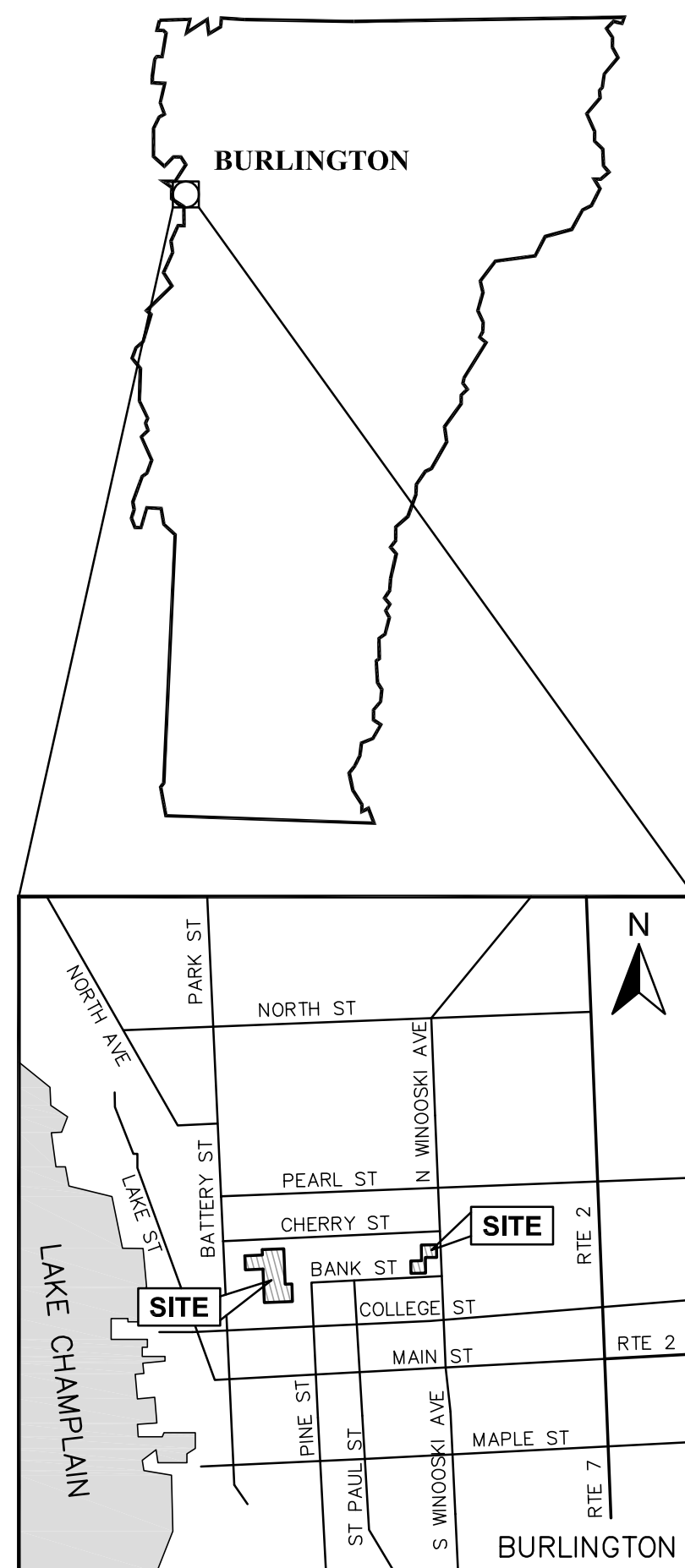


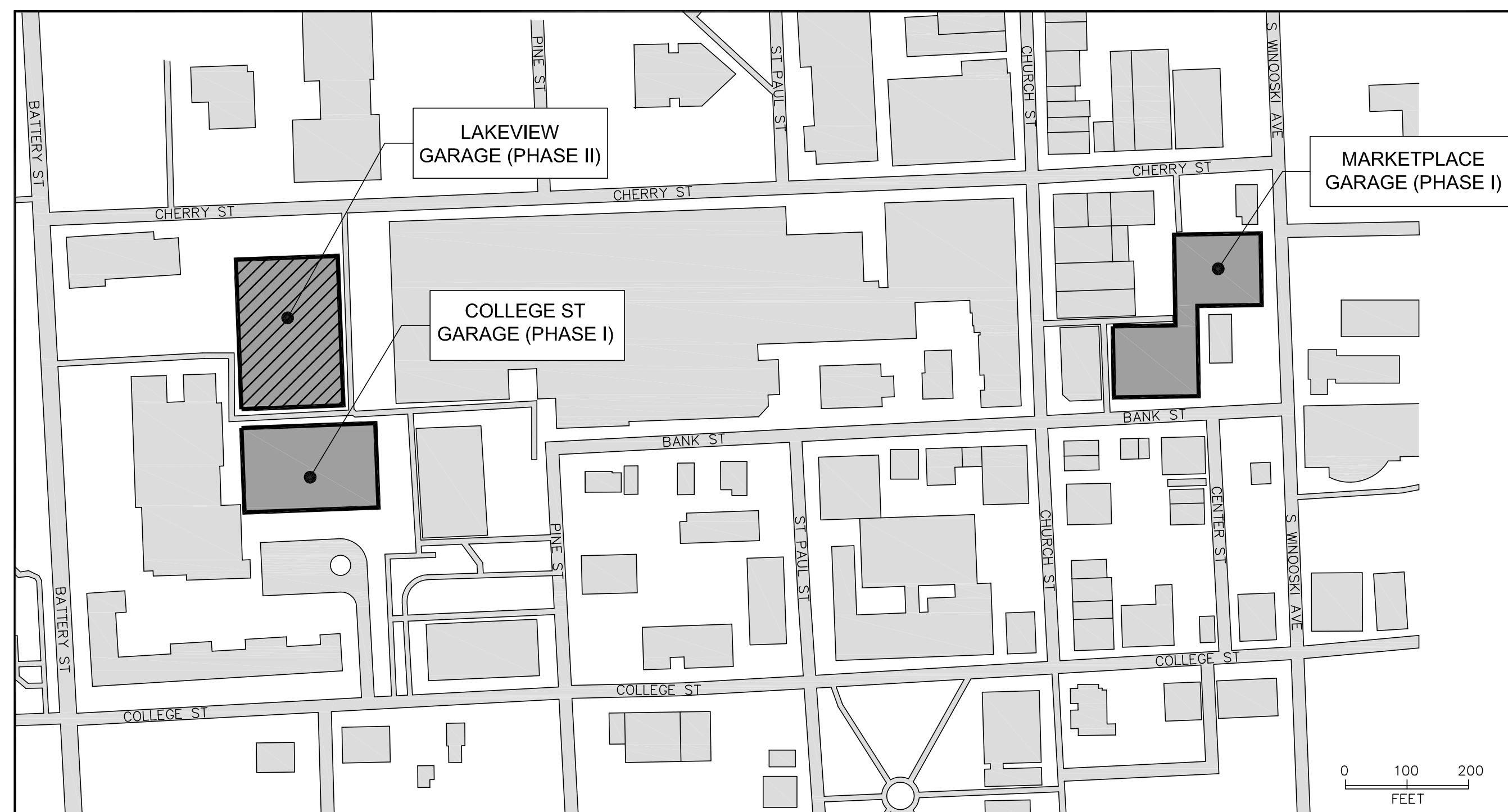
REPAIR PLANS FOR MARKETPLACE PARKING GARAGE - PHASE I BURLINGTON, VT



JULY, 2015



LOCATION MAP
NOT TO SCALE



PARKING GARAGE LOCATIONS

CLIENT

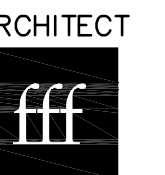
CITY OF BURLINGTON
DEPARTMENT OF PUBLIC WORKS
645 PINE STREET
BURLINGTON, VT 05401
PN: (802) 863-9094

LIST OF DRAWINGS

DWG #	SHEET#	DWG NAME
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SM0.1	3	QUANTITIES & SCHEDULES
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SM1.1	5	LEVEL 2 STRUCTURAL PLAN
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AM2.0	13	ELEVATOR / STAIR A EXTERIOR ELEVATIONS
AM2.1	14	ELEVATOR / STAIR A EXTERIOR ELEVATIONS
AM3.0	15	ELEVATOR / STAIR A BUILDING SECTIONS
AM3.1	16	ELEVATOR / STAIR A BUILDING SECTIONS
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EM2.1	21	PROPOSED LEVEL 2 LIGHTING PLAN
EM2.2	22	PROPOSED LEVEL 3 LIGHTING PLAN
MM1.1	23	MECHANICAL DEMO & NEW WORK PLANS
MM3.1	24	MECHANICAL CONTROLS DIAGRAMS
MM5.1	25	PLUMBING & MECHANICAL SCHEDULES
PM1.1	26	PLUMBING DEMOLITION & NEW WORK PLANS



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DWN BY	CHK BY	DATE	DESCRIPTION	REV.
JHV	JAO	07/07/15	1	BID SET

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SCALE: AS SHOWN
DATE: JULY, 2015

PROJECT: MARKETPLACE GARAGE RENOVATIONS - PHASE I BURLINGTON, VERMONT
DRAWING NAME: TITLE SHEET

SHEET NO. **TM1.0**
PROJECT NO. 909044
SHEET 1 OF 26



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1	07/07/15
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CHK BY	JAO
DWN BY	JHV
SCALE:	AS SHOWN
DATE:	JULY, 2015

PROJECT: MARKETPLACE GARAGE RENOVATIONS - PHASE I BURLINGTON, VERMONT
 DRAWING NAME: STRUCTURAL NOTES

SHEET NO.
SMO.0
 PROJECT NO. 909044
 SHEET 2 OF 26

GENERAL NOTES

- GENERAL NOTES SHALL APPLY TO ALL DRAWINGS PREPARED BY HOYLE, TANNER & ASSOCIATES (HOYLE, TANNER), FREEMAN FRENCH FREEMAN (FFF), KIRICK ASSOCIATES (KIRICK) AND LN CONSULTING (LN) AND THE WORK THEY CONVEY.
- ALL WORK SHALL CONFORM TO ALL FEDERAL, STATE AND LOCAL CODES, REGULATIONS AND STANDARDS, THE MORE STRINGENT OF WHICH SHALL GOVERN.
- QUALITY CONTROL SUCH AS TESTING, CERTIFICATIONS, AND SUBMITTALS SHALL BE IN ACCORDANCE WITH PROJECT SPECIFICATIONS. ADEQUATE TIME SHALL BE GIVEN FOR ENGINEER REVIEW.
- THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS AND COORDINATION OF OTHER TRADES.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SITE SAFETY SHALL SOLELY BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL DIMENSIONS, ELEVATIONS AND CONDITIONS MUST BE VERIFIED BY THE GENERAL CONTRACTOR OR RESPONSIBLE TRADES PRIOR TO COMMENCING WITH THE WORK, FABRICATION OR ORDERING MATERIALS. DO NOT SCALE DRAWINGS, USE DIMENSIONS SHOWN.
- ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND AS-BUILT CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- UNDER NO CIRCUMSTANCES SHALL THE CONSTRUCTION LOAD ON THE STRUCTURE EXCEED THE DESIGN LOAD WITHOUT SPECIFIC WRITTEN PERMISSION FROM THE ENGINEER.
- HOYLE, TANNER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS THAT ARISE DUE TO THE FAILURE OF THE CONTRACTOR:
 - TO FOLLOW THESE DRAWINGS AND SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY.
 - TO NOTIFY HOYLE, TANNER OF ANY DISCREPANCIES, ERRORS, OMISSIONS OR CONFLICTS AND OBTAIN THEIR GUIDANCE TO RESOLVE.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL WASTE BUILDING MATERIAL, CONCRETE, MASONRY, WOOD, DEBRIS AND OTHER MATERIALS NECESSARY FOR THE SATISFACTORY COMPLETION OF THE CONTRACT WORK AND AS REQUIRED BY THE OWNER. CONSTRUCTION DEBRIS SHALL BE DISPOSED OF IN STRICT ACCORDANCE WITH VERMONT LAW. REMOVAL AND DISPOSAL COSTS SHALL BE INCIDENTAL TO THEIR RESPECTIVE PAY ITEMS.
- ALL PORTIONS OF THE STRUCTURE SHOWN ARE EXISTING UNLESS OTHERWISE NOTED.
- HEIGHT AND WEIGHT RESTRICTIONS APPLY, CONTRACTOR TO CONFIRM CONSTRUCTION VEHICLE ACCESS WITH ENGINEER PRIOR TO CONSTRUCTION.
- THESE DRAWINGS HAVE BEEN DEVELOPED BASED ON THE 1976 RECORD DRAWINGS. AN ELECTRIC COPY OF THESE DRAWINGS CAN BE PROVIDED TO THE CONTRACTOR UPON NOTICE OF AWARD.
- THE CITY WILL BE CONDUCTING A WAYFINDING SIGNAGE PROJECT CONCURRENTLY WITH THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH THE CITY AND ALLOW FOR ACCESS FOR SIGNAGE INSTALLATION. CITY SHALL PROVIDE AN ELECTRONIC COPY OF THE WAYFINDING PLANS UPON CONTRACT AWARD.
- CONTRACTOR SHALL LOCATE PT STRAND LOCATIONS BY NON DESTRUCTIVE MEANS AND PRE-MARK ON SLABS AND BEAMS WHERE SUBCONTRACTOR WORK IS TO OCCUR. CONTRACTOR SHALL COORDINATE THAT NO DRILLING OR FASTENING IS TO OCCUR WITHIN 6" OF STRAND LOCATIONS.

DEMOLITION NOTES

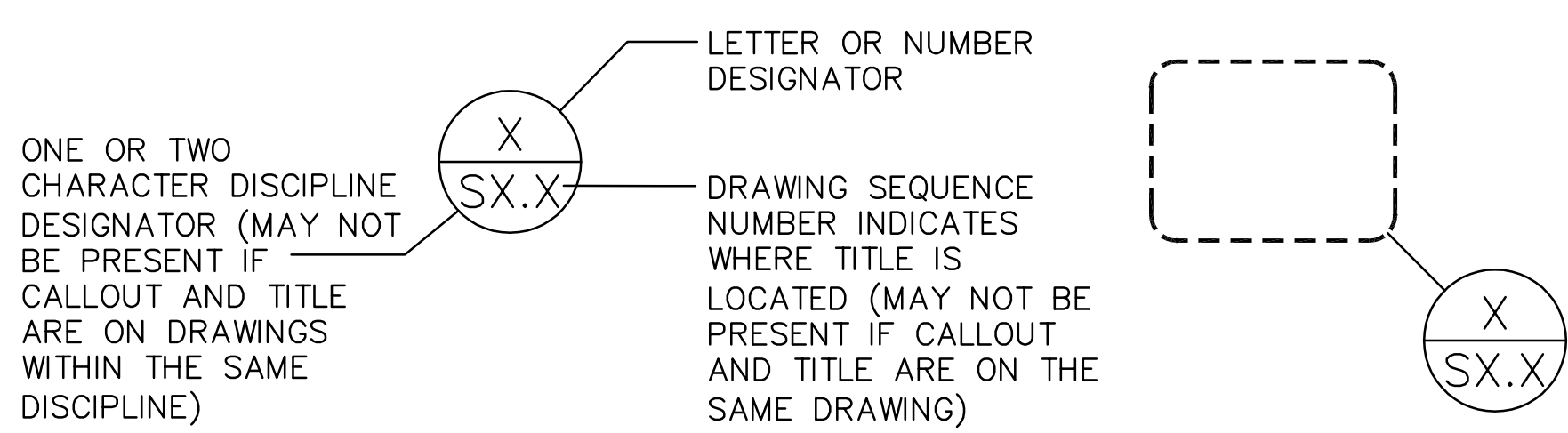
- CONTRACTOR IS RESPONSIBLE FOR COMPLETING DEMOLITION WORK UTILIZING MEANS AND METHODS TO PROTECT WORKERS, PEDESTRIANS, AND VEHICLES AND PREVENT DAMAGE TO STRUCTURAL MEMBERS.
- DAMAGE ARISING FROM DEMOLITION WORK SHALL BE REPAIRED/REPLACED AS PROPOSED AND SUBMITTED BY CONTRACTOR FOR REVIEW, COMMENT, AND APPROVAL BY THE OWNER AND THE ENGINEER. ALL COSTS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL DESCRIBE DEMOLITION METHODS IN THE PRE-CONSTRUCTION MEETING.
- REMOVAL OF EXISTING CONCRETE FOR ITEMS 030130 IS INCLUDED IN THE RELEVANT PAY ITEMS AS IDENTIFIED IN THE TECHNICAL SPECIFICATIONS.

TRAFFIC CONTROL NOTES

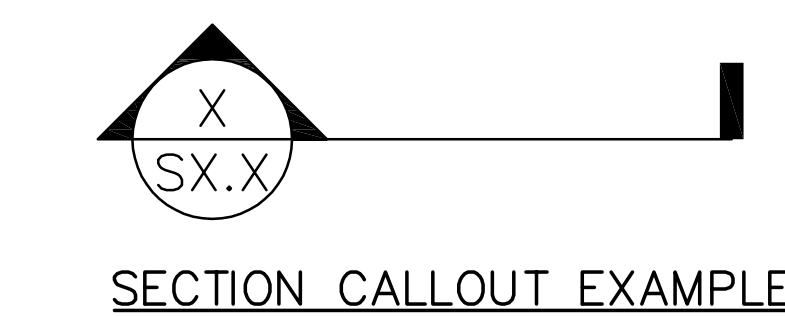
- THE CONTRACTOR IS REQUIRED TO SUBMIT A PROPOSED TRAFFIC CONTROL PLAN (TCP) TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING THE WORK. THE TCP SHALL INDICATE THE LOCATION OF SPACES THAT WILL BE TAKEN OUT OF SERVICE DURING EACH PHASE OF CONSTRUCTION. A DETAILED LIST OF ALL TRAFFIC CONTROL SIGNS AND BARRIERS TO BE USED SHALL BE INCLUDED IN THE TCP.
- THE CONSTRUCTION SITE SHALL INCLUDE ADVANCE WARNING AND GUIDANCE SIGNS.
- THE CONTRACTOR SHALL PHASE THE CONSTRUCTION ACTIVITIES TO MAINTAIN EXISTING TRAFFIC PATTERNS WITHIN THE GARAGE AND MINIMIZE DISRUPTION TO THE GARAGE PATRONS. TRAFFIC CONTROL SHALL INCLUDE ADVANCE NOTIFICATION OF PARKING STALL CLOSURES (2 DAY MINIMUM) WITH PLACARDS PLACED AT STALLS / LEVELS CLEARLY IDENTIFYING WHEN VEHICLES MUST BE MOVED BY. CITY SHALL COORDINATE VEHICLE TOWING AS NECESSARY.
- THE CONTRACTOR SHALL CONDUCT THE WORK TO MINIMIZE THE NUMBER OF PARKING SPACES TAKEN OUT OF SERVICE THAT INCLUDES AREAS FOR MATERIAL STORAGE, TEMPORARY TRAFFIC PATTERNS, AND CONTRACTOR VEHICLES AND EQUIPMENT. 60 SPACES PER LEVEL, AND 120 TOTAL SPACES MAY BE CLOSED AT ONE TIME.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE CLOSURES WITH BARRICADES ABOVE AND BELOW THE WORK AREAS TO PROTECT PEDESTRIANS AND VEHICLES AND PREVENT THEM FROM ENTERING THE WORK ZONE.
- ACCESS SHALL BE MAINTAINED TO ELEVATORS AND STAIR TOWERS AT ALL TIMES.
- ALL TRAFFIC CONTROL SHALL COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
- ALL WORK ASSOCIATED WITH VEHICULAR/PEDESTRIAN TRAFFIC CONTROL SHALL BE INCLUDED IN PAY ITEM 012000.02

CONCRETE NOTES:

- ALL CONCRETE WORK SHALL CONFORM TO ACI 318-14 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
- REFERENCE SPECIFICATION SECTION 030130, 033000 AND 321313 FOR CONCRETE MIX AND EXECUTION INFORMATION.
- CONCRETE EXPOSED TO WEATHER OR FREEZING SHALL BE AIR-ENTRAINED. ALL CONCRETE SHALL BE CONSIDERED AS CONCRETE EXPOSED TO WEATHER AND FREEZING CONDITIONS.
- CONTROLLED CONCRETE SHALL BE USED AND SHALL BE PROPORTIONED, MIXED AND PLACED UNDER SUPERVISION OF AN APPROVED CONCRETE TESTING LABORATORY.
- ALL CONCRETE SURFACES SHALL BE COMPLETELY CLEANED FROM ANY DIRT, TRASH OR OTHER CONTAMINATION TO THE SURFACE BEFORE POURING NEW CONCRETE.



