3 OF ROOTBALL AFTER PLACEMENT IN PLANTING PIT. LOOSEN REMAINING BURLAP TO ALLOW FOR ROOT DEVELOPMENT. IF THE TREE OR SHRUB HAS SYNTHETIC OR TREATED BURLAP, REMOVE IT ENTIRELY AFTER PLACING ROOT BALL IN PLANTING PIT.
11. BREAK APART EDGE OF EXCAVATION WITH SHOVEL AND BLEND PLANT MIX WITH EXISTING SOIL TO PROVIDE SOIL TRANSITION.
12. TREE PIT AREA SHALL HAVE A MINIMUM DEPTH OF 36". SHRUB PLANTING PIT SHALL HAVE A 24" MINIMUM DEPTH. THE TREE PIT AREA SHALL HAVE THE PLANT MIX SPECIFIED BELOW.
13. STAKING REQUIRED ONLY IN SITUATIONS WHERE TREES WILL BE SUBJECTED TO WINDY CONDITIONS AS DETERMINED BY THE ENGINEER. STAKES SHALL BE REMOVED BY THE CONTRACTOR AT THE END OF THE WARRANTY PERIOD.
14. PLANT MIX SHALL CONSIST OF THE FOLLOWING RATIO: 1/3 PART COMPOST, 2/3 PARTS TOPSOIL. PLANT MIX TO BE TESTED AND APPROVED FOR QUALITY BY ENGINEER PRIOR TO INSTALLATION. THE CORRECT GRADE OF COMPOST IS AVAILABLE FROM, BUT NOT LIMITED TO, THE FOLLOWING MANUFACTURERS: INTERVALE COMPOST PRODUCTS, VERMONT NATURAL PRODUCTS AND VERMONT COMPOST COMPANY.
15. FOLLOWING PLANTING, FERTILIZER AND MYCORRHIZAL FUNGI SHALL BE APPLIED TO TREES AND SHRUBS.
16. ONCE ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED, PLACE A LIGHT LAYER OF HEMLOCK OR PINE BARK MULCH, MAXIMUM OF 2" THICK, ON PLANTING BEDS. NO DYED MULCH WILL BE ACCEPTED.
17. WATER ALL TREES AND SHRUBS THOROUGHLY ONCE PLANTED TO PULL SOILS AGAINST ROOT BALL AND SETTLE AIR POCKETS. ADDITIONAL SOIL MAY BE NEEDED; WATER AGAIN TO ENSURE COMPLETE COMPACTION. RE-SET SETTLED PLANTS TO PROPER GRADE AND POSITION, RESTORE ADJACENT MATERIAL AND REMOVE DEAD MATERIAL. THERE SHALL BE NO WATERING BERM INSTALLED AROUND PLANTS.
18. CORRECT WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER PERMITS.
19. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPE PLANTINGS AND SHALL INCLUDE PRUNING, CULTIVATING, WEEDING, WATERING, AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE DURING CONSTRUCTION AND WARRANTY AND UNTIL ACCEPTANCE. CONTRACTOR SHALL WATER ALL PLANTINGS DAILY.
20. ALL LANDSCAPE PLANTS SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS AFTER PLANTING.



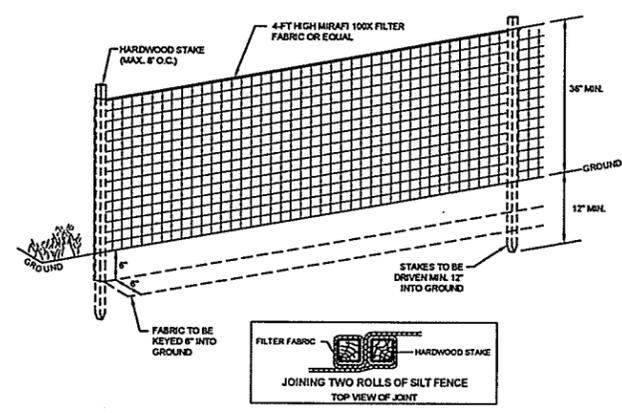
SHRUB PLANTING DETAIL
N.T.S.



TREE PLANTING DETAIL
N.T.S.