SECTION, DETAIL, AND ELEVATION SYMBOL IDENTIFIERS



ABBREVIATIONS

AB	ANCHOR BOLT	MAX	MAXIMUM
ARCH &	ARCHITECT AND	MECH	MECHANICAL
BLDG	BUILDING	MFR	MANUFACTURER
BM	BEAM	MIN	MINIMUM
BOT	BOTTOM	MISC	MISCELLANEOUS
BRG	BEARING	NF	NEAR FACE
C	CHANNEL	NO	NUMBER
CANT	CANTILEVER	NS	NEAR SIDE
CIP	CAST-IN-PLACE	NTS	NOT TO SCALE
CONC	CONCRETE	OC, O/C	ON CENTER
CJ	CONTROL JOINT	OF	OUTSIDE FACE
CL, C	CENTERLINE	OPP	OPPOSITE
CLR	CLEAR	P	PIER DESIGNATION
CMU	CONCRETE MASONRY UNIT	PL, P	PLATE
CNJ	CONSTRUCTION JOINT	PAF	POWDER ACTUATED FASTENER
COL	COLUMN	PREFAB	PREFABRICATED
CONT	CONTINUOUS	PSF	POUNDS PER SQUARE FOOT
CY	CUBIC YARD	PSI	POUNDS PER SQUARE INCH
DIA, Ø	DIAMETER	PT	POST TENSIONING
DIM	DIMENSION	REINF	REINFORCING STEEL
DWG	DRAWING	REQ, REQD	REQUIRED
DT	DOUBLE TEE	RD	ROOF DRAIN
(E), EX, EXIST	EXISTING	SC	SLIP CRITICAL
EA	EACH	SIM	SIMILAR
EF	EACH FACE	SOG	SLAB-ON-GRADE
EL, ELEV	ELEVATION	SPECS	SPECIFICATIONS
EOD	EDGE OF DECK	SS	STAINLESS STEEL
EQ	EQUAL	STD	STANDARD
EQUIP	EQUIPMENT	STIFF	STIFFENER
ES	EACH SIDE	STL	STEEL
EW	EACH WAY	STR	STRAIGHT
EXP	EXPANSION	STRUCT	STRUCTURAL
F	FOOTING DESIGNATION	T	TOP
FD	FLOOR DRAIN	T&B	TOP AND BOTTOM
FDN	FOUNDATION	TOC, T/CONC	TOP OF CONCRETE
FF	FINISH FLOOR	TOF, T/FTG	TOP OF FOOTING
FLR	FLOOR	TEK	STEEL SELF-DRILLING/SELF-TAPPING SCREW
FT	FOOT	TEMP	TEMPERATURE
FTG	FOOTING	T/SHELF	TOP OF SHELF
G	GAGE	T/SLAB	TOP OF SLAB
GALV	GALVANIZED	T/STL	TOP OF STEEL
GC	GENERAL CONTRACTOR	T/WALL	TOP OF WALL
HOR, HORIZ	HORIZONTAL	TYP	TYPICAL
HSS	HOLLOW STRUCTURAL	UNO	UNLESS NOTED OTHERWISE
HT	HEIGHT	VER, VERT	VERTICAL
IF	INSIDE FACE	VIF	VERIFY IN FIELD
IN	INCH	W	STRUCTURAL STEEL WIDE FLANGE
JT	JOINT	W/	WITH
K	KIP (1 KIP = 1,000 LBS)	W/O	WITHOUT
KSI	KIPS PER SQUARE INCH	WP	WORK POINT
L	ANGLE	WT	WEIGHT
LL	DOUBLE ANGLE	WWF	WELDED WIRE FABRIC
LB	POUND		
LF	LINEAR FOOT		

**ESTIMATE OF QUANTITIES
(NOT GUARANTEED)**

1. THE ESTIMATE OF QUANTITIES SHOWN IS FOR BIDDING PURPOSES ONLY AND HAS BEEN ESTIMATED BASED OFF OF FIELD MEASUREMENTS. WORK NOT SHOWN ON THE TABLE SHALL BE CONSIDERED INCIDENTAL TO RELEVANT ITEMS.
2. IN THE EVENT OF CONFLICT BETWEEN QUANTITIES SHOWN HERE AND QUANTITIES ON BID FORM, VALUES ON BID FORM SHALL GOVERN.

ITEM NO	ITEM DESCRIPTION	Quantity	
		Unit	Amount
011000.02	MOBILIZATION/DEMOLIBILIZATION	LS	1
012000.02	TRAFFIC CONTROL	LS	1
024119.02	EXISTING CONCRETE REMOVAL	SF	290
024119.31	SPANDREL BEAM REMOVAL/REATTACHMENT	LS	1
030130.02	ROUTE AND SEAL CONCRETE CRACK	LF	230
030130.22	HORIZONTAL CONCRETE PATCH REPAIR TYPE II	SF	880
030130.42	CATHODIC PROTECTION	EA	880
033000.21	REINFORCING STEEL	LB	50
058000.11	STAIR TREAD REATTACHMENT/ TOWER - MPG	EA	200
071900.02	PENETRATING SEALER/CORROSION INHIBITOR	GAL	65
076200.01	FLASHINGS AND COUNTER FLASHINGS	LF	75
076200.02	COPING REPAIR	LF	70
084413.01	CURTAIN WALL REPAIR - LOWER GLASS X2 - MPG	LS	1
088000.01	GLAZING	SF	100
099600.04	COATING INTERIOR CONCRETE MASONRY UNITS	SF	100
099600.05	COATING INTERIOR METAL SURFACE	LS	1
099600.06	COATING INTERIOR FERROUS-METAL	LS	1
099600.07	COATING INTERIOR GALVANIZED METAL	LS	1
099600.08	COATING EPOXY FLOOR COATING	SF	100
099723.01	EPOXY FLOOR COATING & BASE (EMR & ESHAFT)	LS	1
140500.01	ELEVATOR TOWER / MACHINE ROOM INCIDENTAL ITEMS (PH 1)	LS	1
142400.01	ELEVATOR CAR REPLACEMENT - MPG	LS	1
220500.11	EXISTING LEVEL 1 CHERRY ST. TRENCH DRAIN DEMOLITION	LF	8
221009.11	NEW LEVEL 1 CHERRY ST. TRENCH DRAIN	EA	1
230500.11	ELEVATOR MACHINE ROOM MECHANICAL AND PLUMBING SCOPE	LS	1
260500.11	DATA CABLING	LF	250
260500.12	DISCONNECTS	EA	1
260500.13	DEMOLITION	LS	1
260500.15	NEW CONTROL RELAY	EA	1
260500.16	HVAC CONNECTIONS	EA	3
260500.17	ELEVATOR CIRCUIT RECONNECTIONS	EA	2
260533.11	JUNCTION BOXES	EA	1
260533.12	RACEWAY	LF	200
260533.14	REPAIR TO EXISTING FLOOR JUNCTION BOXES	EA	2
261519.11	CONDUCTORS	LF	200
262726.11	RECEPTACLES	EA	1
262726.12	EQUIPMENT SWITCHES	EA	1
265210.11	WALL AND CEILING LIGHT FIXTURES	EA	6
265210.12	EMERGENCY LIGHT FIXTURES	EA	2
265210.13	SIGNAGE LIGHTING	EA	3
323119.01	ORNAMENTAL FENCING - MPG	LS	1
321123.01	AGGREGATE BASE COURSE	CY	6
321313.01	CONCRETE SIDEWALK	SF	130
321313.11	CAST-IN-PLACE CONCRETE CURB	LF	35
321313.12	CAST-IN-PLACE CONCRETE PAVEMENT	SF	130
323119.01	ORNAMENTAL FENCING & GATE- MPG	LS	1



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REV.	DESCRIPTION	DATE
1	BID SET	07/07/15

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DWN BY	CHK BY	SCALE:	DATE:
JHV	JAO	AS SHOWN	JULY, 2015

PROJECT
MARKETPLACE GARAGE RENOVATIONS - PHASE I
BURLINGTON, VERMONT

DRAWING NAME
QUANTITIES & SCHEDULES

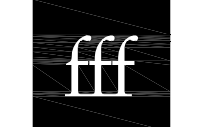
SHEET NO.
SM0.1
PROJECT NO. 909044
SHEET 3 OF 26



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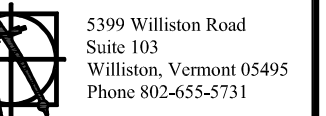
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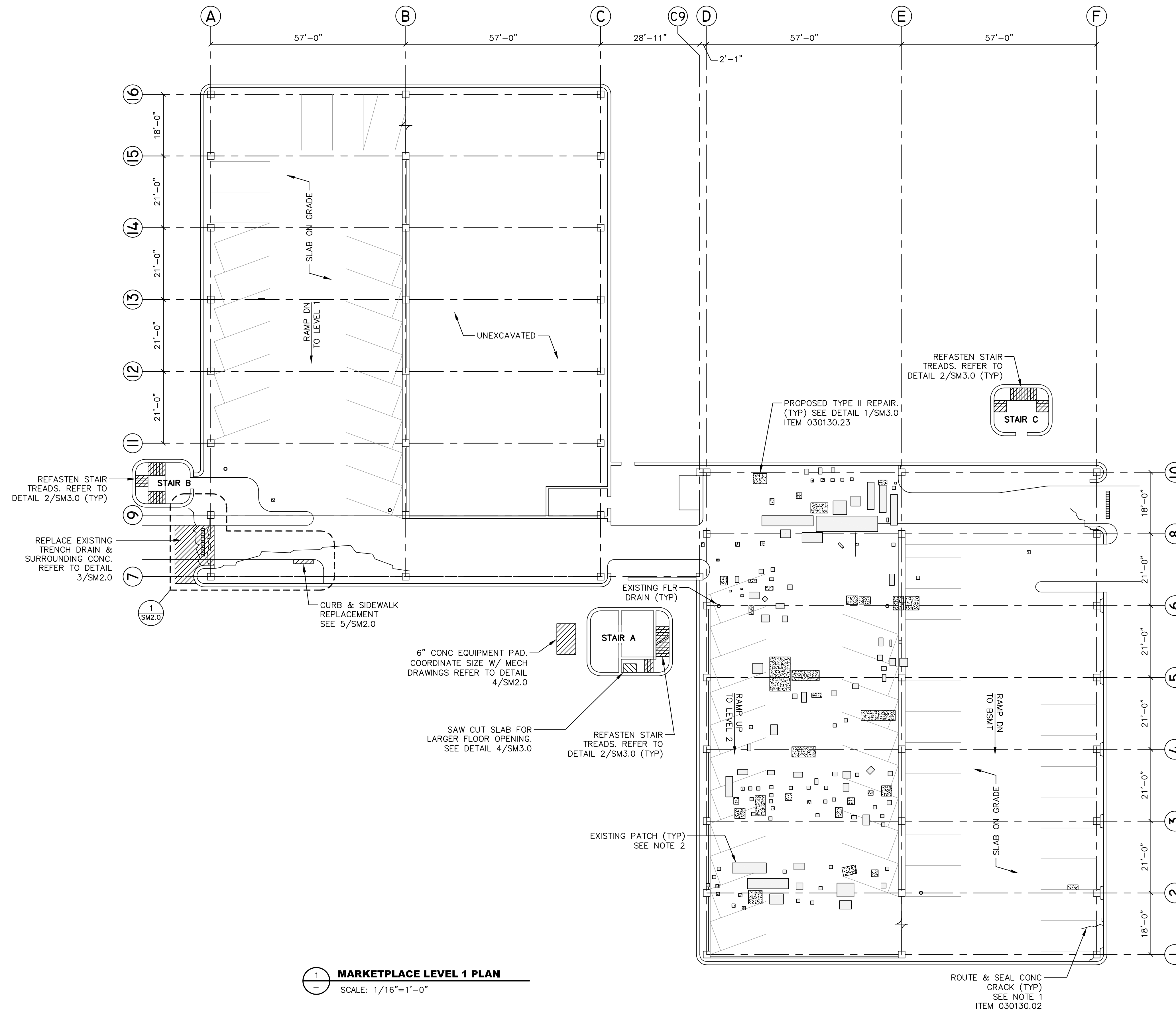
DWN BY	CHK BY	SCALE	DATE
JHV	JAO	AS SHOWN	JULY, 2015

PROJECT: MARKETPLACE GARAGE RENOVATIONS - PHASE I
BURLINGTON, VERMONT
DRAWING NAME: LEVEL 1 STRUCTURAL PLAN

SHEET NO.

SM1.0

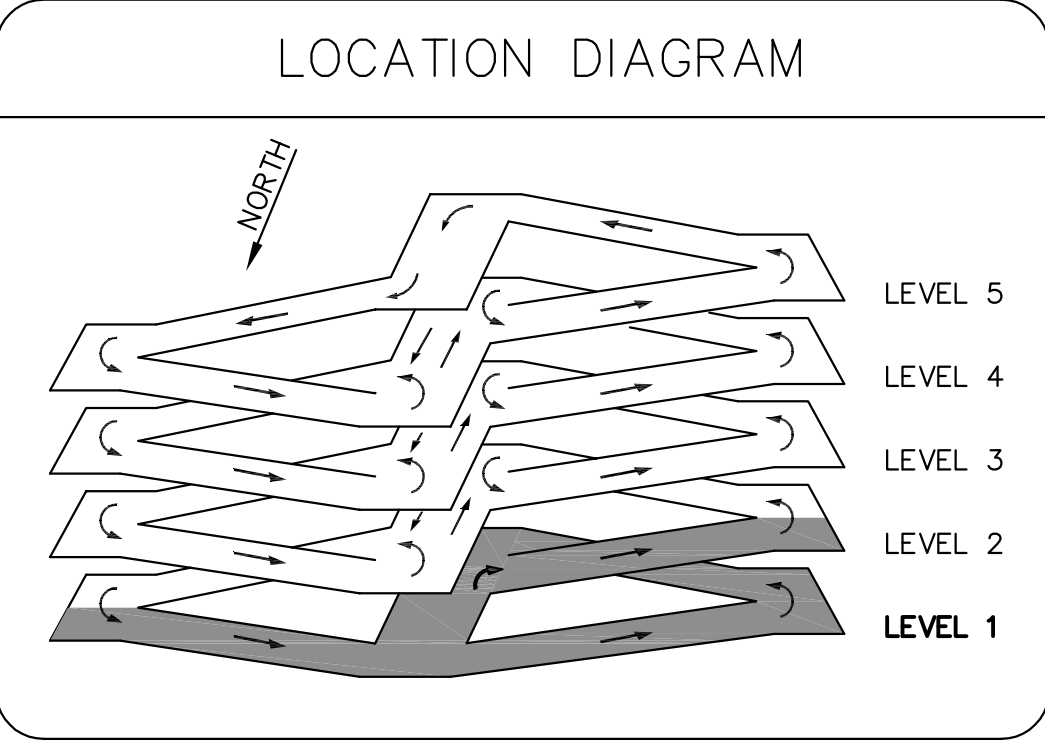
PROJECT NO. 909044
SHEET 4 OF 26



LEGEND

- EXISTING CONCRETE COL.
- EXISTING TRENCH DRAIN
- EXISTING FLOOR DRAIN
- AREA OF MISC NEW WORK
- EXISTING FLOOR SURFACE SPALL PATCH
- REPLACE/NEW SURFACE SPALL PATCH. SEE 1/SM3.0
- CRACK IN CONC TO BE REPAIRED

- NOTES:**
- COORDINATE WITH RESIDENT ENGINEER TO JOINTLY LOCATE CRACK LOCATIONS. ROUTE AND SEAL CONCRETE CRACK AT THE DISCRETION OF THE RESIDENT ENGINEER. SEE TECHNICAL SPECIFICATIONS FOR PROCEDURE AND ADDITIONAL INFORMATION.
 - COORDINATE WITH RESIDENT ENGINEER TO LOCATE AND IDENTIFY SOUND EXISTING PATCHES, REPLACEMENTS AND NEW SPALL PATCH REPAIRS. REPLACE EXISTING PATCH AT THE DISCRETION OF THE RESIDENT ENGINEER PER DETAIL 1/SM3.0. (ITEM 030130.22) APPLY PENETRATING SEALER/CORROSION INHIBITOR MIN. 1" BEYOND PATCH LIMITS. TO ALL PATCHES THAT ARE NOT REPLACED, ITEM 071900.02
 - LEVELS IDENTIFIED FROM GRIDS 8 & 9



1
1

MARKETPLACE LEVEL 1 PLAN
SCALE: 1/16"=1'-0"



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DWN BY	CHK BY	SCALE:	DATE:
JHV	JAO	AS SHOWN	JULY, 2015

PROJECT: MARKETPLACE GARAGE RENOVATIONS - PHASE I
 BURLINGTON, VERMONT

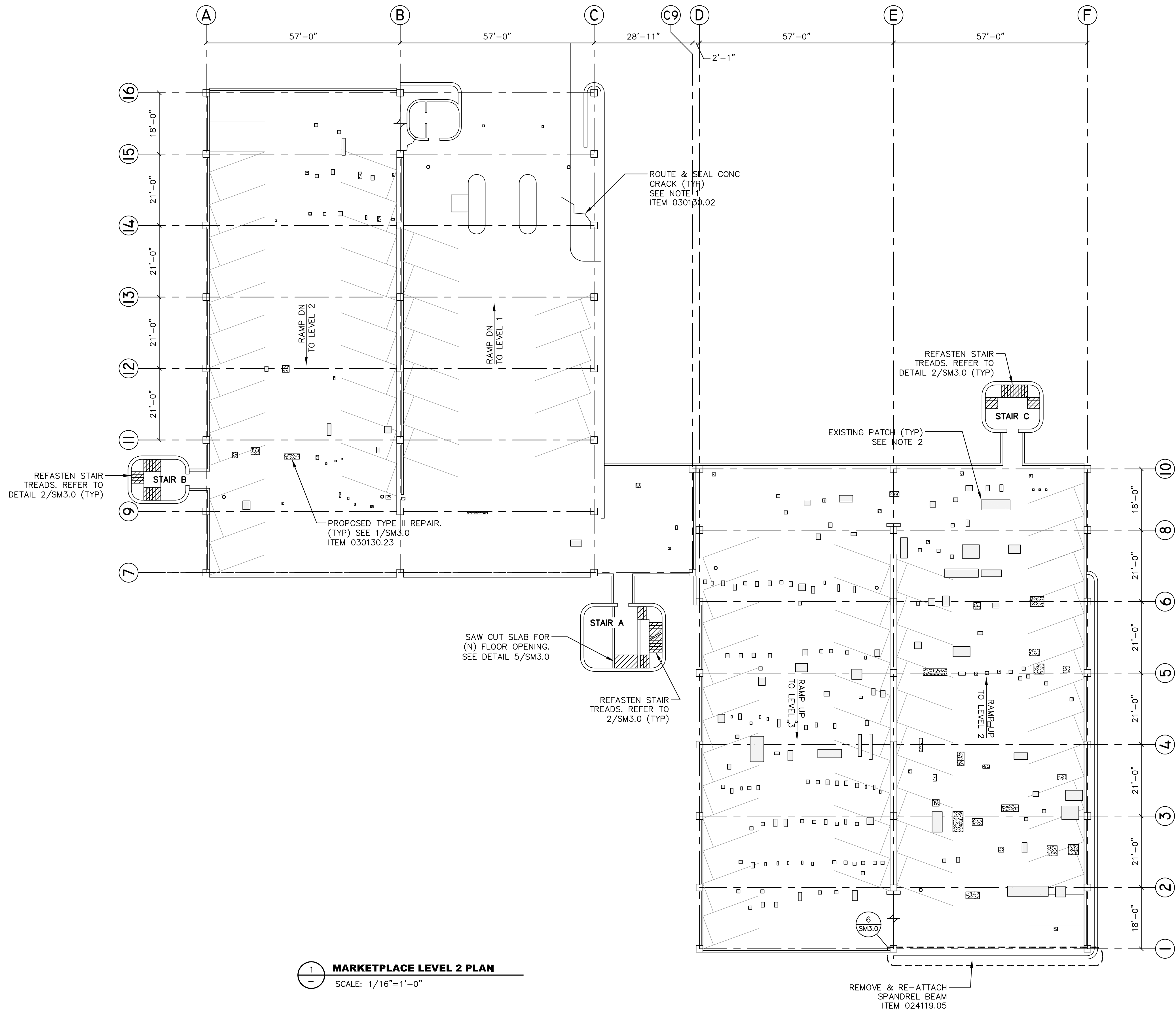
DRAWING NAME: LEVEL 2 STRUCTURAL PLAN

SHEET NO.

SM1.1

PROJECT NO. 909044

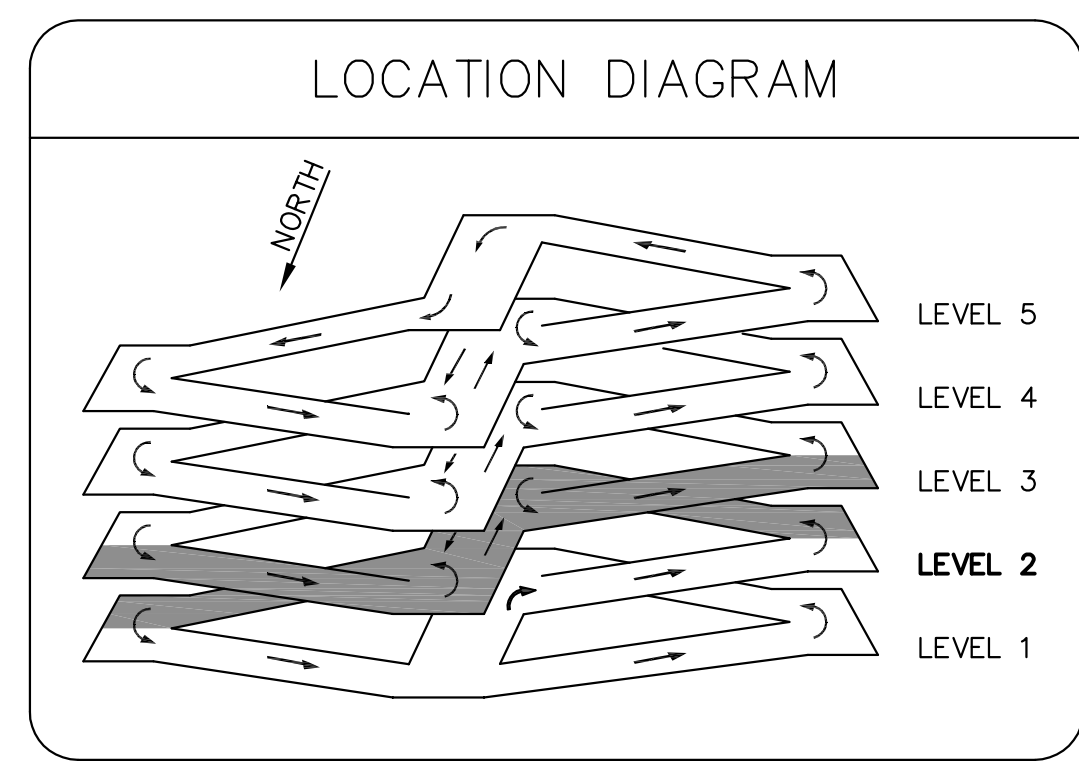
SHEET 5 OF 26



LEGEND

- EXISTING CONCRETE COL.
- EXISTING TRENCH DRAIN
- EXISTING FLOOR DRAIN
- AREA OF MISC NEW WORK
- EXISTING FLOOR SURFACE SPALL PATCH
- REPLACE/NEW SURFACE SPALL PATCH. SEE 1/SM3.0
- CRACK IN CONC TO BE REPAIRED

- NOTES:**
- COORDINATE WITH RESIDENT ENGINEER TO JOINTLY LOCATE CRACK LOCATIONS. ROUTE AND SEAL CONCRETE CRACK AT THE DISCRETION OF THE RESIDENT ENGINEER. SEE TECHNICAL SPECIFICATIONS FOR PROCEDURE AND ADDITIONAL INFORMATION.
 - COORDINATE WITH RESIDENT ENGINEER TO LOCATE AND IDENTIFY SOUND EXISTING PATCHES, REPLACEMENTS AND NEW SPALL PATCH REPAIRS. REPLACE EXISTING PATCH AT THE DISCRETION OF THE RESIDENT ENGINEER PER DETAIL 1/SM3.0. (ITEM 030130.22) APPLY PENETRATING SEALER/CORROSION INHIBITOR MIN. 1" BEYOND PATCH LIMITS. TO ALL PATCHES THAT ARE NOT REPLACED, ITEM 071900.02
 - LEVELS IDENTIFIED FROM GRIDS 8 & 9

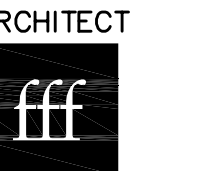


MARKETPLACE LEVEL 2 PLAN
 SCALE: 1/16"=1'-0"



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REV.	DATE	DESCRIPTION
1	07/07/15	BID SET

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DWN BY	CHK BY	SCALE	DATE
JHV	JAO	AS SHOWN	JULY, 2015

PROJECT: MARKETPLACE GARAGE RENOVATIONS - PHASE I
 BURLINGTON, VERMONT

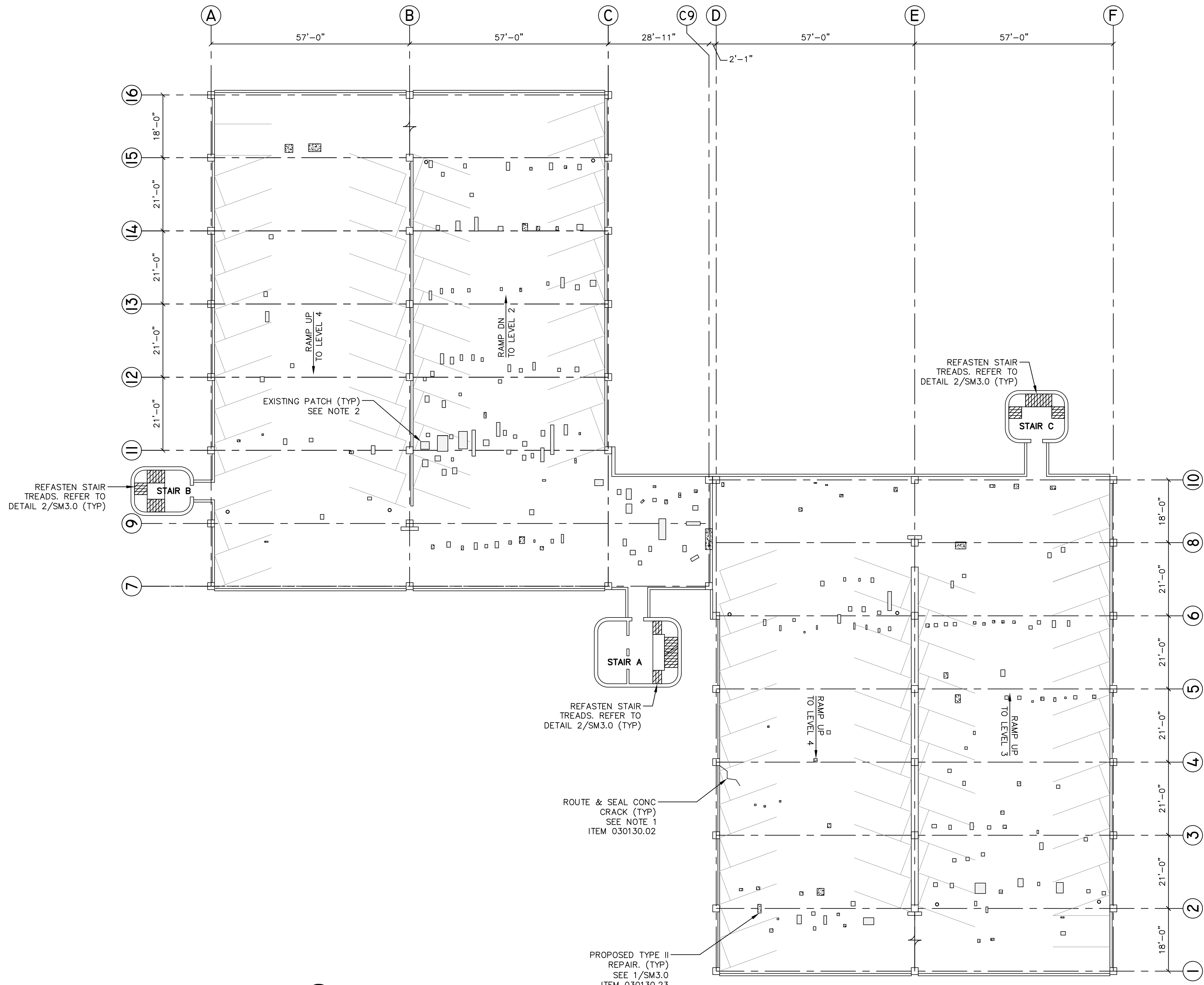
DRAWING NAME: LEVEL 3 STRUCTURAL PLAN

SHEET NO.

SM1.2

PROJECT NO. 909044

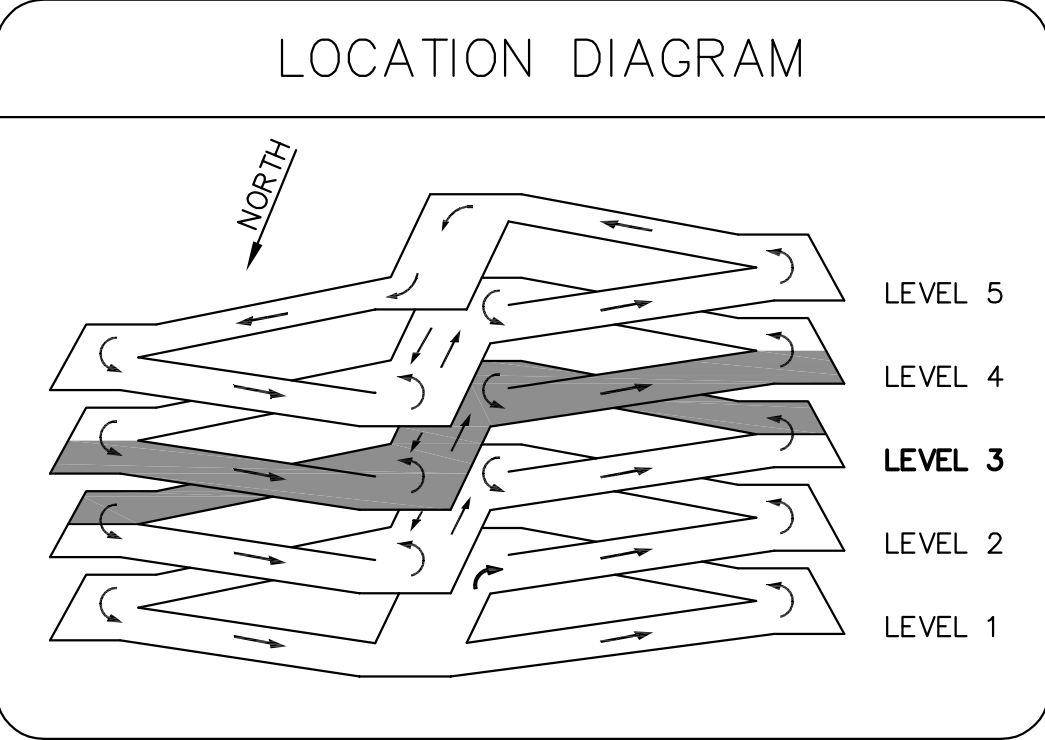
SHEET 6 OF 26



LEGEND

- EXISTING CONCRETE COL.
- EXISTING TRENCH DRAIN
- EXISTING FLOOR DRAIN
- AREA OF MISC NEW WORK
- EXISTING FLOOR SURFACE SPALL PATCH
- REPLACE/NEW SURFACE SPALL PATCH. SEE 1/SM3.0
- CRACK IN CONC TO BE REPAIRED

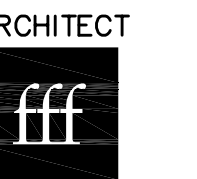
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 - LEVELS IDENTIFIED FROM GRIDS 8 & 9





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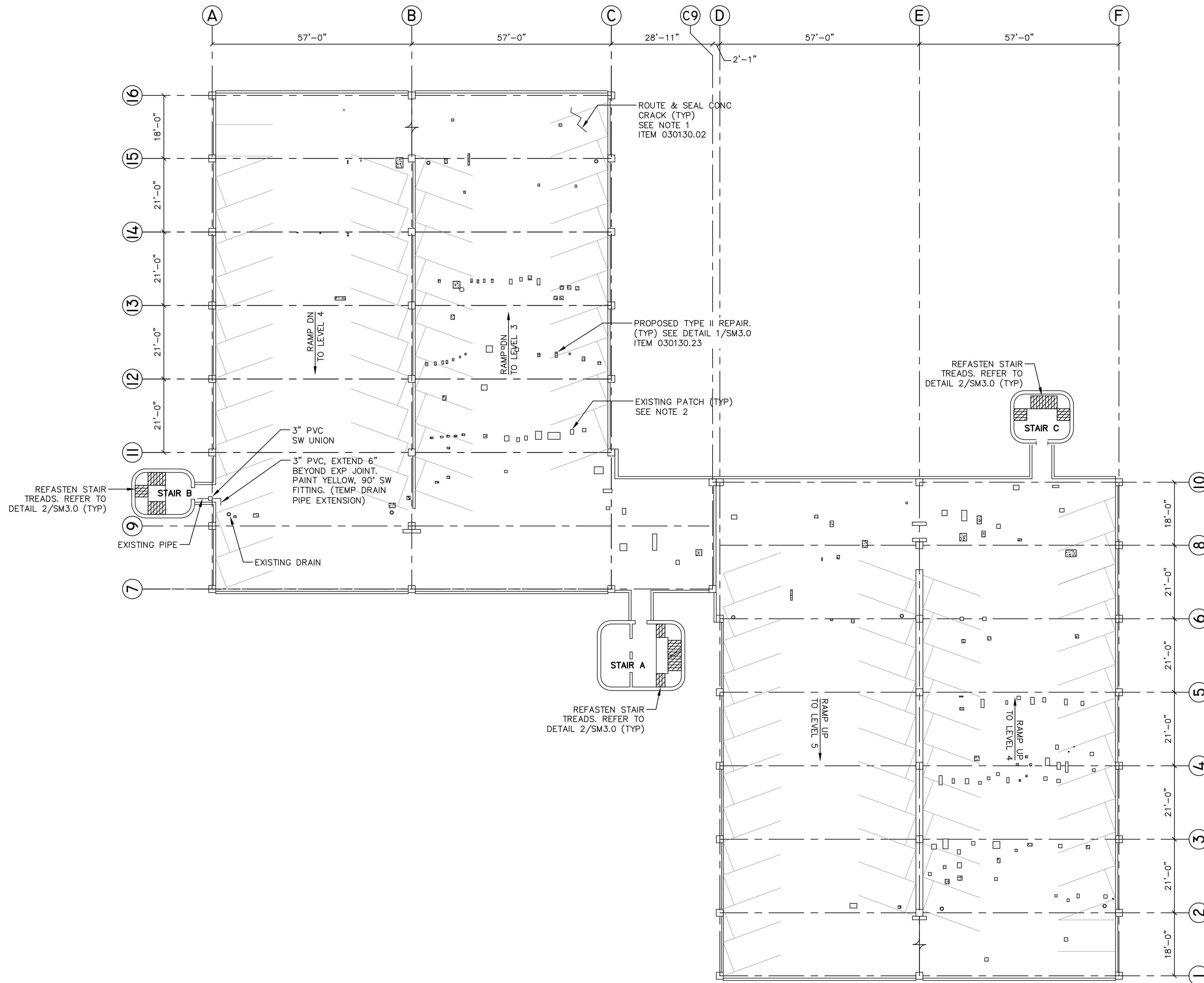


CONSULTING

DWN BY	CHK BY	SCALE	DATE
JHV	JAO	AS SHOWN	JULY, 2015

REV.	DESCRIPTION	DATE
1	BID SET	07/07/15

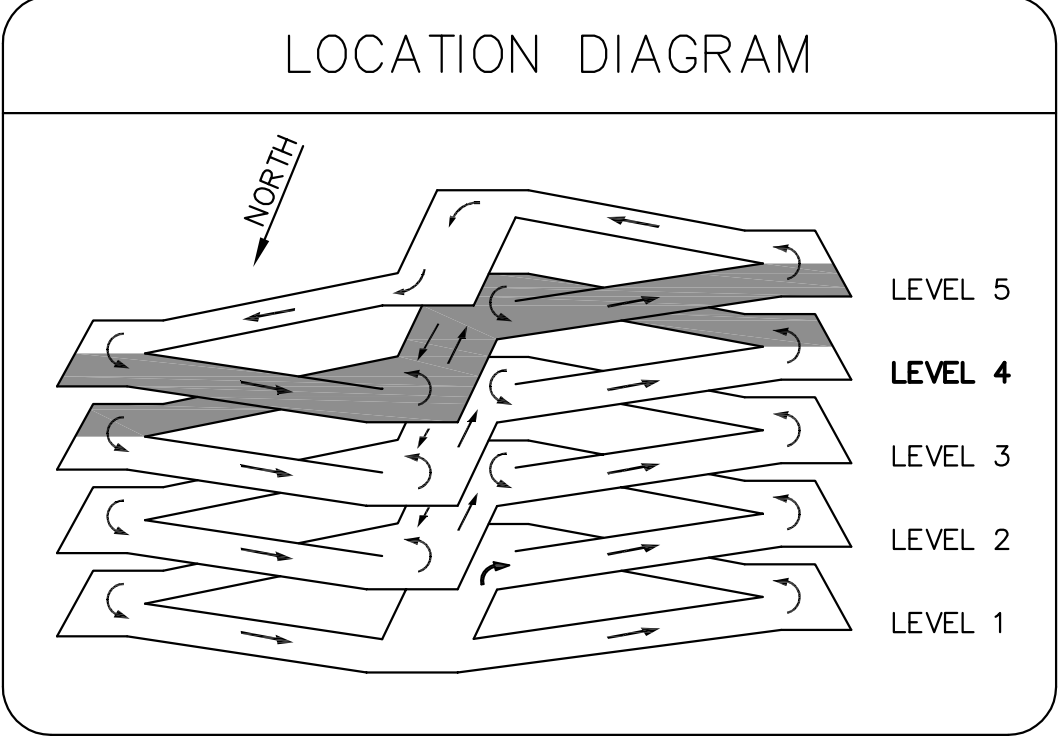
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LEGEND

- EXISTING CONCRETE COL.
- EXISTING TRENCH DRAIN
- EXISTING FLOOR DRAIN
- AREA OF MISC NEW WORK
- EXISTING FLOOR SURFACE SPALL PATCH
- REPLACE/NEW SURFACE SPALL PATCH. SEE 1/SM3.0
- CRACK IN CONC TO BE REPAIRED

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 - LEVELS IDENTIFIED FROM GRIDS 8 & 9



MARKETPLACE LEVEL 4 PLAN
SCALE: 1/16"=1'-0"

SHEET NO.