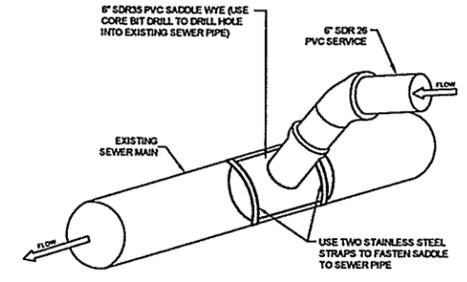
SOIL SPECIFICATIONS FOR PLANTING AREAS

1. LANDSCAPE BACKFILL SHALL BE PREPARED, CONSISTING OF APPROXIMATELY 50% TOPSOIL, 25% COMPOST, AND 25% NATIVE SOIL. IN CASES WHERE THE NATIVE SOIL MEETS THE TOPSOIL SPECIFICATION, THE PROPORTIONS OF NATIVE SOIL MAY BE ADJUSTED UP TO 75%.
2. ALL IMPORTED SOIL SHALL BE REASONABLY FREE FROM ROOTS, HARD CLAY, COARSE GRAVEL, STONES LARGER THAN TWO INCHES IN ANY DIMENSION, NOXIOUS WEEDS, TALL GRASS, BRUSH, STICKS, STUBBLE, AND ANY MATERIALS THAT WOULD BE DETRIMENTAL TO HEALTHY VEGETATIVE GROWTH.
3. COMPOST SHALL BE FREE OF WEED SEEDS, SHALL HAVE A LOOSE AND GRANULAR TEXTURE, SHALL POSSESS NO OBJECTIONABLE ODOORS, AND SHALL NOT RESEMBLE THE RAW MATERIAL FROM WHICH IT WAS DERIVED.
4. TO ASSURE THE GROWTH OF TREES, SHRUBS, AND OTHER PLANTS, THE SOIL MUST NOT BE COMPACTED. ANY AREAS OF INADVERTENTLY COMPACTED SOIL WILL NEED TO BE DECOMPACTED USING A SUBSOILER, CHISEL PLOW, OR BY EXCAVATION AND REPLACEMENT WITH UNCOMPACTED SOIL. DO NOT DRIVE EQUIPMENT ON THE SOIL AFTER IT HAS BEEN PLACED OR DECOMPACTED. FINE GRADING AND PLANTING OF SPECIFIED LANDSCAPING MAY BE DONE USING LOW GROUND PRESSURE EQUIPMENT, IF THIS CAN BE ACHIEVED WITHOUT COMPACTION.
5. DO NOT STOCKPILE SOIL OR COMPOST IN WET OR MUDDY CONDITIONS. PROVIDE EROSION CONTROL TO PREVENT TRANSPORT OF SEDIMENT OR DUST AWAY FROM THE STORAGE AREA.

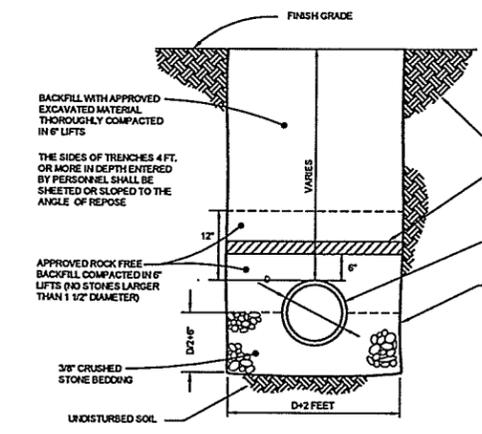


- NOTES:**
- 1) USE ONLY MANUAL METHODS OF INSTALLATION AND CLEANING WITHIN WETLAND AND BUFFER ZONE.
 - 2) PRIOR TO BEGINNING OF CONSTRUCTION OR EARTHMOVING, THE CONTRACTOR SHALL INSTALL A CONTINUOUS SILT FENCE AT THE LIMIT OF DISTURBANCE SHOWN ON THE SITE PLAN.
 - 3) FROZEN MATERIAL SHALL NOT BE USED TO KEY IN THE BOTTOM OF THE SILT FENCE. IF NECESSARY, GRANULAR BORROW SHALL BE USED BY THE CONTRACTOR TO KEY IN THE SILT FENCE RATHER THAN FROZEN NATIVE MATERIAL.
 - 4) THE CONTRACTOR SHALL INSTALL SILT FENCE AROUND THE PERIMETER OF TOPSOIL STOCKPILES AND AT OTHER LOCATIONS AS NEEDED.

TEMPORARY SILT FENCE
N.T.S.



SANITARY SEWER CONNECTION INTO EXISTING SEWER MAIN
N.T.S.



TYPICAL SANITARY & STORM SEWER TRENCH
N.T.S.