SM1.3

PROJECT NO. 909044

SHEET 7 OF 26



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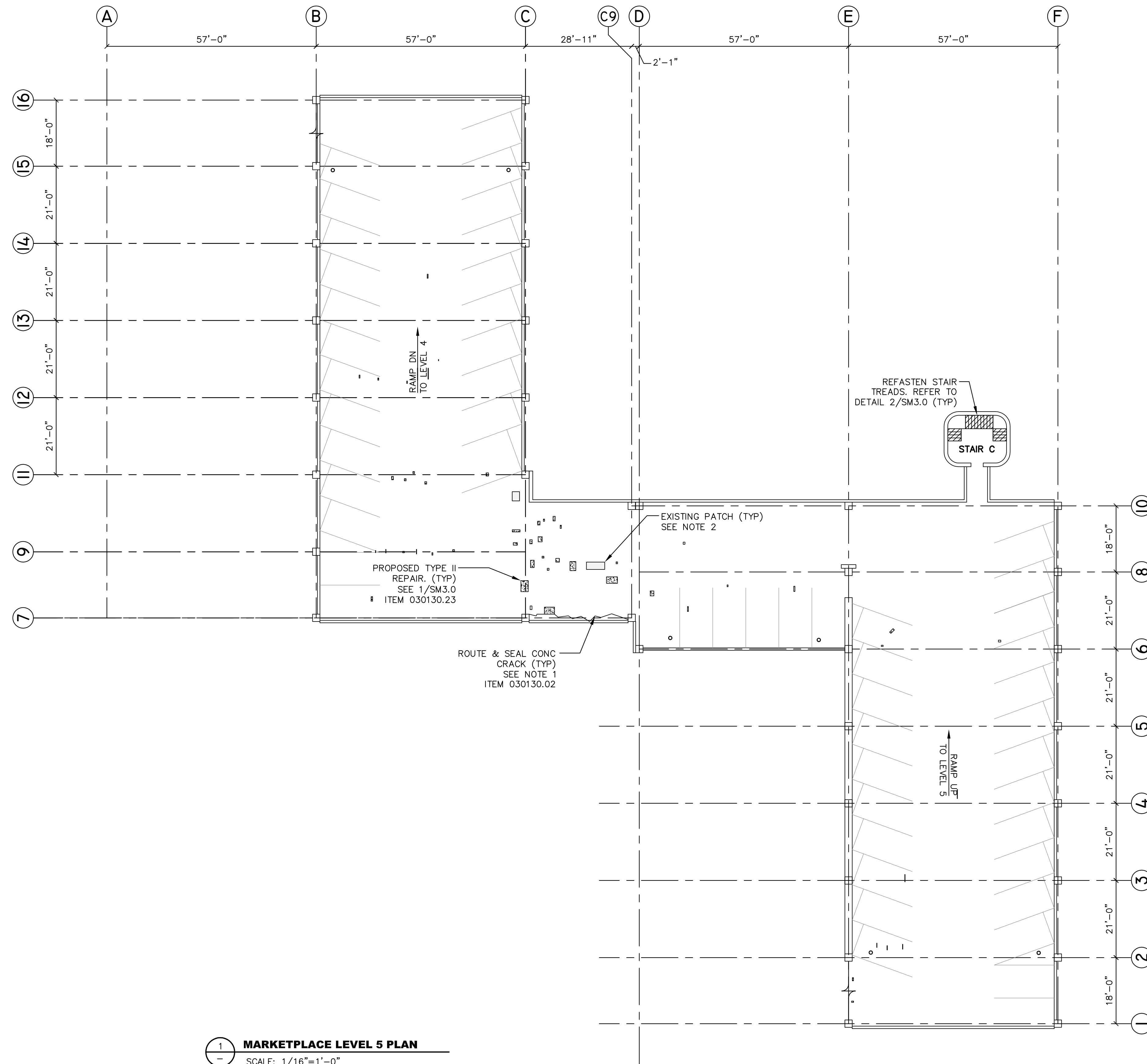
REV.	DESCRIPTION	DATE
1	BID SET	07/07/15

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DWN BY	CHK BY	SCALE	DATE
JHV	JAO	AS SHOWN	JULY, 2015

PROJECT: MARKETPLACE GARAGE RENOVATIONS - PHASE I
 BURLINGTON, VERMONT
 DRAWING NAME: LEVEL 5 STRUCTURAL PLAN

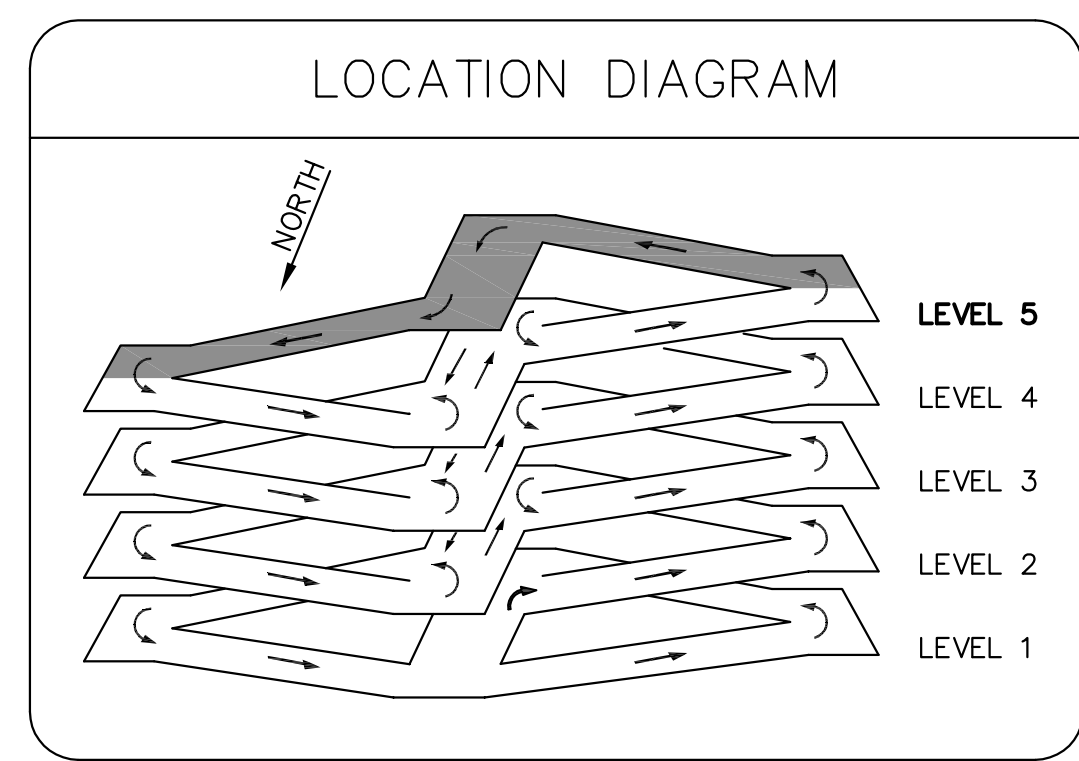
SHEET NO. **SM1.4**
 PROJECT NO. 909044
 SHEET 8 OF 26



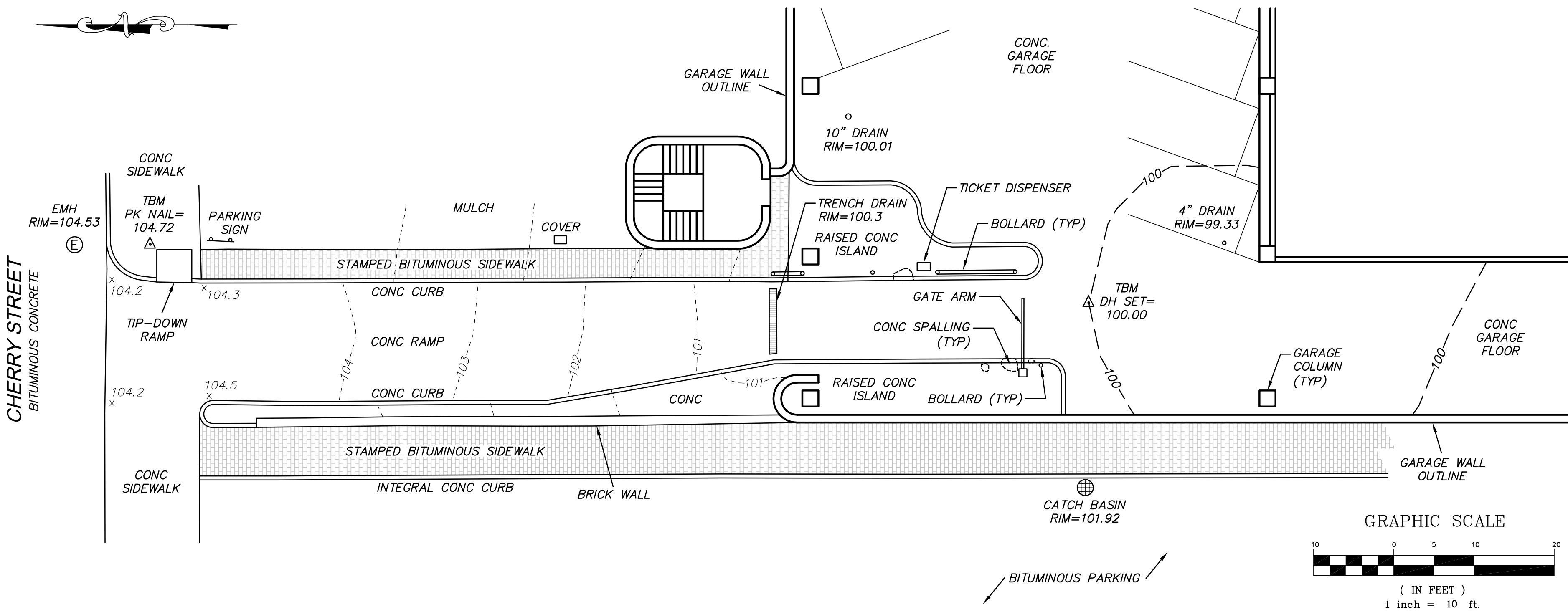
LEGEND

- EXISTING CONCRETE COL.
- EXISTING TRENCH DRAIN
- EXISTING FLOOR DRAIN
- AREA OF MISC NEW WORK
- EXISTING FLOOR SURFACE SPALL PATCH
- REPLACE/NEW SURFACE SPALL PATCH. SEE 1/SM3.0
- CRACK IN CONC TO BE REPAIRED

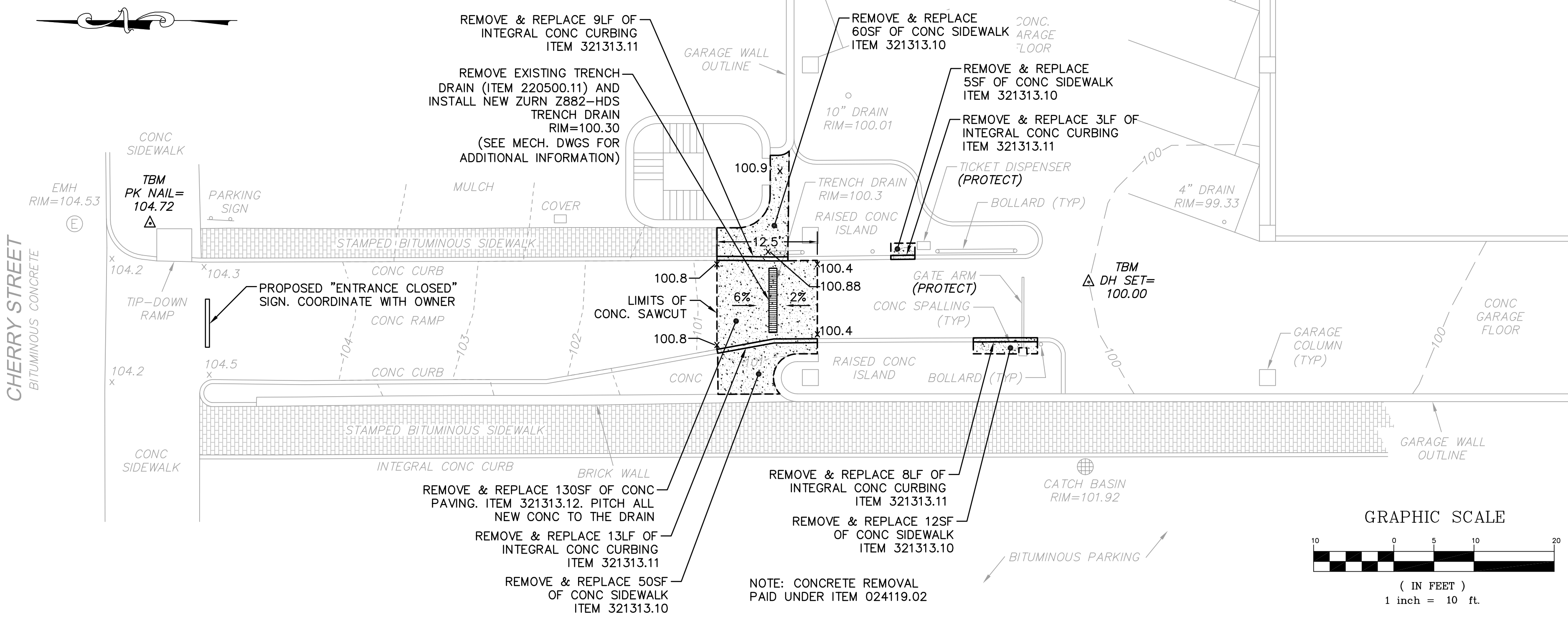
- NOTES:**
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 - LEVELS IDENTIFIED FROM GRIDS 8 & 9



MARKETPLACE LEVEL 5 PLAN
 SCALE: 1/16"=1'-0"



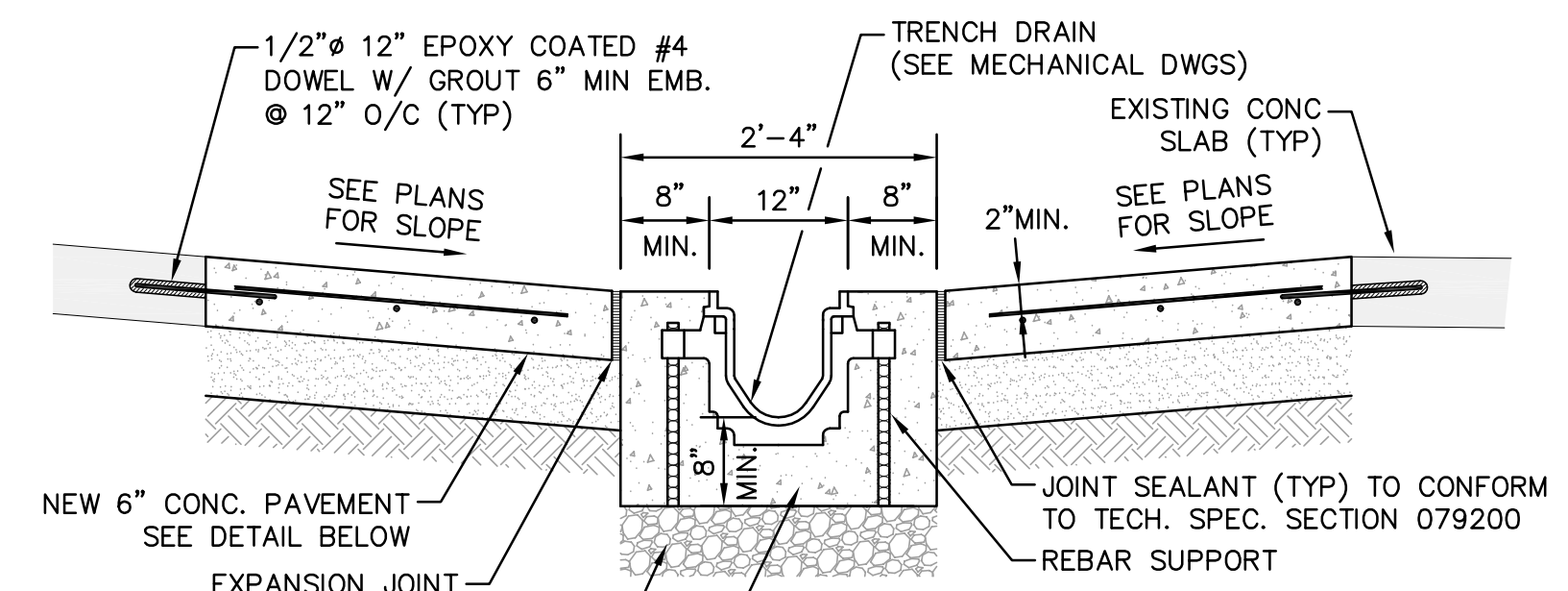
1 EXISTING CONDITIONS SITE PLAN
SCALE: 1" = 10'



2 PROPOSED SITE PLAN
SCALE: 1" = 10'

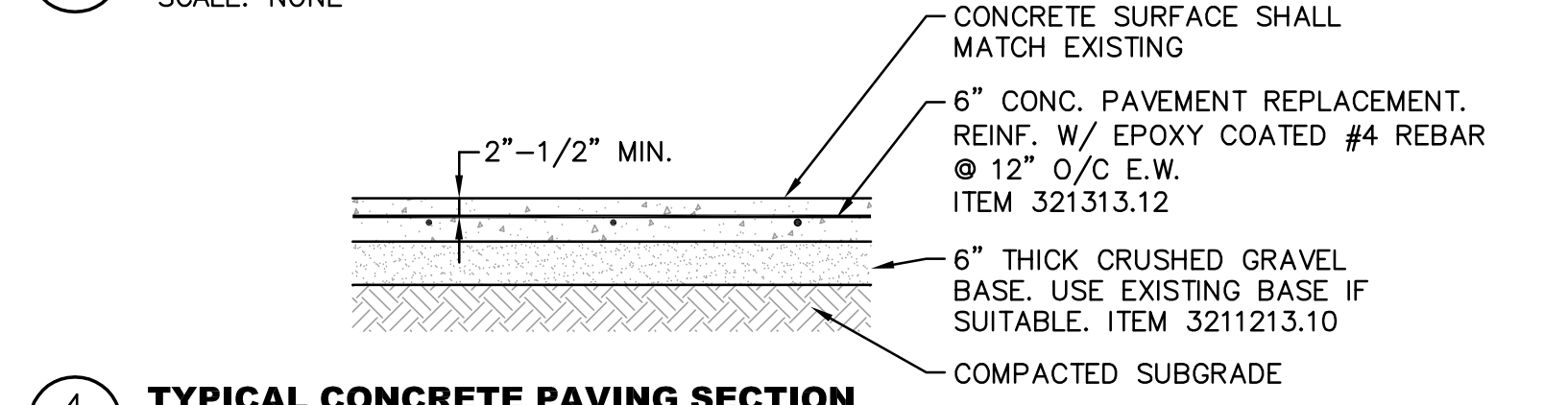
GENERAL NOTES:

1. THE EXISTING SITE DETAILS DEPICTED HEREON ARE THE RESULTS OF AN ON THE GROUND SURVEY CONDUCTED BY HOYLE, TANNER & ASSOCIATES, INC. ON JUNE 2, 2015. THE VERTICAL DATUM IS ASSUMED WITH TEMPORARY BENCH MARKS (TMB) SET AS SHOWN ON THE PLAN.
2. THE CONTRACTOR SHALL VERIFY AND DETERMINE THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY CONSTRUCTION. THE CONTRACTOR SHALL LOCATE THE UTILITIES SHOWN AND THE POSSIBLE EXISTENCE OF OTHER UNDERGROUND UTILITIES BY PROVIDING OBSERVATION TEST PITS. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (888) 344-7233 AND THE CITY OF BURLINGTON AT LEAST 72 HOURS BEFORE DIGGING.
3. THE CONTRACTOR SHALL USE CAUTION WHILE EXCAVATING AROUND THE TICKET DISPENSER AND GATE ARM TO PROTECT THE DEVICES AND UNDERGROUND WIRING.
4. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ANY EXCAVATION SAFEGUARDS, NECESSARY BARRICADES, POLICE DETAILS, ETC., FOR TRAFFIC AND PEDESTRIAN CONTROL AND SITE SAFETY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL WORK IS DONE IN ACCORDANCE WITH OSHA REQUIREMENTS. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS WITHIN THE LIMIT OF WORK.
6. WHEN PREPARING THE EXISTING SITE FOR THE PROPOSED DEVELOPMENT, ALL MATERIALS REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL GOVERNING AGENCIES.
7. GRADE AWAY FROM BUILDING WALLS AT 2% MINIMUM (TYPICAL).
8. PROVIDE UNIFORM SLOPE BETWEEN CONTOURS AND/OR SPOT ELEVATIONS.
9. FINISH PAVEMENT SURFACES SHALL BE FREE OF LOW SPOTS AND PONDING AREAS.
10. SPOT GRADES SHOWN ARE PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
11. ALL NEW CONCRETE WORK SHALL MEET AND MATCH THE ELEVATIONS OF THE EXISTING CONCRETE TO PROVIDE A SMOOTH CONTINUOUS SURFACE.
12. ALL NEW CONCRETE CURBING SHALL BE PAINTED YELLOW TO MATCH THE EXISTING.

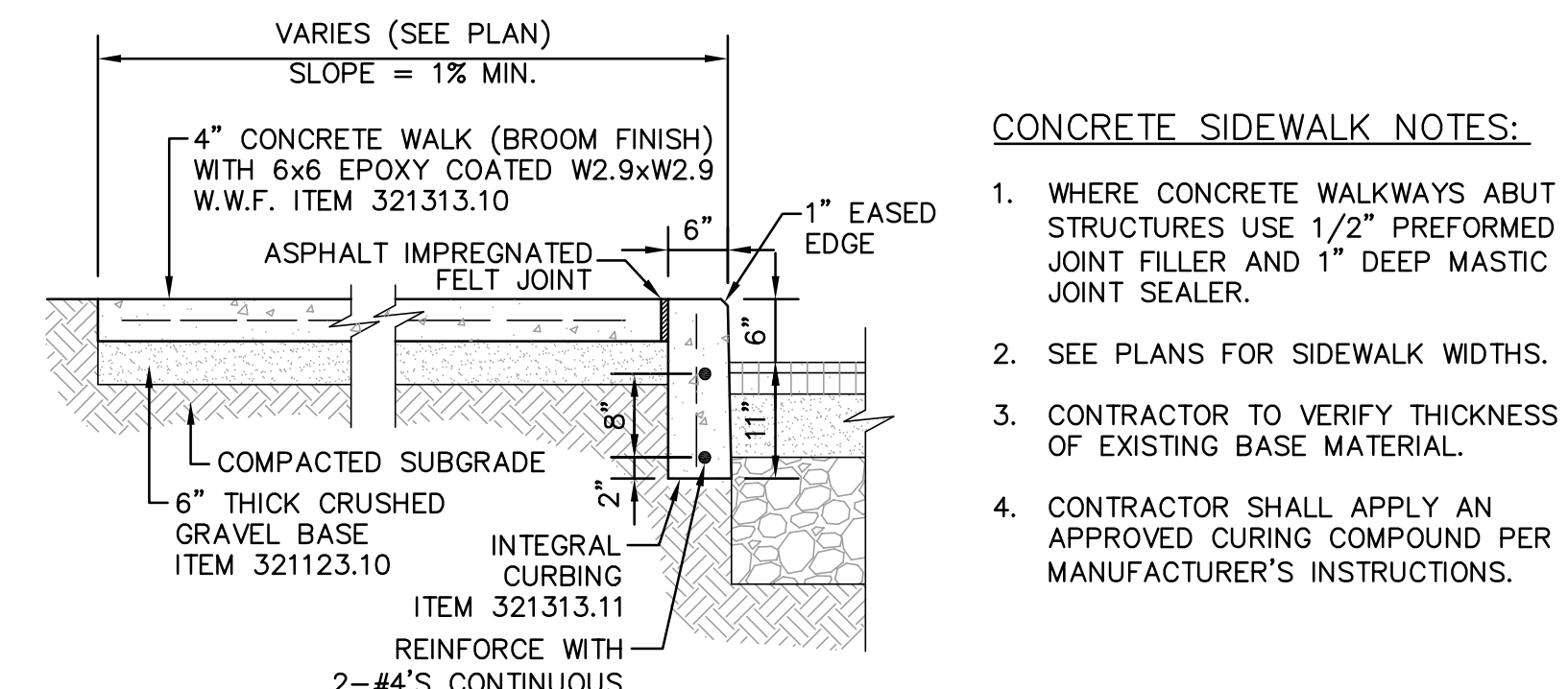


- TRENCH DRAIN NOTES:**
1. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4,000 PSI AND SHALL MEET THE REQUIREMENTS OF TECHNICAL SECTION 033000.
 2. TRENCH DRAIN SHALL BE DESIGNED FOR H-20 LOADING.
 3. TRENCH DRAIN GRATE SHALL MEET AMERICANS WITH DISABILITIES (ADA) REGULATIONS.
 4. ALL WORK INCIDENTAL TO ITEM 221009.11.