SANITARY & STORM SPECIFICATIONS

- 1) SANITARY AND STORM SEWER PIPES SHALL BE OF THE SIZE AND TYPE INDICATED ON THE PLANS. PVC PIPE SHALL BE SDR 35 CONFORMING TO ASTM D-3034, ASTM D-3218, AND ASTM F-477. CORRUGATED METAL PIPE SHALL CONFORM TO AASHTO M-190 FOR ACCOP PIPE AND AASHTO M-246 TYPE B FOR POLYMER COATED STEEL PIPE. CORRUGATED POLYETHYLENE PIPE SHALL CONFORM TO AASHTO M294, TYPE S (SMOOTH LINED).

Date	Revision	By
These plans shall only be used for the purpose shown below.		
<input type="checkbox"/> Sketch/Concept <input type="checkbox"/> Preliminary <input type="checkbox"/> Final Local Review	<input type="checkbox"/> Act 250 Review <input type="checkbox"/> Construction <input type="checkbox"/> Record Drawing	
LANDS OF WILTSHIRE PROPERTIES, LLC. ELIZABETH'S PLACE 20 FLETCHER PL., 128 & 132 COLCHESTER AVE. BURLINGTON, VT 05401		Project No. 15141 Survey KMR Design DLH
SEWER, LANDSCAPING & EROSION CONTROL DETAILS & SPECIFICATIONS		Drawn DLH Checked DJG Date 12-7-15
Lamoureux & Dickinson Consulting Engineers, Inc. 14 Morse Drive, Essex, VT 05452 802-878-4450 www.LDengineering.com		Scale AS NOTED Sheet number 8

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JAN 26 2016

DEPARTMENT OF
PLANNING & ZONING

LEGEND

- EXISTING PROJECT PROPERTY LINE
- EXISTING PROPERTY LINE TO BE DISSOLVED
- PROPOSED NEW PROPERTY LINE
- ABUTTING PROPERTY LINE
- (135.00') (S30°26'24"E) BEARING AND DISTANCE FOR EXISTING PROPERTY LINE
- 95.06' S30°20'23"E BEARING AND DISTANCE FOR PROPOSED NEW PROPERTY LINE
- [Hatched Box] AREA OF 128 COLCHESTER AVE. PROPOSED TO BE MERGED WITH 20 FLETCHER PLACE
- [Hatched Box] AREA OF 132 COLCHESTER AVE. PROPOSED TO BE MERGED WITH 20 FLETCHER PLACE
- IPF IRON PIPE FOUND
- IPS IRON PIPE SET
- CMF CONCRETE MONUMENT FOUND
- ▽ SURVEY POINT - NO MARKER FOUND OR SET
- N/F NOW OR FORMERLY
- AG ABOVE GRADE
- BG BELOW GRADE
- FL FLUSH
- ○ ○ ○ ○ CHAIN LINK FENCE
- [Hatched Box] AREA OF 132 COLCHESTER AVE. PROPOSED TO BE MERGED WITH 128 COLCHESTER AVE.

LOCATION PLAN

NOTES:

1. THIS PLAT WAS COMPILED FROM FIELD SURVEYS AND RECORD RESEARCH INCLUDING THE USE OF THE FOLLOWING PLATS:
- A. "BOUNDARY LINE ADJUSTMENT, M. ELIZABETH LANG AND MARTHA R. LANG, 138 COLCHESTER AVENUE, BURLINGTON, VERMONT." DATED 9-29-00, LAST REVISED 12-12-01, BY KREBS & LANSING CONSULTING ENGINEERS, INC.
- B. "PROPOSED LAND EXCHANGE BETWEEN FLETCHER ALLEN HEALTH CARE, INC. AND THE UNIVERSITY OF VERMONT AND STATE AGRICULTURAL COLLEGE, BURLINGTON, VERMONT." DATED 8-20-01, BY VERNOT SURVEYING AND ENGINEERING, INC., AS RECORDED IN SLIDE 349-A OF THE CITY OF BURLINGTON LAND RECORDS.
- C. "TRINITY COLLEGE, COLCHESTER AVENUE, BURLINGTON, VERMONT, COMPOSITE PLAT OF LANDS." DATED 8-27-90, BY DONALD L. HAMLIN CONSULTING ENGINEERS, AS RECORDED IN SLIDE 233-E OF THE CITY OF BURLINGTON LAND RECORDS.
- D. "SKETCH OF LAND OF HERBERT A. DURFEE, BURLINGTON, VT." DATED OCTOBER 1, 1902, BY A.R. DOW, C.E.
2. BEARINGS SHOWN ON THIS SURVEY ARE BASED ON GPS OBSERVATIONS RECORDED IN NOVEMBER, 2015.
3. THIS PROPERTY MAY BE SUBJECT TO OTHER EASEMENTS AND/OR RIGHTS-OF-WAY.
4. A CLOSED TRAVERSE SURVEY WAS COMPLETED IN NOVEMBER, 2015. THE METHODS AND THE RESULTING ERROR OF CLOSURE MEET OR EXCEED THE MINIMUM PRECISION REQUIREMENTS FOR URBAN SURVEYS.
5. MONUMENTATION FOUND IS AS NOTED ON PLAN. IRON PIPES SET ARE 1" DIAMETER WITH A PLASTIC CAP.
6. THE RIGHT-OF-WAY FOR COLCHESTER AVENUE OF FIVE RODS (82.5') AND THE RIGHT-OF-WAY WIDTH OF 40' FOR FLETCHER PLACE ARE BASED ON THE PLAN REFERENCED IN NOTE 1D.

ROBERT K. & SUSAN G. BUTANI
N/F
VOL. 1095, PG. 778

FRANCIS J. & EDWARD B. VON TURKOVICH
N/F
VOL. 1157, PG. 487

DAWN M. & THOMAS F. EDWARDS
N/F
VOL. 1016, PG. 758

1,039 S.F. PARCEL TO BE
CONVEYED FROM 128
COLCHESTER AVE.
PARCEL TO 20 FLETCHER
PLACE PARCEL

UNITED MINING & SALVAGE COMPANY, LLC
N/F
VOL. 1254, PG. 51

DANIEL J. & HOLLY TRAHAN
N/F
VOL. 438, PG. 303

UNIVERSITY OF VERMONT &
STATE AGRICULTURE COLLEGE
N/F
VOL. 775, PG. 492

PATRICIA A. ROONEY &
WILLIAM P. HICKOK
N/F
VOL. 438, PG. 303

UNIVERSITY OF VERMONT &
STATE AGRICULTURE COLLEGE
N/F
VOL. 775, PG. 492

WILTSHIRE PROPERTIES, LLC
N/F
VOL. 1232, PG. 118
8,748 S.F. (EXISTING)
12,312 S.F. (PROPOSED)

WILTSHIRE PROPERTIES, LLC
N/F
VOL. 1232, PG. 118

WILTSHIRE PROPERTIES, LLC
N/F
VOL. 1232, PG. 118

WILTSHIRE PROPERTIES, LLC
N/F
VOL. 1232, PG. 118
7,345 S.F. (EXISTING)
7,350 S.F. (PROPOSED)

WILTSHIRE PROPERTIES, LLC
N/F
VOL. 1232, PG. 118
8,349 S.F. (EXISTING)
4,678 S.F. (PROPOSED)

#128
COLCHESTER
AVENUE

#132
COLCHESTER
AVENUE

FLETCHER ALLEN HEALTH CARE, INC.
N/F
VOL. 978, PG. 403

LANDOWNER
WILTSHIRE PROPERTIES, LLC
138 COLCHESTER AVENUE
BURLINGTON VERMONT 05401
DEED REFERENCE: VOL. 1232, PAGE 118

TO THE BEST OF MY KNOWLEDGE, THIS PLAT IS BASED ON INFORMATION ABSTRACTED FROM PERTINENT DEEDS AND/OR OTHER OFFICIAL RECORDS, AND MARKERS EVIDENT ON THE PROPERTY, AND CONFORMS WITH THE REQUIREMENTS OF 27 VSA §1403. DATED THIS ___ DAY OF ___, 2016

CERTIFICATION OF FIRE MARSHALL AS FOLLOWS:
"I, _____, FIRE MARSHALL, DO HEREBY CERTIFY THAT THE SUBJECT PLAT HAS BEEN EXAMINED BY ME AND FOUND TO COMPLY WITH THE FIRE PREVENTION REQUIREMENTS SET FORTH IN THIS CHAPTER GOVERNING PLATS OF SUBDIVIDED LAND ADOPTED BY THE CITY COUNCIL WITH THE FOLLOWING EXCEPTIONS:"