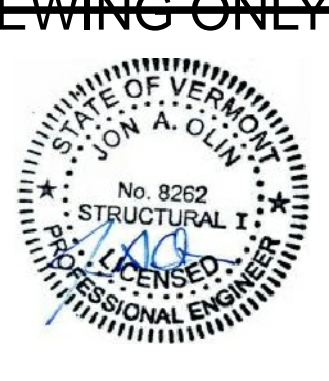
3 TYPICAL TRENCH DRAIN DETAIL
SCALE: NONE



4 TYPICAL CONCRETE PAVING SECTION
SCALE: NONE



5 TYPICAL CONCRETE SIDEWALK & INTEGRAL CURB SECTION
SCALE: NONE



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PROJECT: MARKETPLACE GARAGE RENOVATIONS - PHASE I BURLINGTON, VERMONT
DRAWING NAME: CONCRETE RAMP REPAIR
DWN BY: JHV
CHK BY: JAO
SCALE: AS SHOWN
DATE: JULY, 2015

SHEET NO. SM2.0
PROJECT NO. 909044
SHEET 9 OF 26



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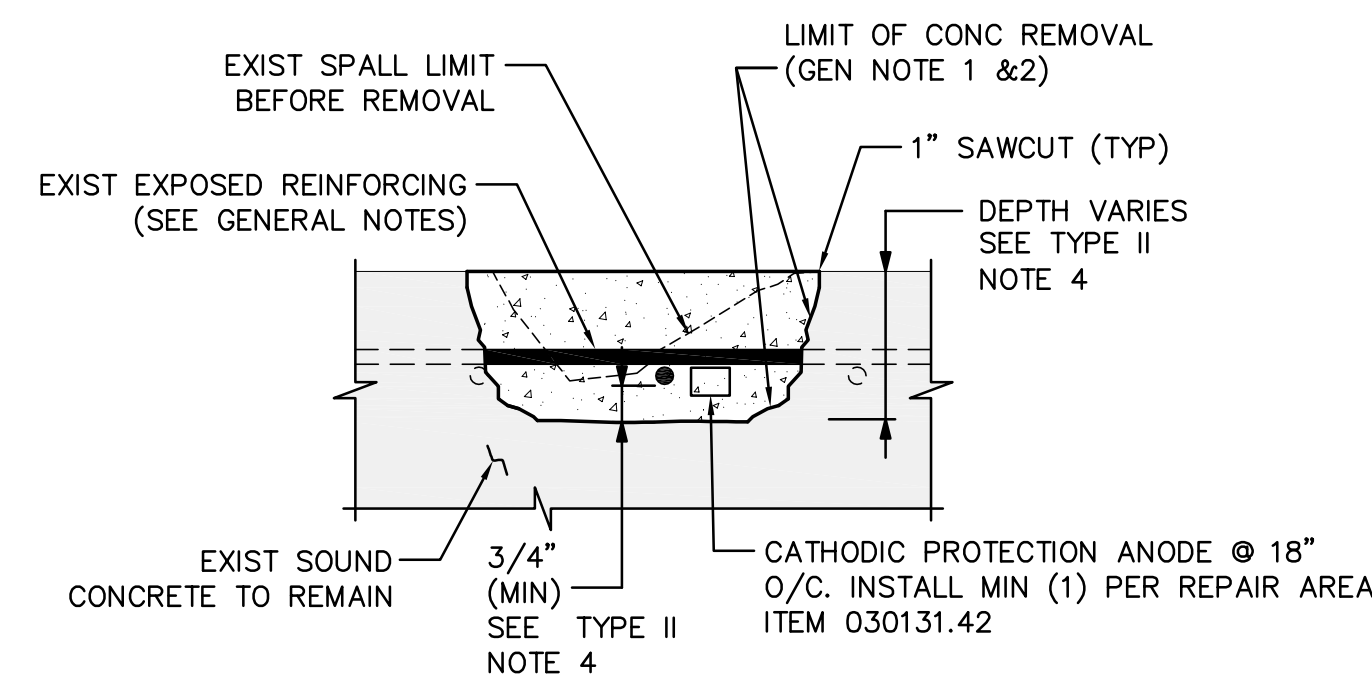
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DWN BY	CHK BY	SCALE:	DATE:
JHV	JAO	AS SHOWN	JULY, 2015

PROJECT: MARKETPLACE GARAGE RENOVATIONS - PHASE I
 BURLINGTON, VERMONT
 DRAWING NAME: CONCRETE REPAIR DETAILS

SHEET NO. **SM3.0**
 PROJECT NO. 909044
 SHEET 10 OF 26



1 TYPE II HORIZONTAL CONCRETE REPAIR DETAIL
 SCALE: NTS

NOTE:
 ALL WORK SHOWN EXCEPT FOR CATHODIC PROTECTION SHALL BE INCIDENTAL TO PAY ITEM 030130.23

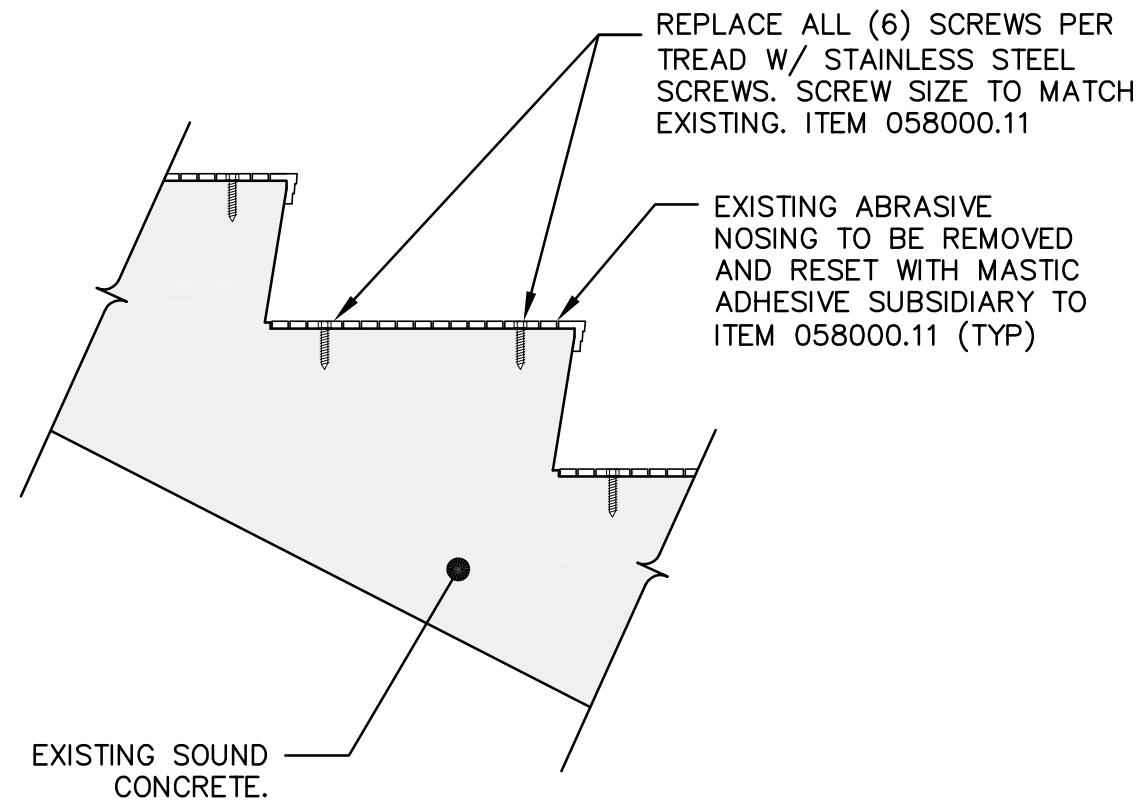
NOTE:
 CONTRACTOR SHALL LOCATE AND TAKE MEASURES TO NOT DAMAGE PT STRANDS LOCATED IN REPAIR AREAS. UNDERCUTTING PT STRANDS SHALL NOT BE PERMITTED, REPAIR DEPTH RESTRICTED IN SUCH LOCATIONS.

CONCRETE REPAIR NOTES - GENERAL

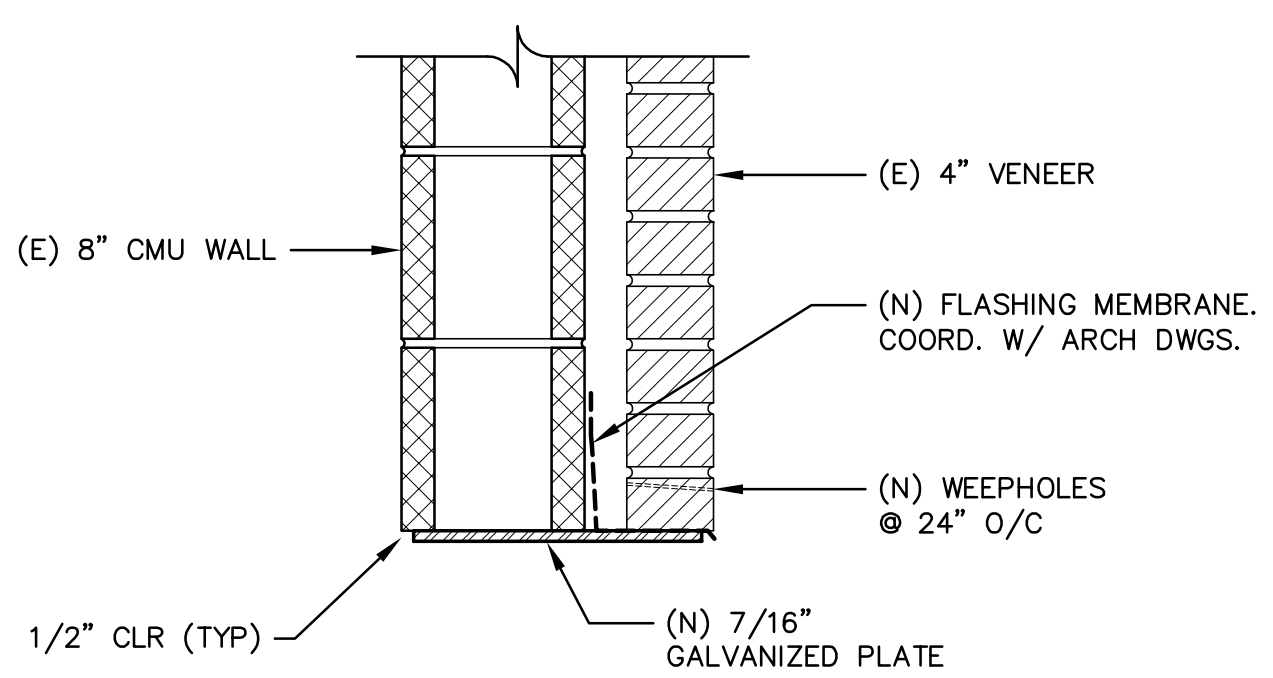
1. THE CONTRACTOR AND ENGINEER SHALL JOINTLY SOUND REPAIR AREAS BY USE OF SOUNDING HAMMERS TO DETERMINE AND MARK REPAIR LIMITS.
2. PREPARE SPALLED AREA BY REMOVING ALL DETERIORATED CONCRETE TO A MINIMUM DEPTH AS SHOWN ON CONCRETE REPAIR DETAILS BY SQUARE CUTTING REPAIR AREA. FEATHERED REMOVAL EDGES WILL NOT BE PERMITTED.
3. USE OF CHIPPING HAMMERS HEAVIER THAN NOMINAL 15 POUND CLASS ARE NOT BE PERMITTED. CONTRACTOR SHALL NOT REMOVE CONCRETE BEYOND A TOTAL DEPTH OF 6" WITHOUT APPROVAL FROM ENGINEER.
4. AT CONTRACTOR'S OPTION, HYDRODEMOLITION MAY BE USED IN LIEU OF CHIPPING HAMMERS. SEE TECHNICAL SPECIFICATION SECTION 024120 FOR MORE INFORMATION. NO ADJUSTMENT IN BID UNIT PRICE SHALL BE MADE FOR CONTRACTOR'S CHOICE OF CONCRETE REMOVAL.
5. AFTER CONCRETE REMOVAL, THE REPAIR SURFACE SHALL BE THOROUGHLY CLEANED OF INJURIOUS RUST, CONCRETE, DIRT, GREASE, OR ANY OTHER BOND-INHIBITING MATERIALS.
6. PATCH REPAIR AREA WITH AN APPROVED REPAIR MATERIAL. THE CONCRETE REPAIR MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED PROCEDURES.
7. CONTACT STRUCTURAL ENGINEER TO REVIEW EXISTING CONDITION FOR APPROVAL BEFORE INSTALLING PATCH MATERIAL.
8. APPLY SCRUB COAT IN ACCORDANCE WITH 030130 SPECIFICATIONS AND GROUT MANUFACTURER'S RECOMMENDATIONS.
9. ALL SURFACES TO BE REPAIRED SHALL BE IN A SATURATED SURFACE DRY (SSD) CONDITIONS WITH NO DRIPPING WATER ON THE SURFACE - I.E. SOAK SURFACES WITH CLEAN WATER FOR 15 MINUTES MINIMUM.
10. SEE TECHNICAL SPECIFICATION SECTION 030130 FOR ADDITIONAL REQUIREMENTS.

TYPE II CONCRETE REPAIR NOTES

1. WHERE REINFORCING STEEL IS EXPOSED, CONDUCT OIL-FREE ABRASIVE CLEANING. (TIGHTLY BONDED LIGHT RUST WHICH CANNOT BE REMOVED WITH A WIRE BRUSH IS ACCEPTABLE)
2. PROVIDE SUPPLEMENTAL REINFORCING BARS AT AREAS WHERE STEEL HAS EXHIBITED SECTION LOSS AS DIRECTED BY THE STRUCTURAL ENGINEER.
3. AFTER CONCRETE REPAIR MATERIAL HAS CURED, APPLY AN APPROVED CORROSION INHIBITING IMPREGNATION COATING OVER THE REPAIR AREA WITH THE MANUFACTURER'S RECOMMENDED PROCEDURES.
4. CONTRACTOR SHALL NOT REMOVE CONCRETE BEYOND A TOTAL DEPTH OF 6" WITHOUT APPROVAL FROM ENGINEER.

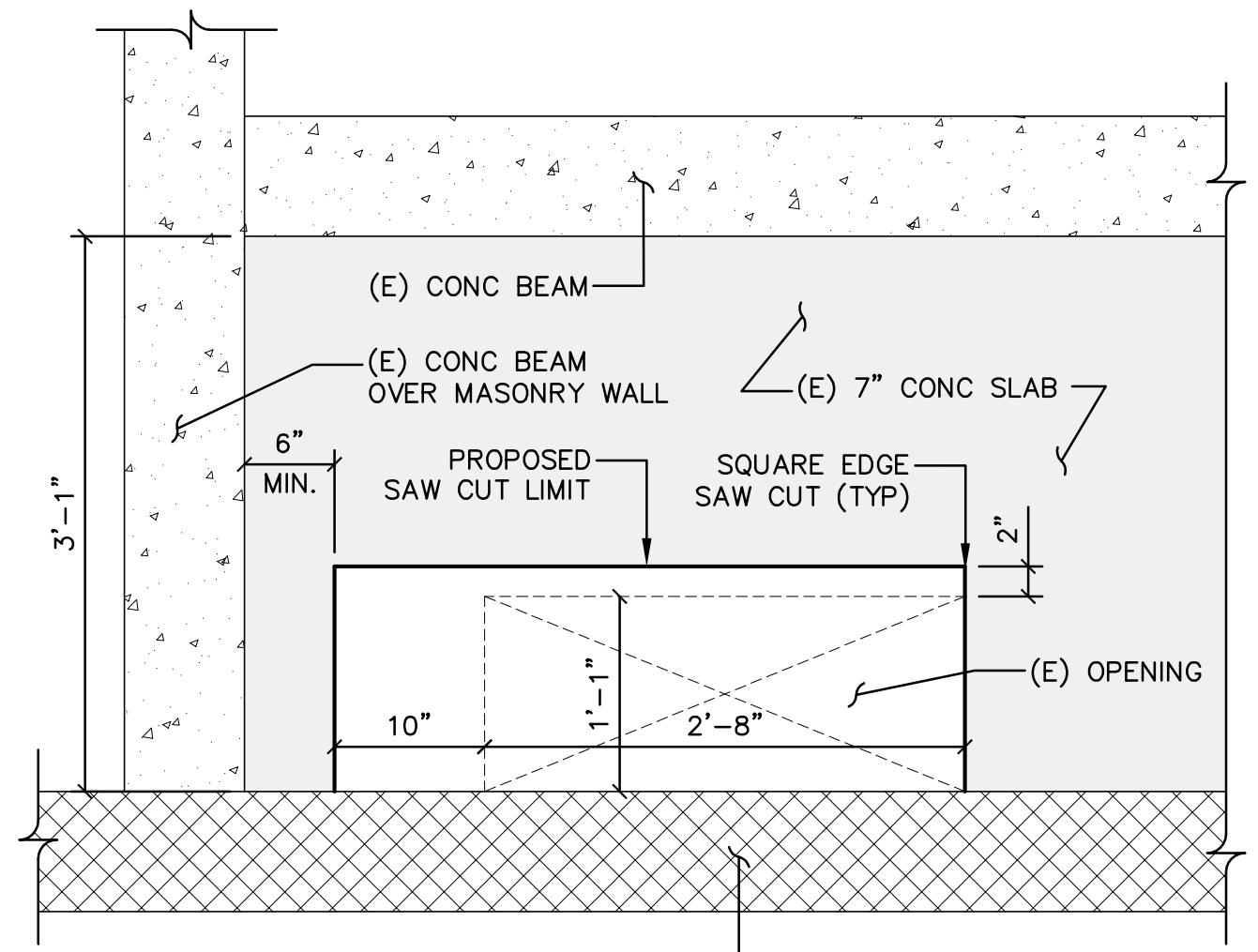


2 TYPICAL STAIR TREAD FASTENING DETAIL
 SCALE: NTS



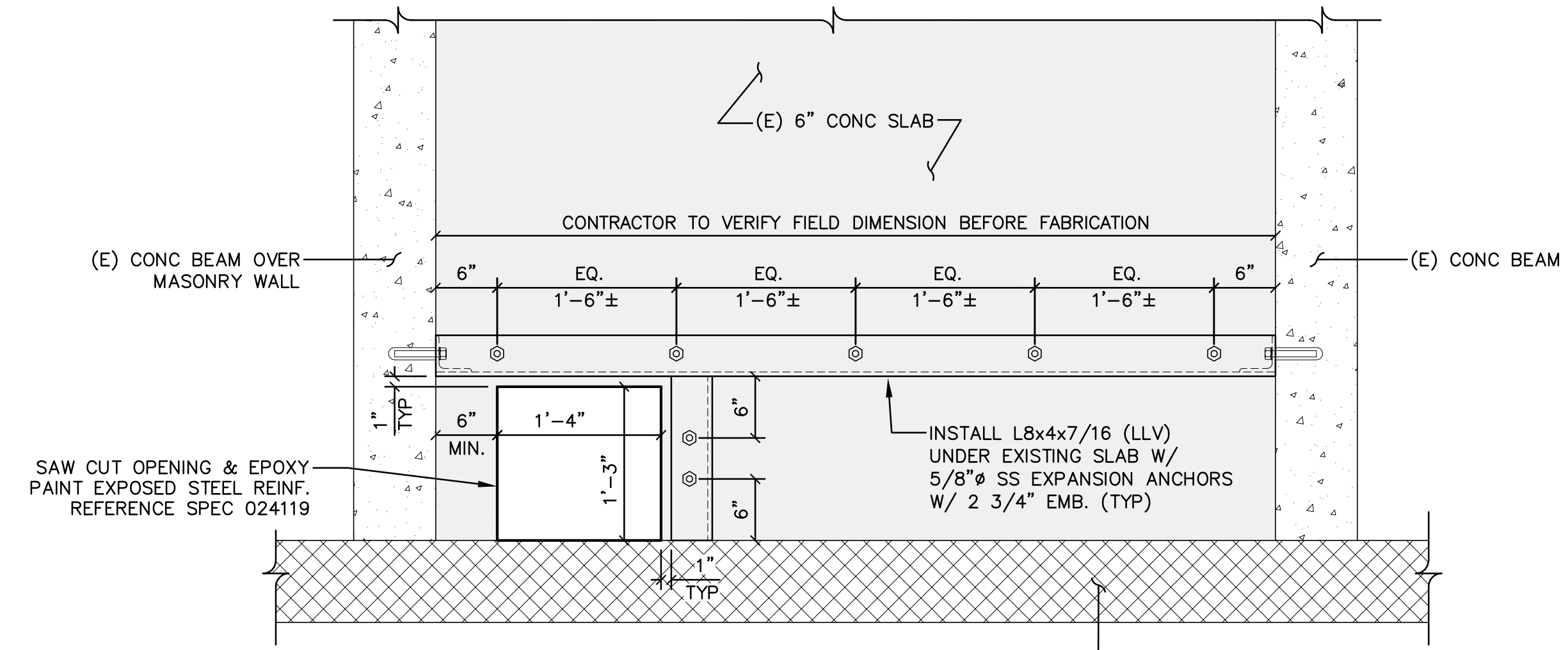
- NOTES:**
1. PROVIDE 6" MINIMUM BEARING AT EACH END.
 2. LINTEL SHALL BE HOT DIPPED GALVANIZED.
 3. STEEL TO BE ASTM A36
 4. MAX OPENING SPAN FOR THIS DETAIL IS 2'-0". ONLY TO BE USED IN LOCATIONS AS IDENTIFIED ON THE PLANS.