CITY FIRE MARSHALL
"I, _____, SUPERINTENDENT OF PARKS, DO HEREBY CERTIFY THAT THE SUBJECT PLAT HAS BEEN EXAMINED BY ME AND FOUND TO COMPLY WITH THE STREET PLANTING REQUIREMENTS AND PARK AREA REQUIREMENTS SET FORTH IN THIS CHAPTER GOVERNING PLATS OF SUBDIVIDED LAND ADOPTED BY THE CITY COUNCIL WITH THE FOLLOWING EXCEPTIONS:"

CITY SUPERINTENDENT OF PARKS
"I, _____, CITY ENGINEER, DO HEREBY CERTIFY THAT THE SUBJECT PLAT HAS BEEN EXAMINED BY ME AND FOUND TO COMPLY WITH THE ENGINEERING REQUIREMENTS SET FORTH IN THIS CHAPTER GOVERNING PLATS OF SUBDIVIDED LAND ADOPTED BY THE CITY COUNCIL WITH THE FOLLOWING EXCEPTION:"

"I, _____, CITY ENGINEER

APPROVED BY RESOLUTION OF THE CITY OF BURLINGTON PLANNING COMMISSION, VERMONT ON THE ___ DAY OF ___, 20__ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF CHAPTER 28 ENTITLED SUBDIVISION REGULATIONS OF THE BURLINGTON, VERMONT CODE OF ORDINANCES, SIGNED THIS ___ DAY OF ___, 20__ BY _____

WITNESS CHAIRMAN

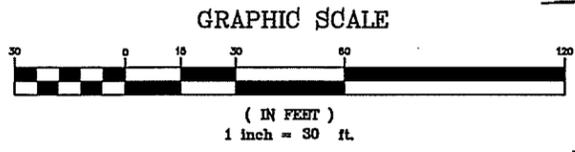
THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, CERTIFIES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY, AND THAT ALL TAXES OR OTHER ASSESSMENTS NOW DUE ON THIS LAND HAVE BEEN PAID.

AGENT OWNER
DATE DATE

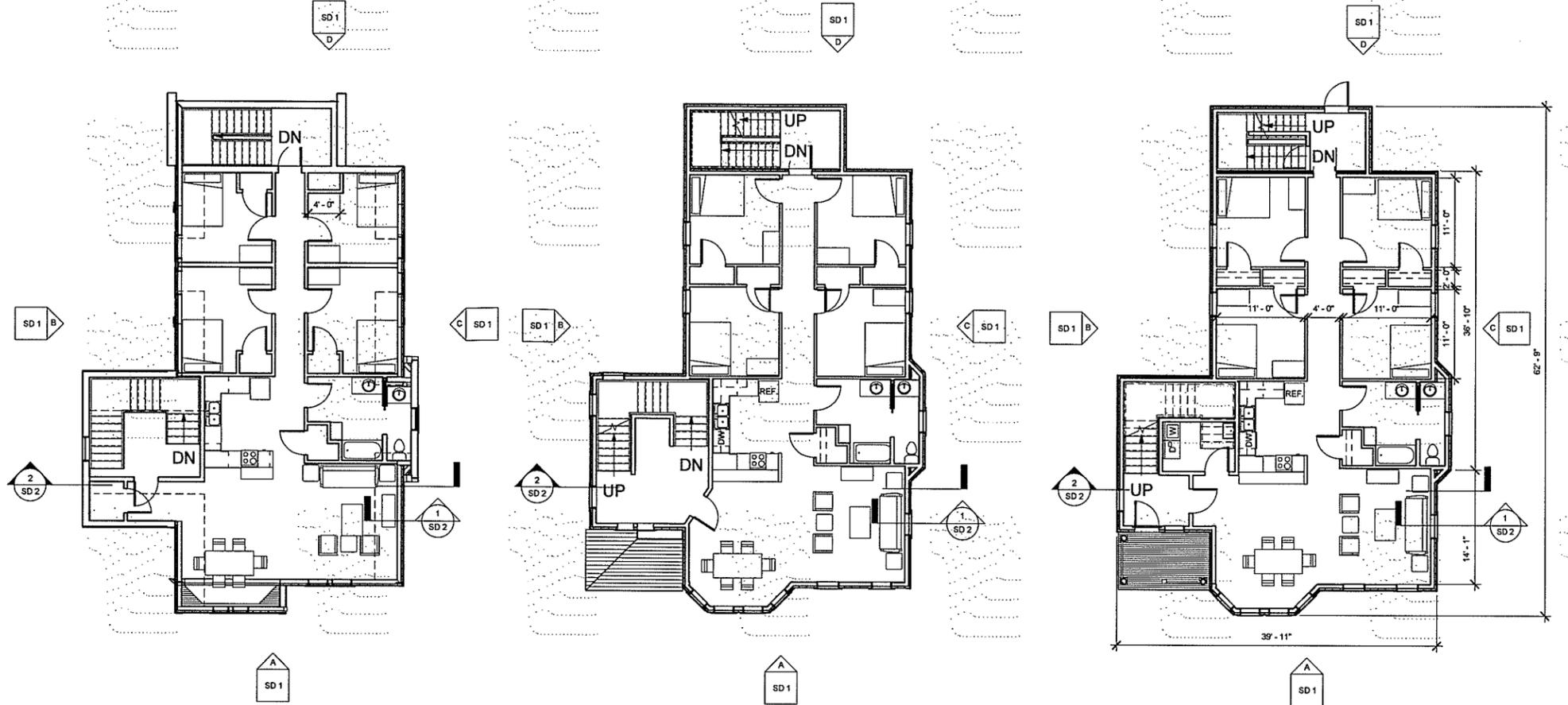
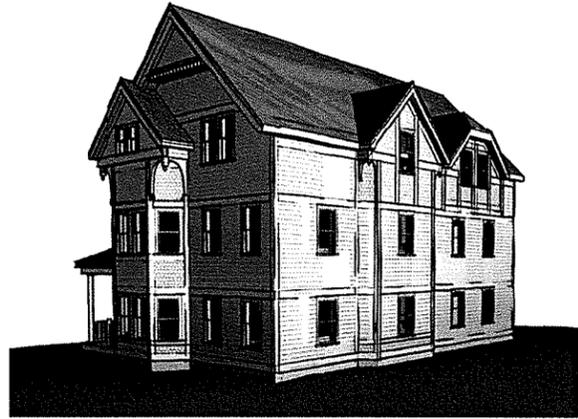
CITY CLERK'S OFFICE