3 NEW LINTEL DETAIL
 SCALE: NTS



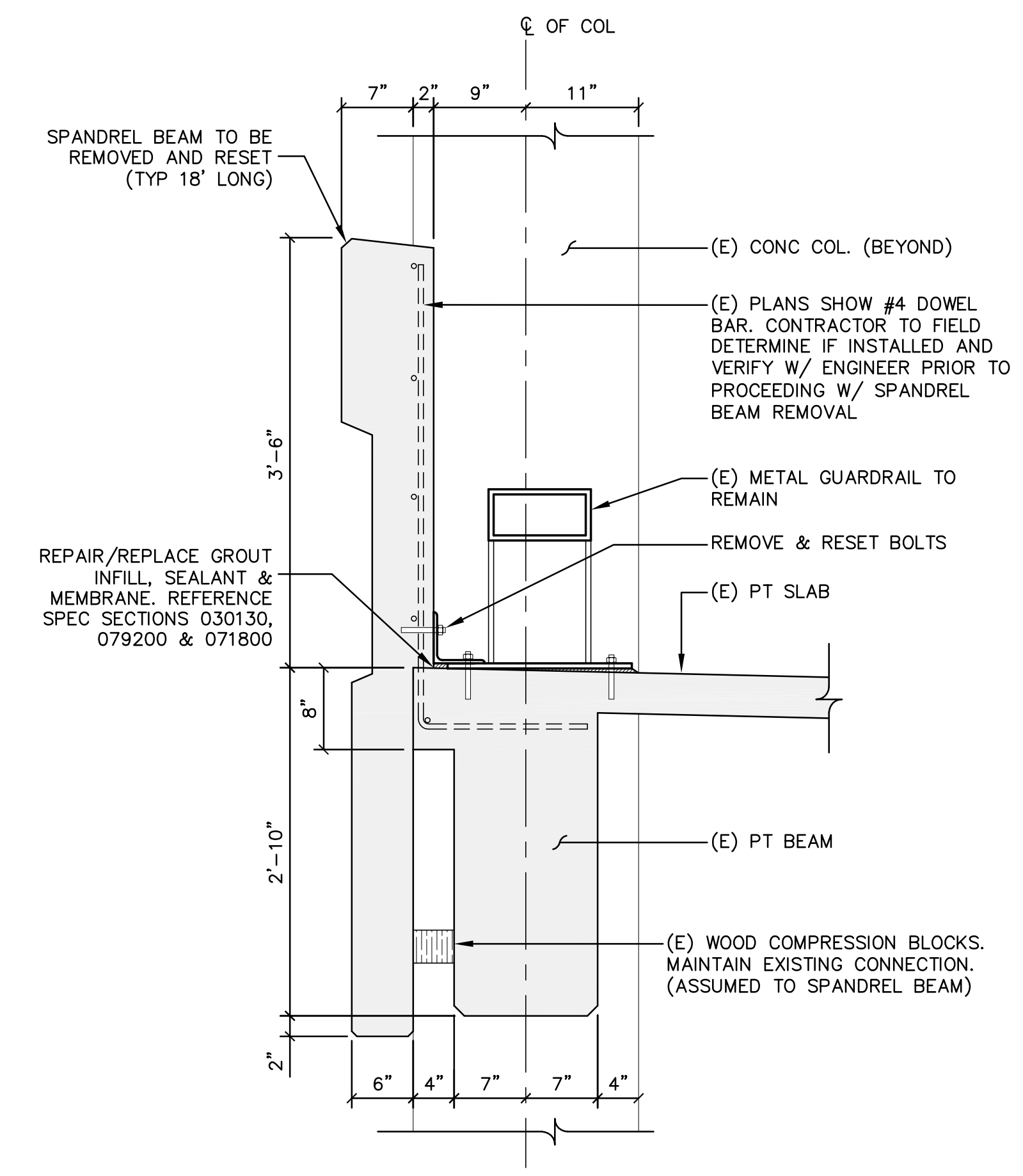
NOTE:
 1. ALL WORK SHOWN INCIDENTAL TO PAY ITEM 140500.01

4 STAIR LANDING FLOOR OPENING @ LEVEL 1
 SCALE: NTS



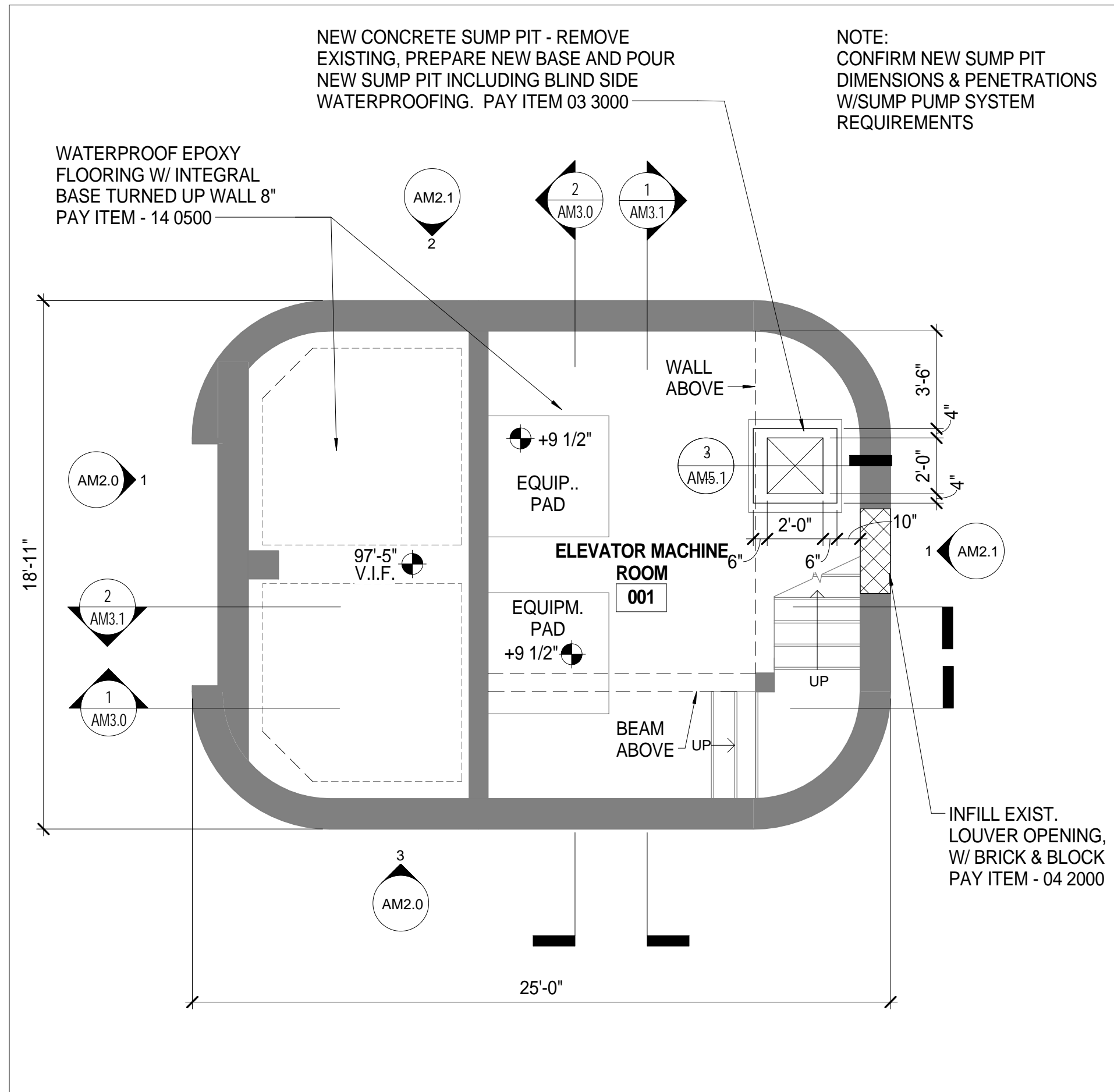
- NOTES:**
1. ALL WORK SHOWN INCIDENTAL TO PAY ITEM 140500.01
 2. ALL CONNECTIONS (STL TO STL & STL TO CONC) SHALL BE DESIGNED BY FABRICATOR W/ A (2) BOLT MINIMUM FOR EACH CONNECTION.

5 STAIR LANDING FLOOR OPENING @ LEVEL 2
 SCALE: NTS

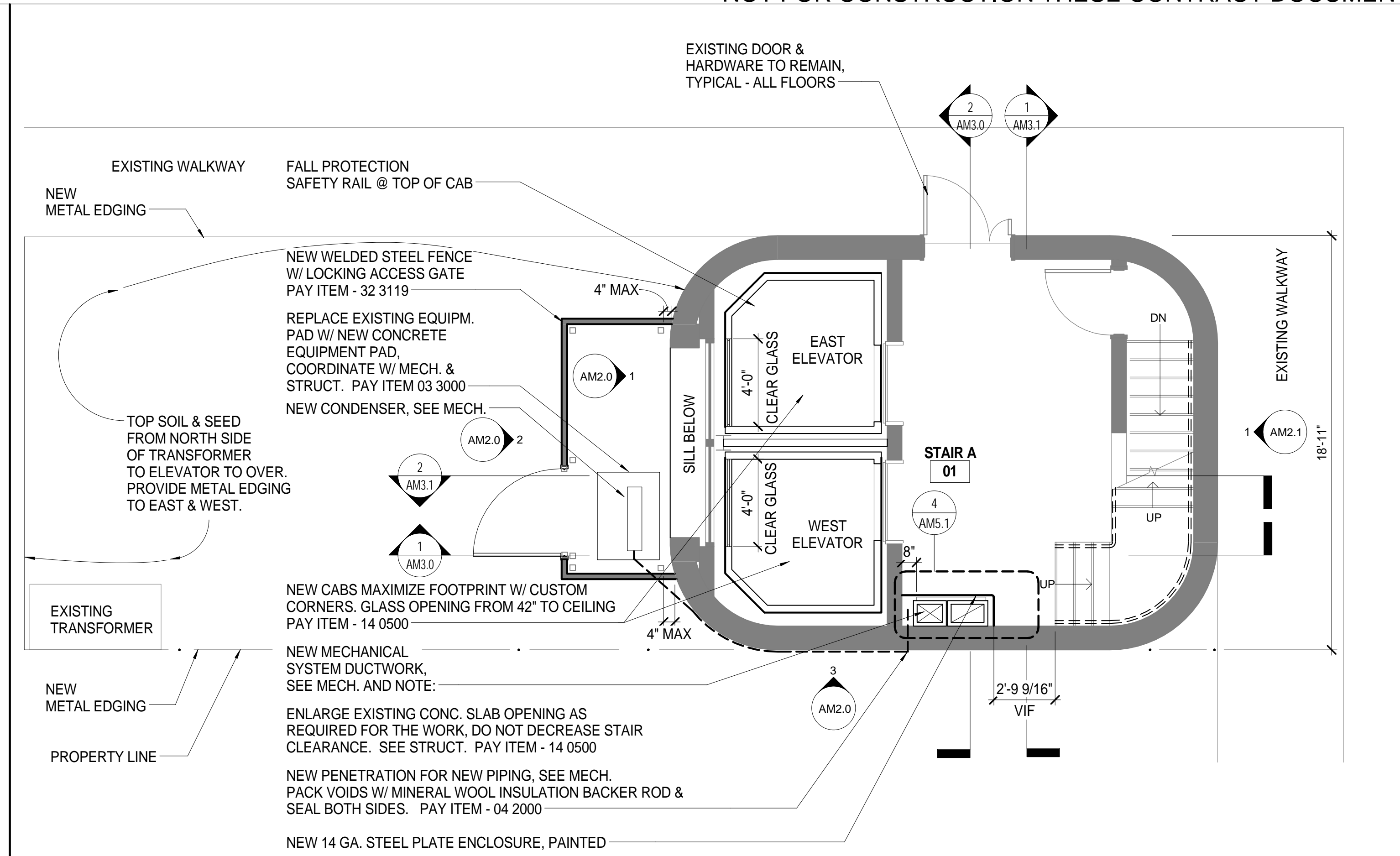


NOTE:
 ALL WORK SHOWN INCLUDED IN PAY ITEM 024119.05

6 SPANDREL DETAIL
 SCALE: NTS



1 MARKETPLACE PARKING - BASEMENT PLAN
 AM1.0 SCALE: 1/4" = 1'-0"



2 MARKETPLACE PARKING - LEVEL 1 PLAN
 AM1.0 SCALE: 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. RAILINGS MAY NOT BE SHOWN.
2. REMOVE AND RE-INSTALL ALL ALUMINUM STAIR TREADS. SET IN FULL BED OF MASTIC. USE STAINLESS STEEL FASTENERS, TYPICAL AT ALL LEVELS. SEE DETAIL 2/SM3.0
3. CLEAN ALL EXISTING GLASS INSIDE AND OUT. PAY ITEM - 14 0500
4. REGASKET AND SEAL ALL EXISTING GLASS PANELS AND METAL PANELS AT CURTAIN WALL. REPLACE PRESSURE CAPS AS NECESSARY. PAY ITEM - 14 0500
5. V.I.F. ALL DIMENSIONS & ELEVATIONS.
6. THOROUGHLY CLEAN EXISTING CONCRETE FLOORS. REMOVE HYDRAULIC FLUID, ETC., PREP AND PREPARE FOR WATERPROOFING.
7. ALL ROOF PARAPET COPINGS TO SLOPE IN TOWARDS ROOF.

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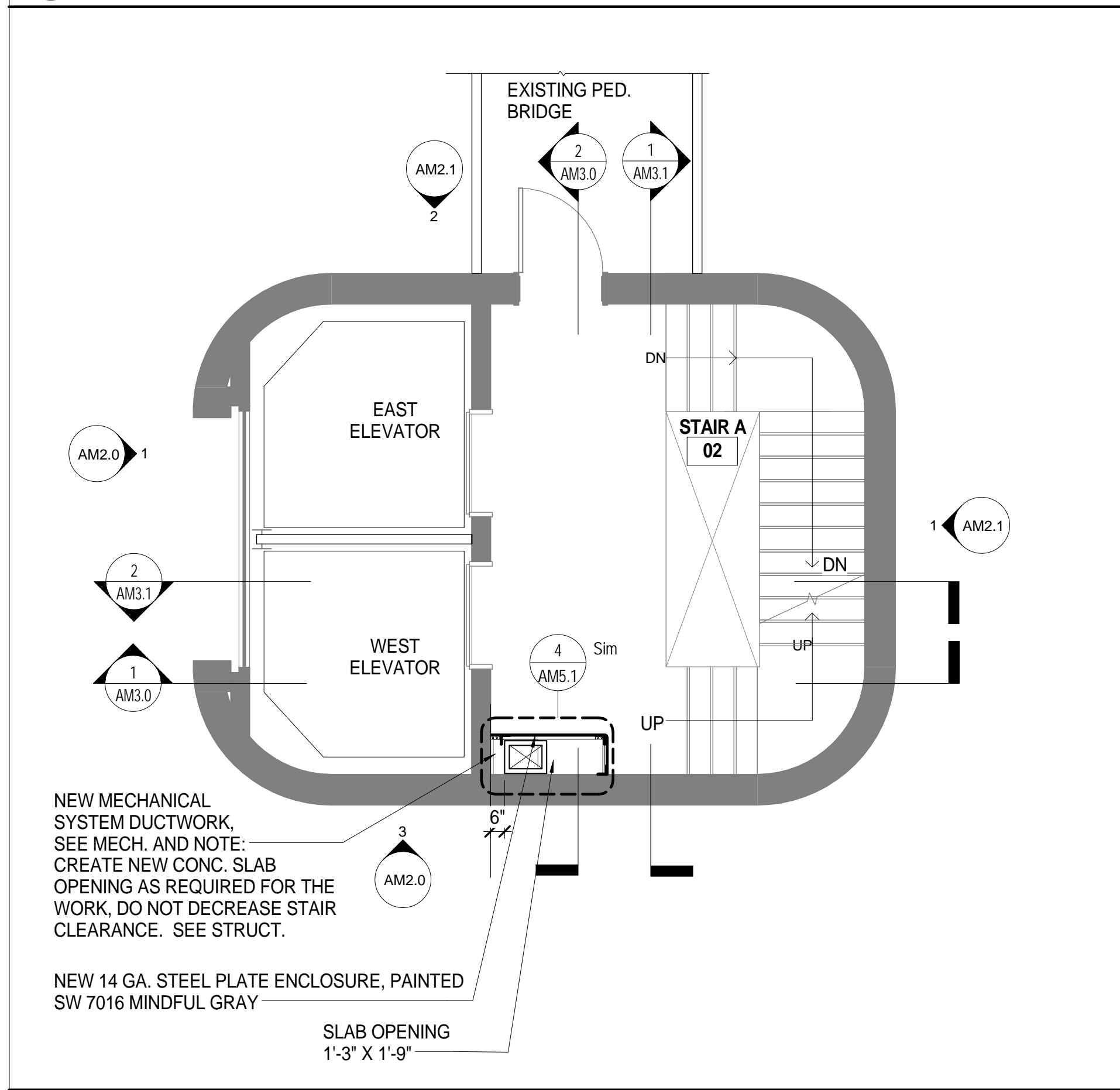
KEY PLAN
 STAIR A, STAIR B, STAIR C, NTS