CITY OF BURLINGTON, VT.
RECEIVED FOR RECORD _____, 2016
AT _____ O'CLOCK __ M., AND
RECORDED IN SLIDE # _____
ATTEST: _____ CITY CLERK

date	description	by
REVISIONS		
THESE PLANS WITH LATEST REVISIONS SHOULD ONLY BE USED FOR THE PURPOSE SHOWN BELOW.		
<input type="checkbox"/> SKETCH/CONCEPT	<input type="checkbox"/> ACT 250 REVIEW	
<input type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	
<input type="checkbox"/> FINAL LOCAL REVIEW	<input type="checkbox"/> RECORD DRAWING	
A PORTION OF LANDS OF WILTSHIRE PROPERTIES, LLC 20 FLETCHER PLACE AND 128 & 132 COLCHESTER AVENUE BURLINGTON, VERMONT		PROJECT NO 15141 SURVEY JKR DESIGN -
BOUNDARY LINE ADJUSTMENT PLAT		DRAWN DLH CHECKED DJG DATE 1-12-16 SCALE AS NOTED SHT. NO. PL
LD LAMOUREUX & DICKINSON Consulting Engineers, Inc. 14 Morse Drive Essex Junction, VT 05452 Tel: 802-878-4450		



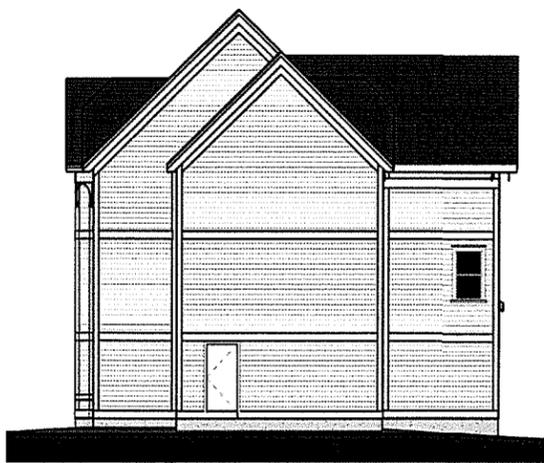
P:\2015\15141\dwg\15141.dwg, 1/25/2016 11:03:46 AM, 1:166974



③ THIRD FLOOR
1/8" = 1'-0"
THIRD FLOOR GROSS AREA: 1880 SF

② SECOND FLOOR PLAN
1/8" = 1'-0"
SECOND FLOOR GROSS AREA: 1880 SF

① FIRST FLOOR PLAN
1/8" = 1'-0"
FIRST FLOOR GROSS AREA: 1880 SF



④ ELEVATION D
1/8" = 1'-0"



③ ELEVATION C
1/8" = 1'-0"



② ELEVATION B
1/8" = 1'-0"



① ELEVATION A
1/8" = 1'-0"

THIRD FLOOR
20'-0"
SECOND FLOOR
10'-0"
FIRST FLOOR
0'-0"

ELIZABETH'S PLACE

SCHEMATIC PLANS AND ELEVATIONS

1/21/16

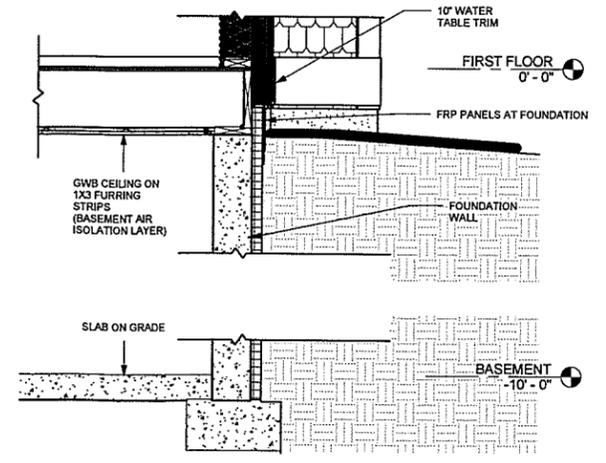
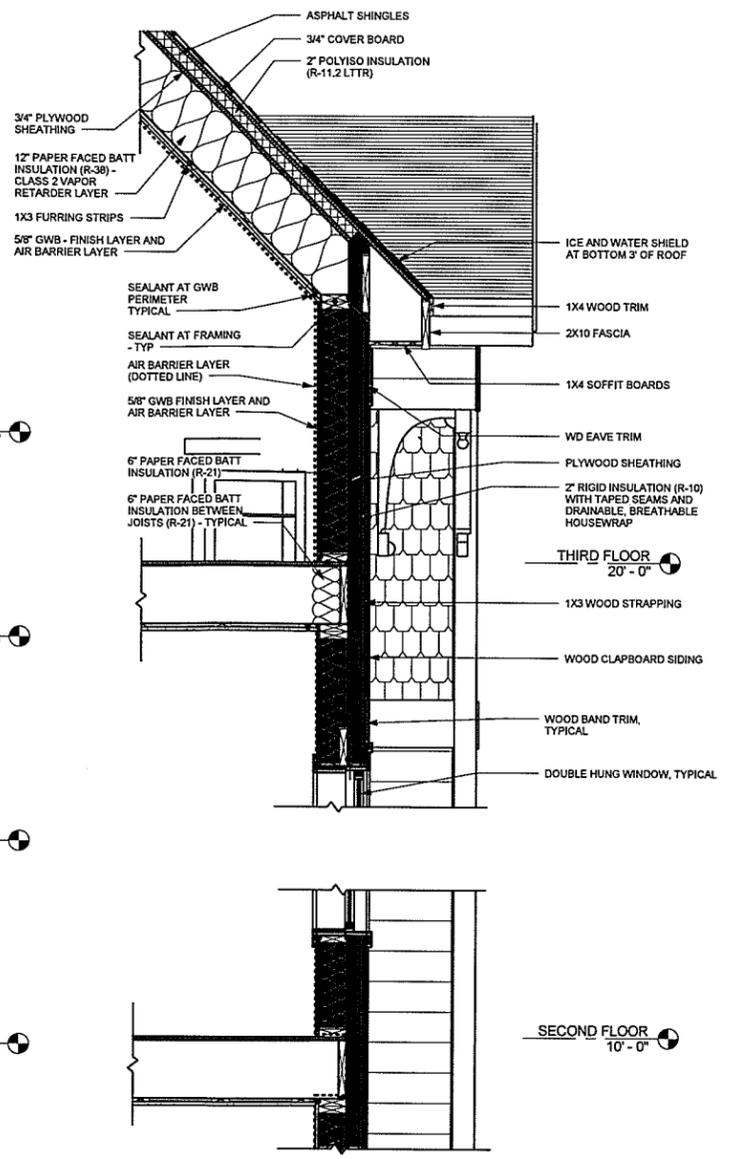