GRAPHIC SCALE
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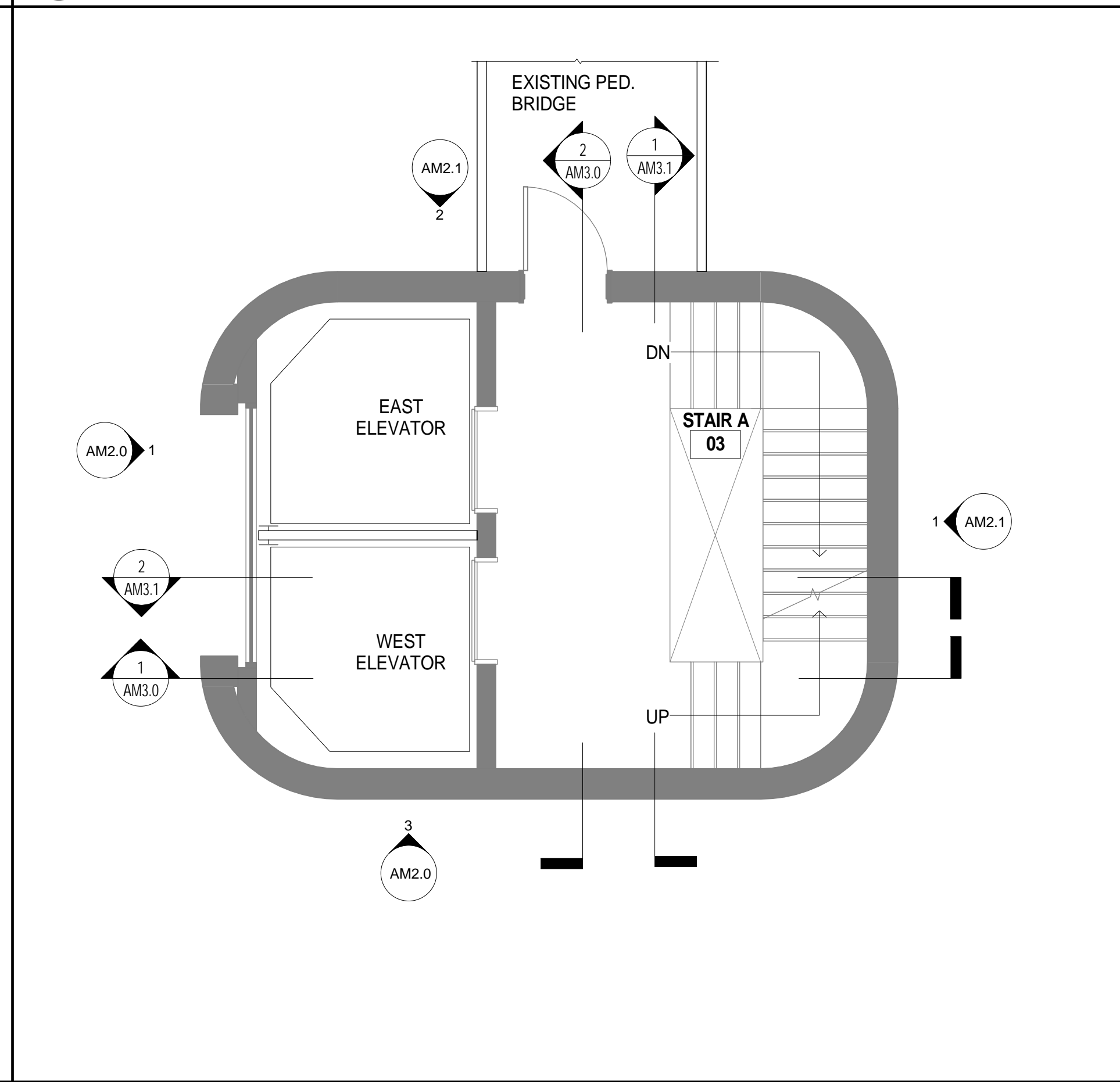
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1	07/07/15		

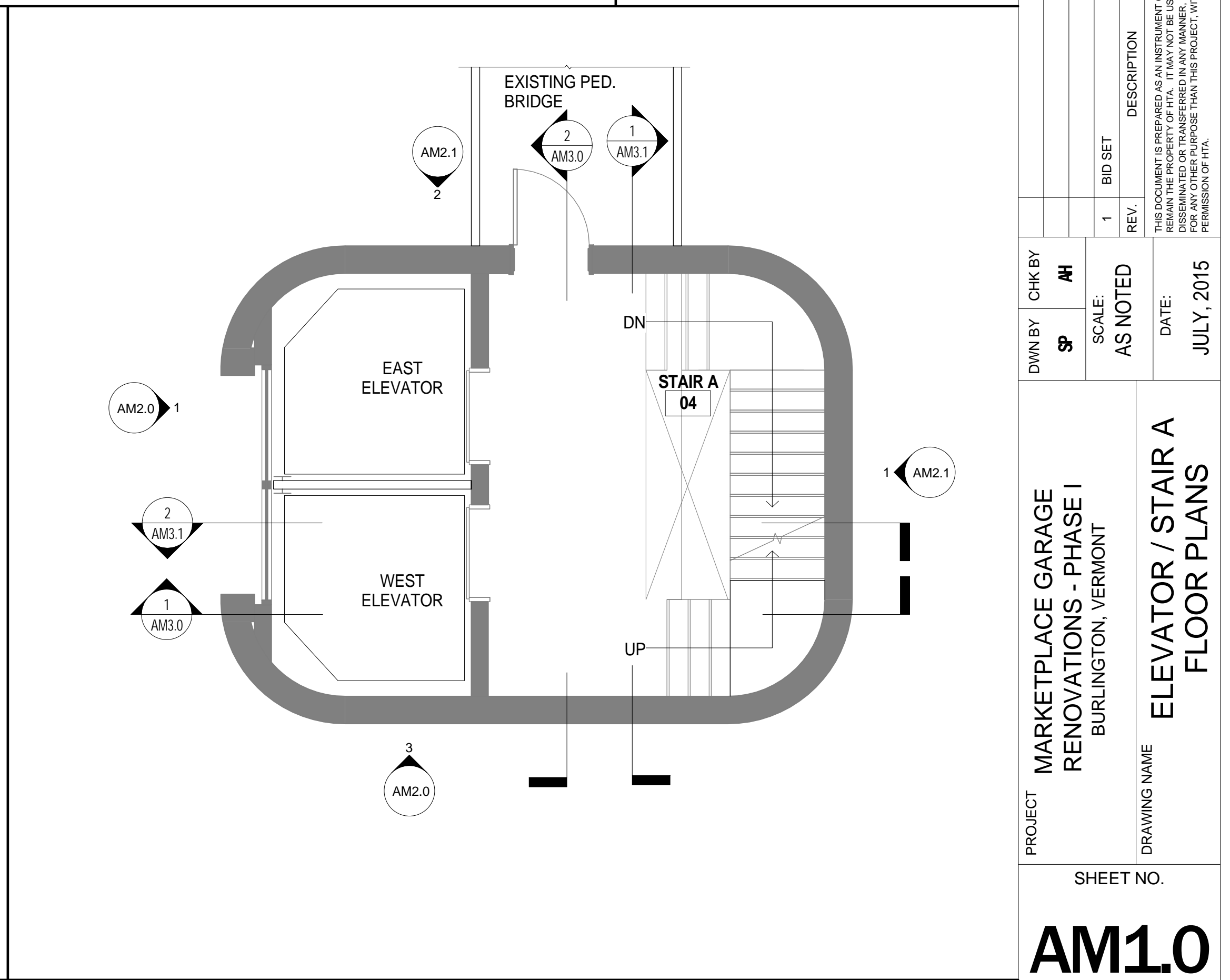
DATE: JULY, 2015



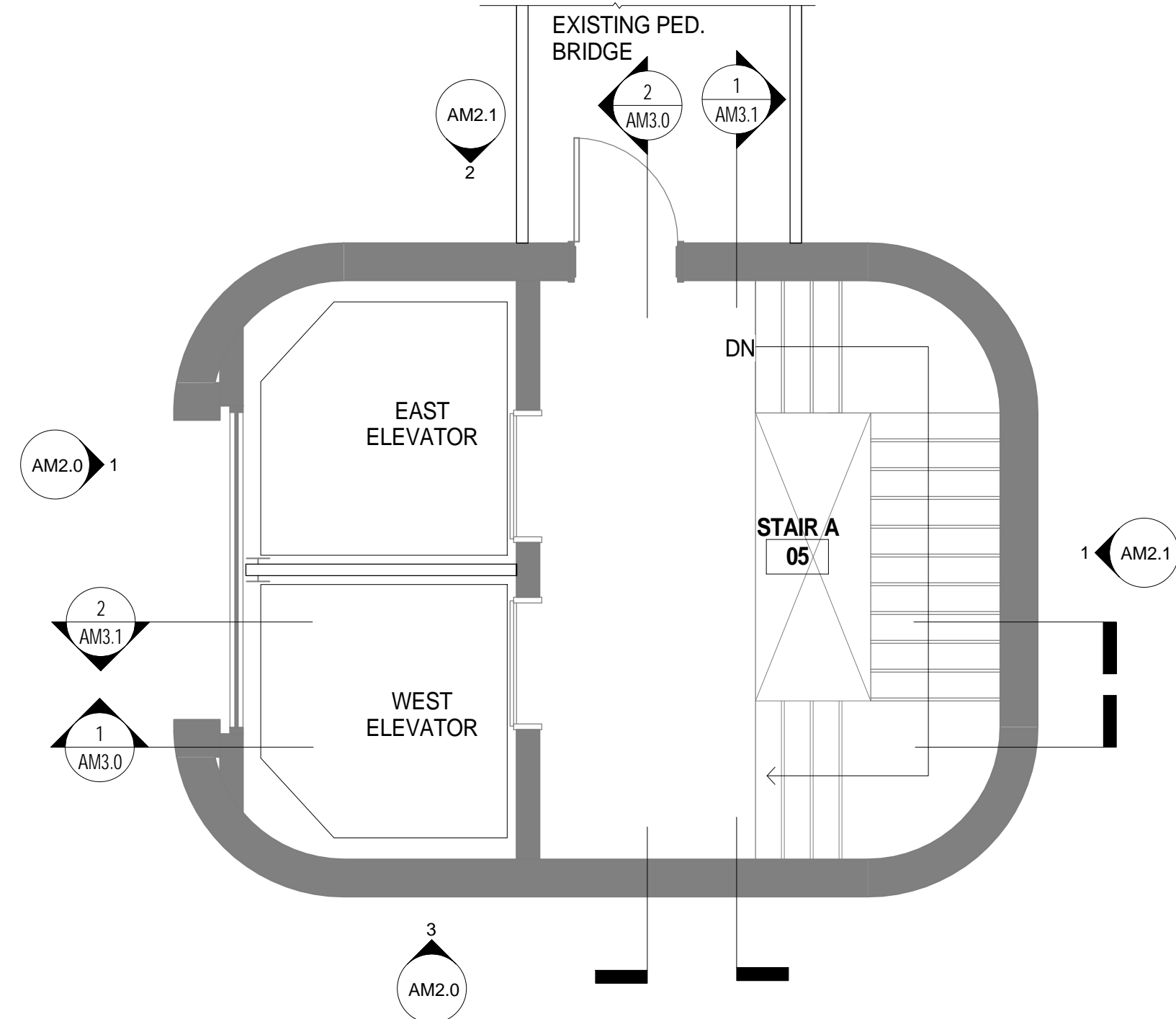
3 MARKETPLACE PARKING - LEVEL 2 PLAN
 AM1.0 SCALE: 1/4" = 1'-0"



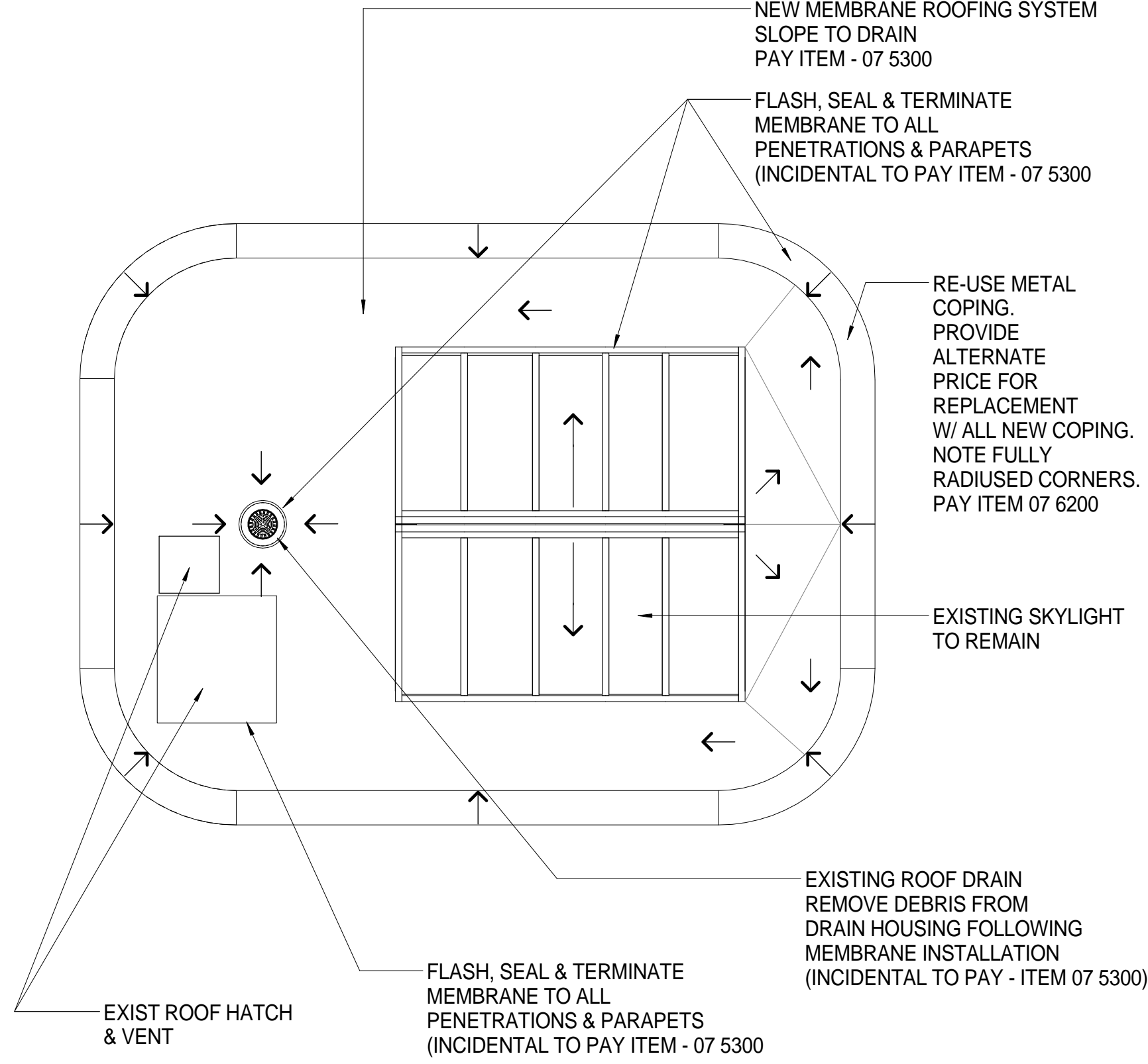
4 MARKETPLACE PARKING - LEVEL 3 PLAN
 AM1.0 SCALE: 1/4" = 1'-0"



5 MARKETPLACE PARKING - LEVEL 4 PLAN
 AM1.0 SCALE: 1/4" = 1'-0"

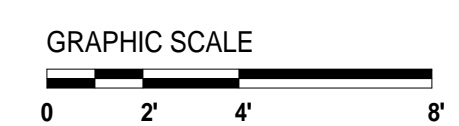
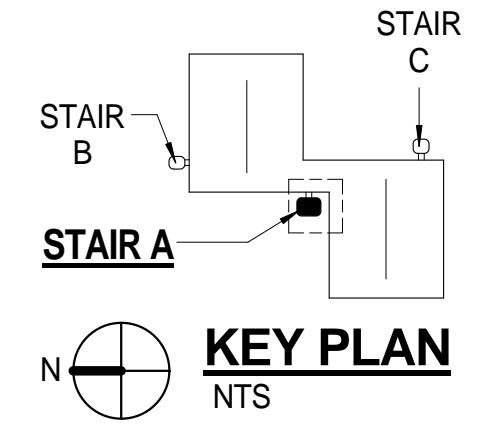


1 MARKETPLACE PARKING - LEVEL 5 PLAN
AM1.1 SCALE: 1/4" = 1'-0"



2 MARKETPLACE PARKING - ROOF PLAN
AM1.1 SCALE: 1/4" = 1'-0"

- FLOOR PLAN GENERAL NOTES**
1. RAILINGS MAY NOT BE SHOWN.
 2. RE-MOVE AND RE-INSTALL ALL ALUMINUM STAIR TREADS. SET IN FULL BED OF MASTIC. USE STAINLESS STEEL FASTENERS, TYPICAL AT ALL LEVELS. SEE DETAIL 2/SM3.0
 3. CLEAN ALL EXISTING GLASS INSIDE AND OUT. PAY ITEM - 14 0500
 4. REGASKET AND SEAL ALL EXISTING GLASS PANELS AND METAL PANELS AT CURTAIN WALL. REPLACE PRESSURE CAPS AS NECESSARY. PAY ITEM - 14 0500
 5. V.I.F. ALL DIMENSIONS & ELEVATIONS.
 6. THOROUGHLY CLEAN EXISTING CONCRETE FLOORS. REMOVE HYDRAULIC FLUID, ETC., PREP AND PREPARE FOR WATERPROOFING.
 7. ALL ROOF PARAPET COPINGS TO SLOPE IN TOWARDS ROOF.



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CHK BY: AH
SCALE: AS NOTED
DATE: JULY, 2015

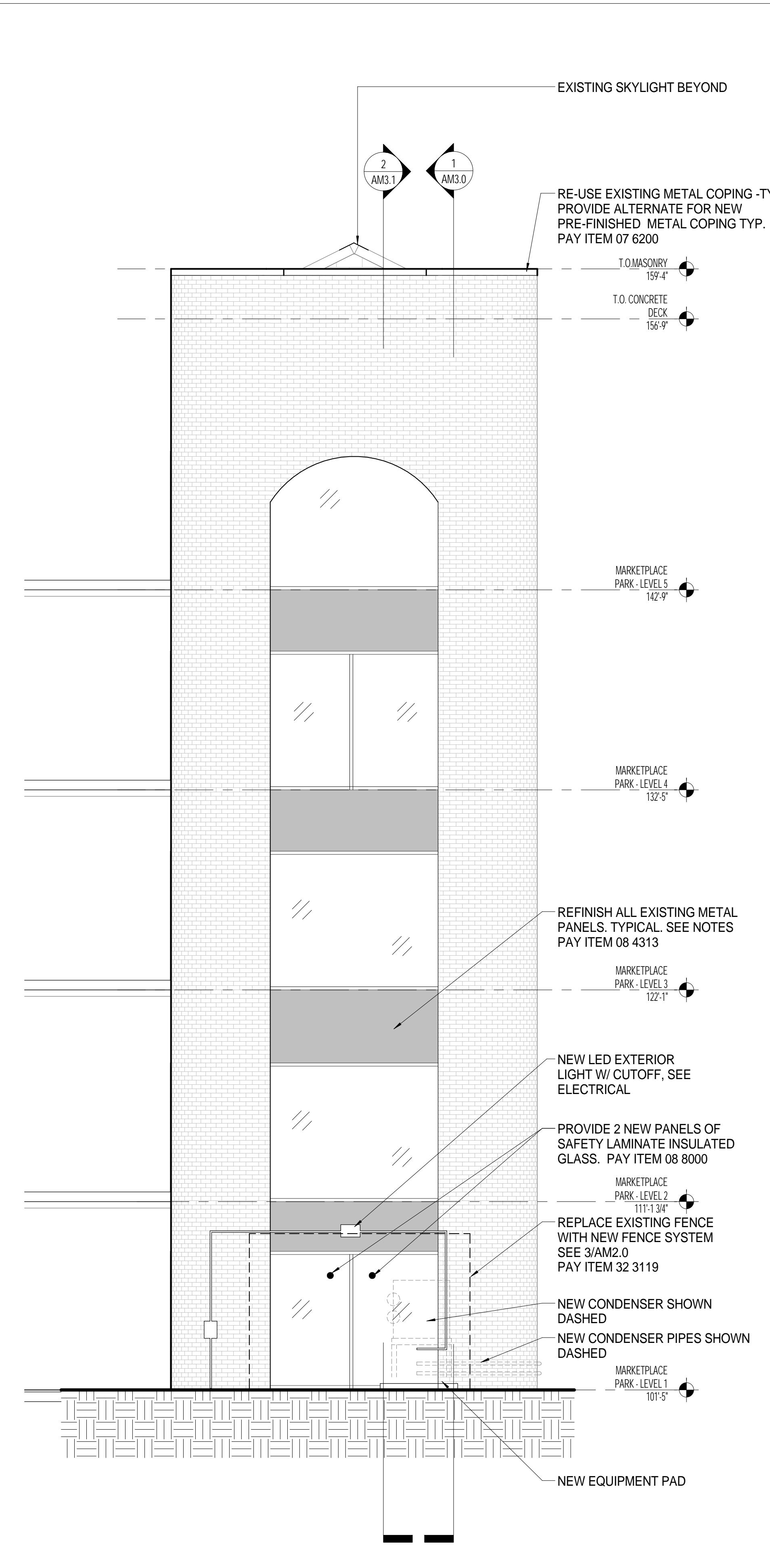
PROJECT: MARKETPLACE GARAGE RENOVATIONS - PHASE I BURLINGTON, VERMONT
DRAWING NAME: ELEVATOR / STAIR A FLOOR PLANS

SHEET NO.