20 MAIN ST., ESSEX JUNCTION, VT 05452
P: 802.879.5153
F: 802.872.2764
SCOTTPARTNERS.COM

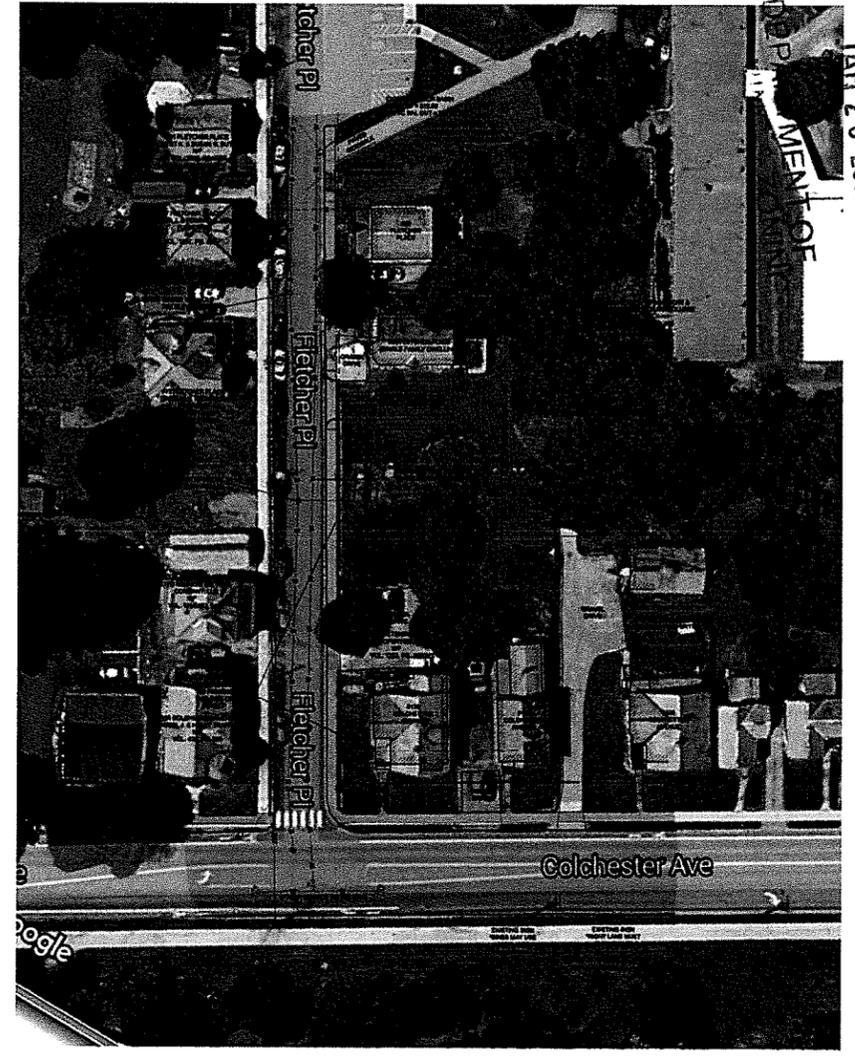
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 JAN 28 2016
 DEPARTMENT OF



2 BUILDING SECTION
 1/4" = 1'-0"



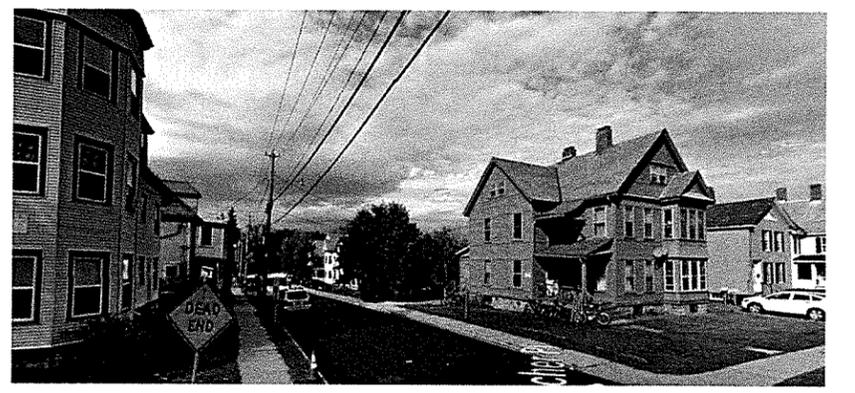
1 TYPICAL WALL SECTION
 3/4" = 1'-0"



AERIAL VIEW



STREET VIEW A FROM FLETCHER PLACE



STREET VIEW B FROM COLCHESTER AVENUE

ELIZABETH'S PLACE

SECTIONS AND VIEWS

01/21/16