AM1.1

PROJECT NO. 909044

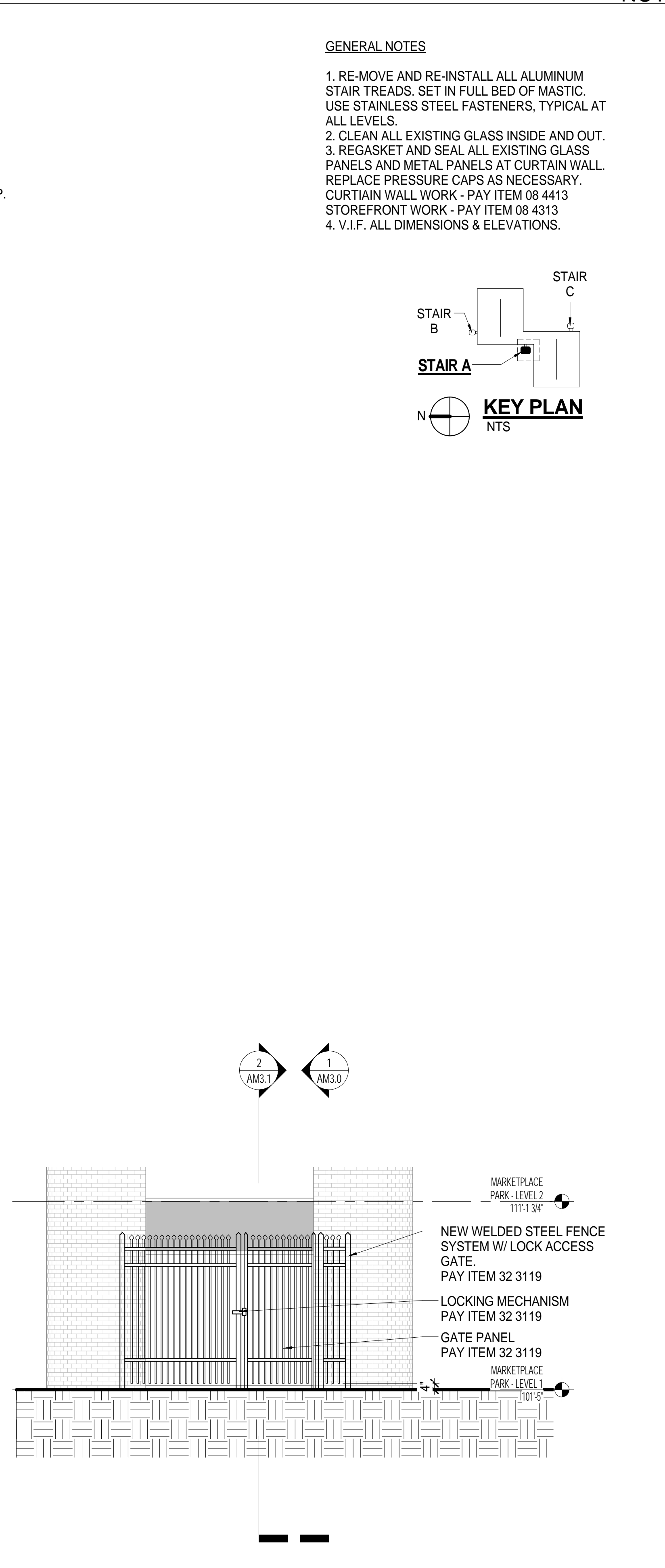
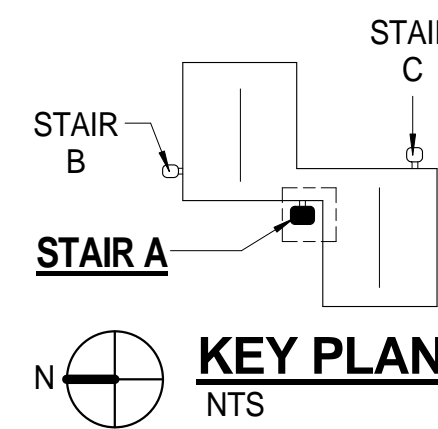
SHEET 12 OF 26



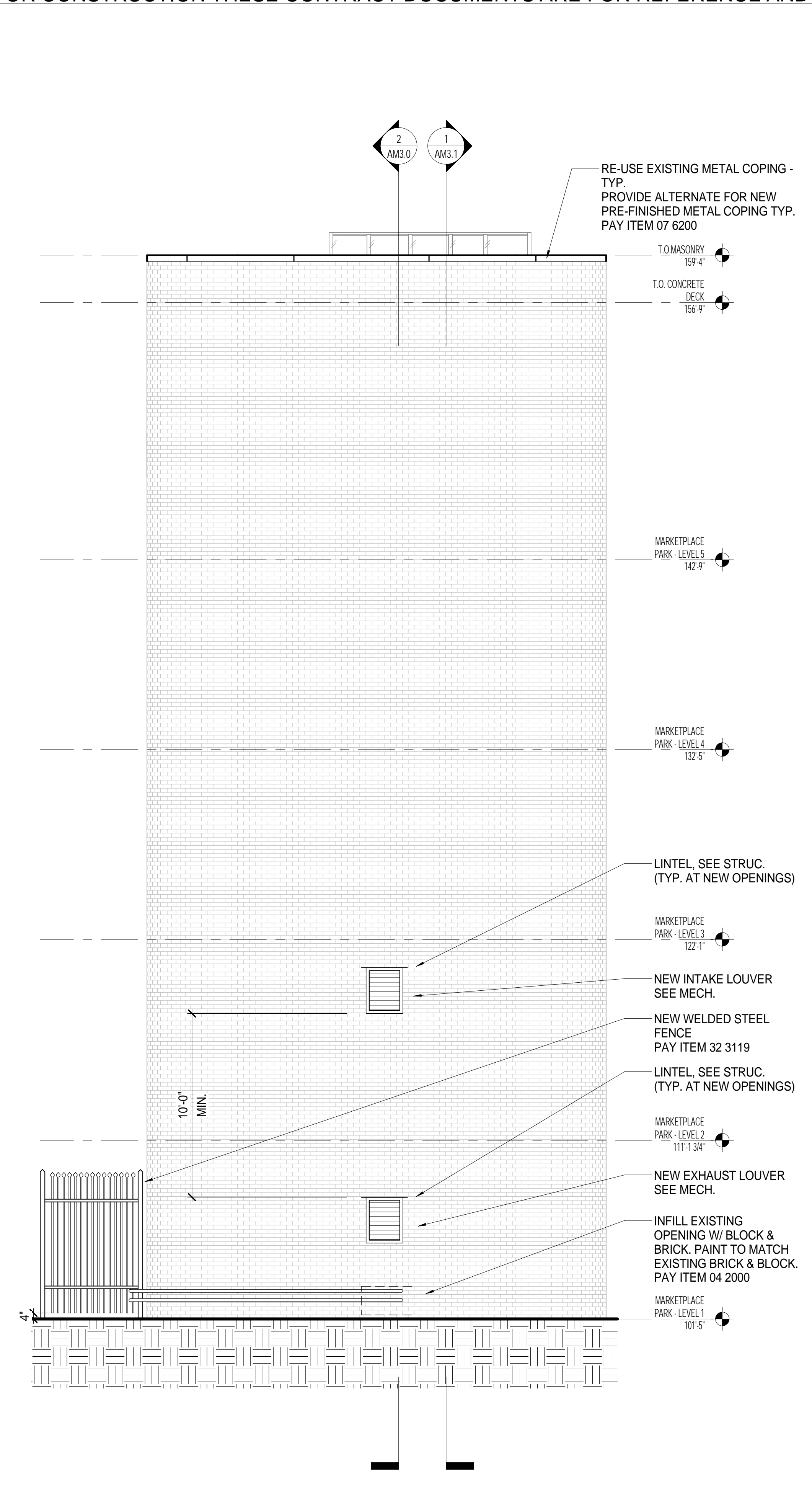
1 MARKETPLACE PARKING - STAIR A - NORTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. RE-MOVE AND RE-INSTALL ALL ALUMINUM STAIR TREADS. SET IN FULL BED OF MASTIC. USE STAINLESS STEEL FASTENERS, TYPICAL AT ALL LEVELS.
2. CLEAN ALL EXISTING GLASS INSIDE AND OUT.
3. REGASKET AND SEAL ALL EXISTING GLASS PANELS AND METAL PANELS AT CURTAIN WALL. REPLACE PRESSURE CAPS AS NECESSARY. CURTAIN WALL WORK - PAY ITEM 08 4413
4. V.I.F. ALL DIMENSIONS & ELEVATIONS.



2 MARKETPLACE PARKING - STAIR A - NEW FENCE NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 MARKETPLACE PARKING - STAIR A - WEST ELEVATION
SCALE: 1/4" = 1'-0"



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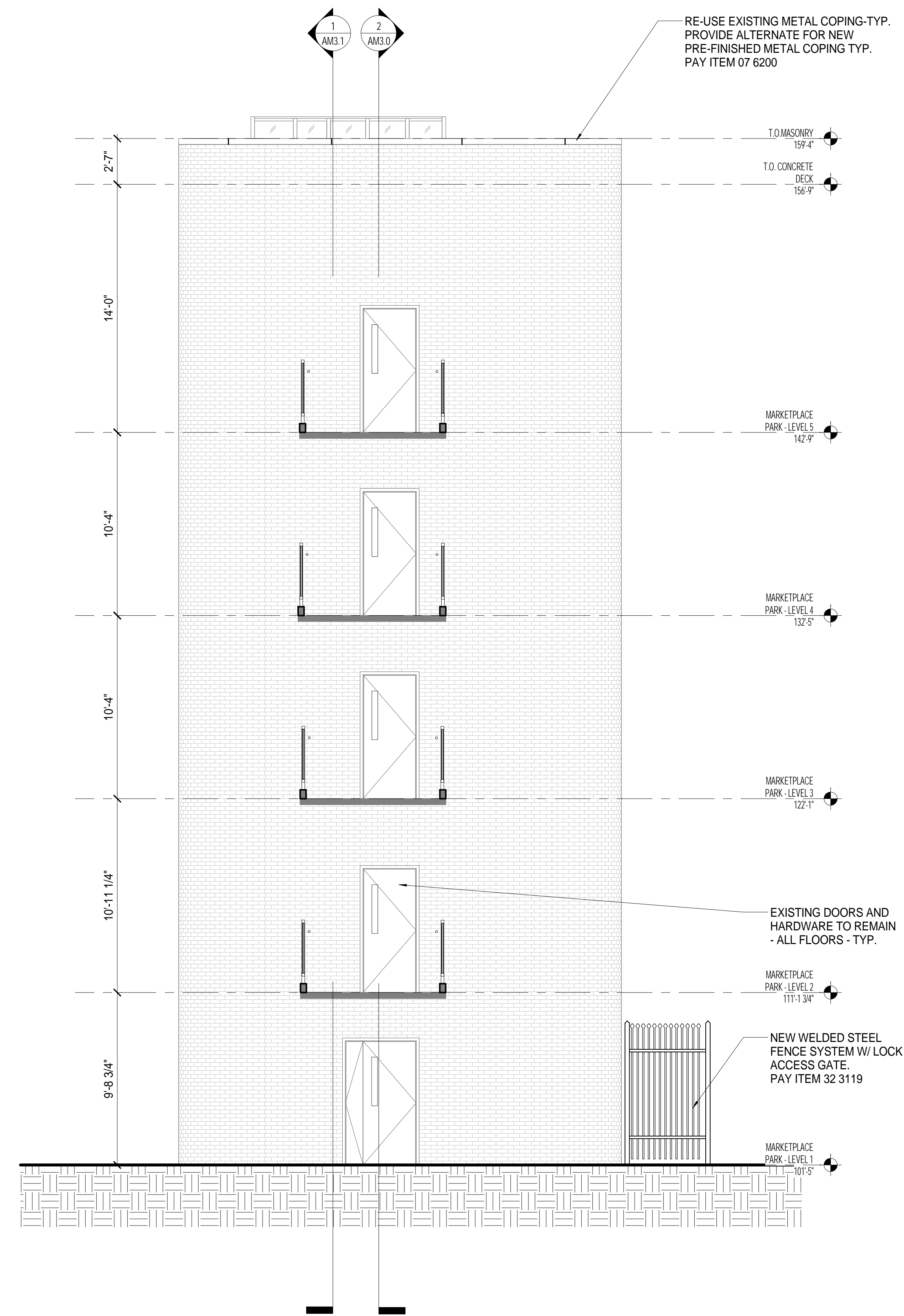
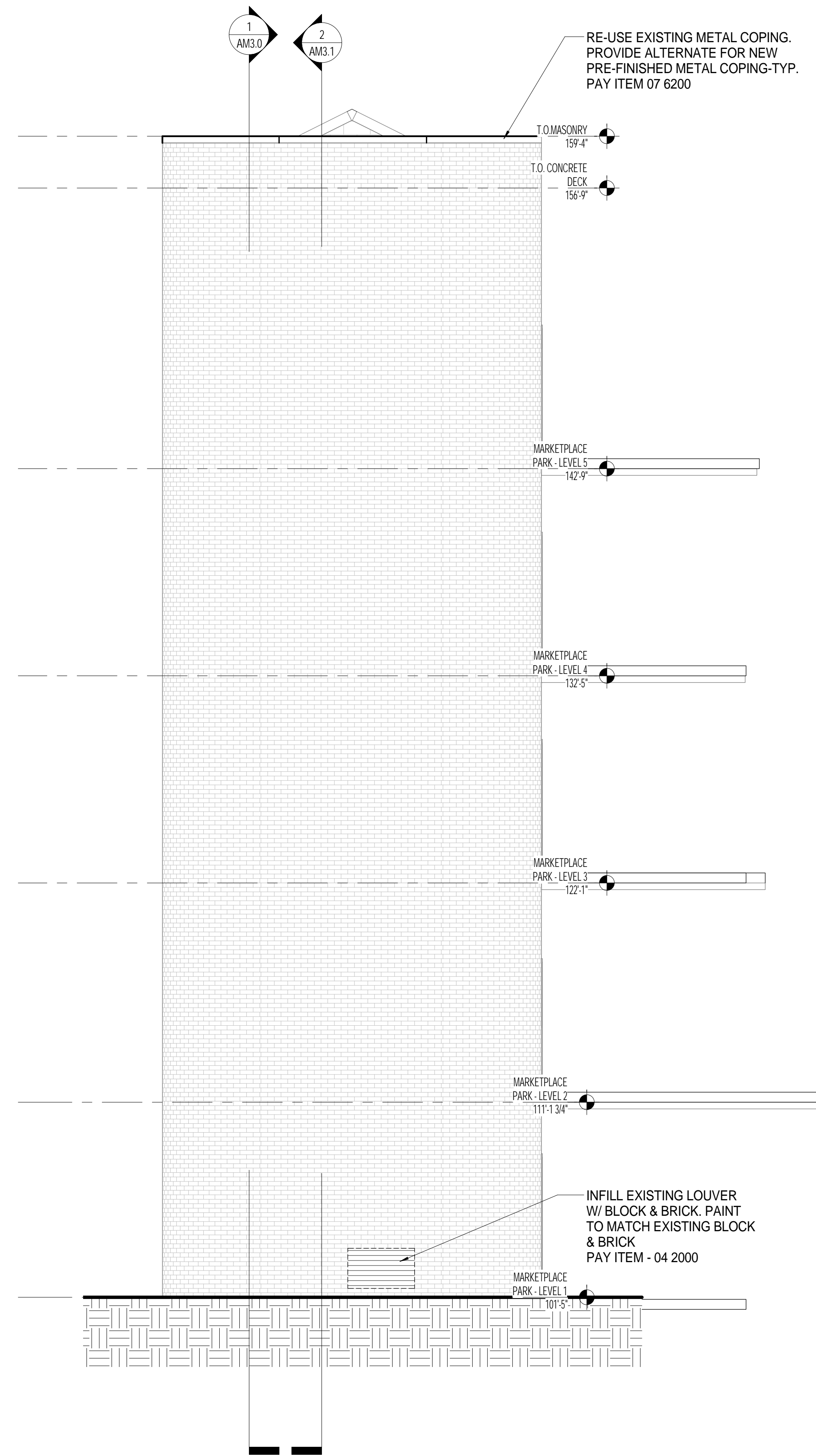
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SCALE: AS NOTED
DATE: JULY, 2015

PROJECT: MARKETPLACE GARAGE RENOVATIONS - PHASE I BURLINGTON, VERMONT
DRAWING NAME: ELEVATOR / STAIR A EXTERIOR ELEVATIONS

SHEET NO. **AM2.0**
PROJECT NO. 909044
SHEET 13 OF 26



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CHK BY: **AH**
 DWN BY: **SP**
 SCALE: **AS NOTED**
 DATE: **JULY, 2015**

PROJECT: **MARKETPLACE GARAGE RENOVATIONS - PHASE I BURLINGTON, VERMONT**
 DRAWING NAME: **ELEVATOR / STAIR A EXTERIOR ELEVATIONS**

SHEET NO.

AM2.1

PROJECT NO. **909044**

SHEET **14** OF **26**

1 MARKETPLACE PARKING - STAIR B - SOUTH ELEVATION
 AM2.1 SCALE: 1/4" = 1'-0"

2 MARKETPLACE PARKING - STAIR B - EAST ELEVATION
 AM2.1 SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. RE-MOVE AND RE-INSTALL ALL ALUMINUM STAIR TREADS. SET IN FULL BED OF MASTIC. USE STAINLESS STEEL FASTENERS TYPICAL AT ALL LEVELS.
2. CLEAN ALL EXISTING GLASS INSIDE AND OUT.
3. REGASKET AND SEAL ALL EXISTING GLASS PANELS AND METAL PANELS AT CURTAIN WALL. REPLACE PRESSURE CAPS AS NECESSARY.
5. V.I.F. ALL DIMENSIONS & ELEVATIONS.



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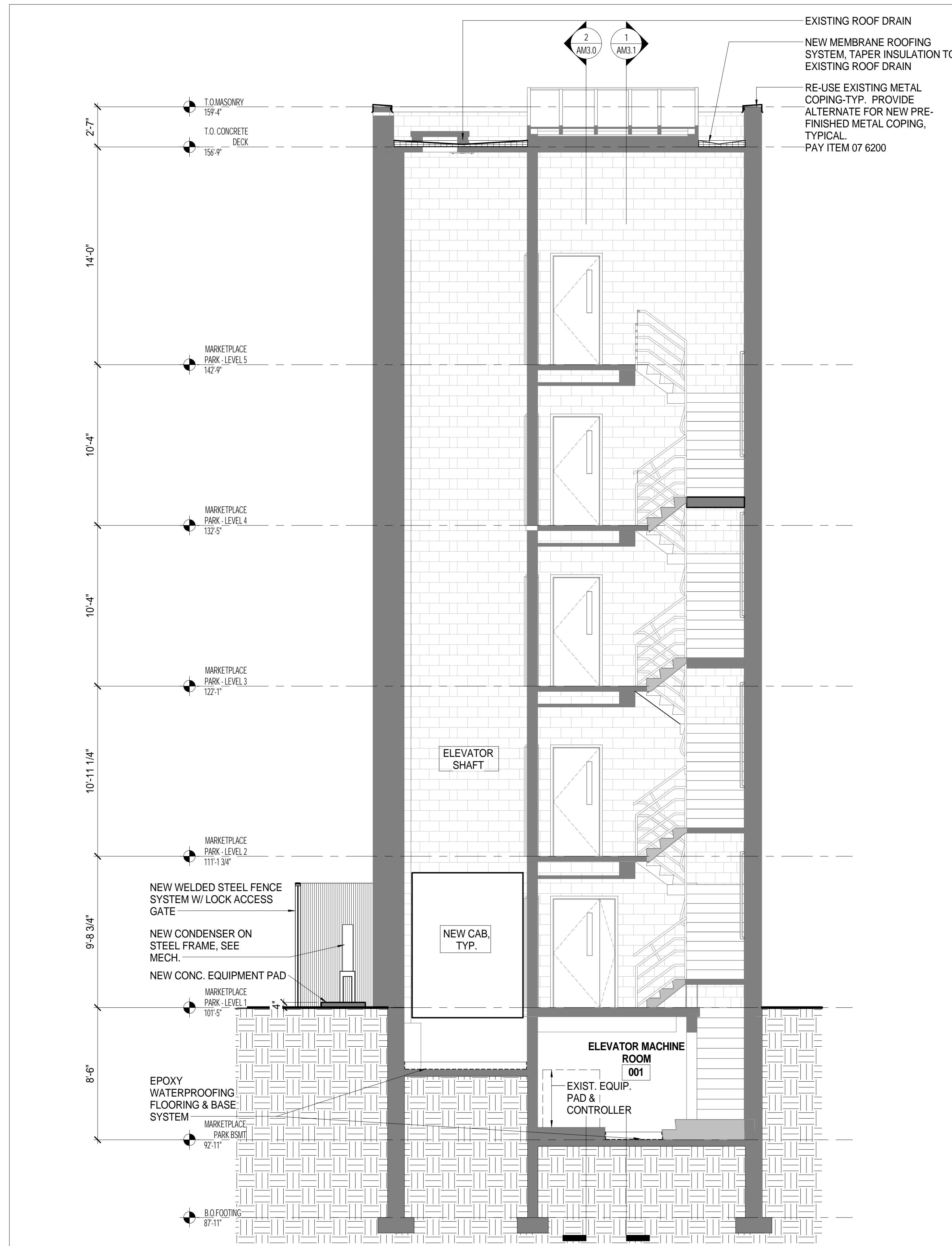
PROJECT: **MARKETPLACE GARAGE RENOVATIONS - PHASE I BURLINGTON, VERMONT**
 DRAWING NAME: **ELEVATOR / STAIR A BUILDING SECTIONS**

SHEET NO.

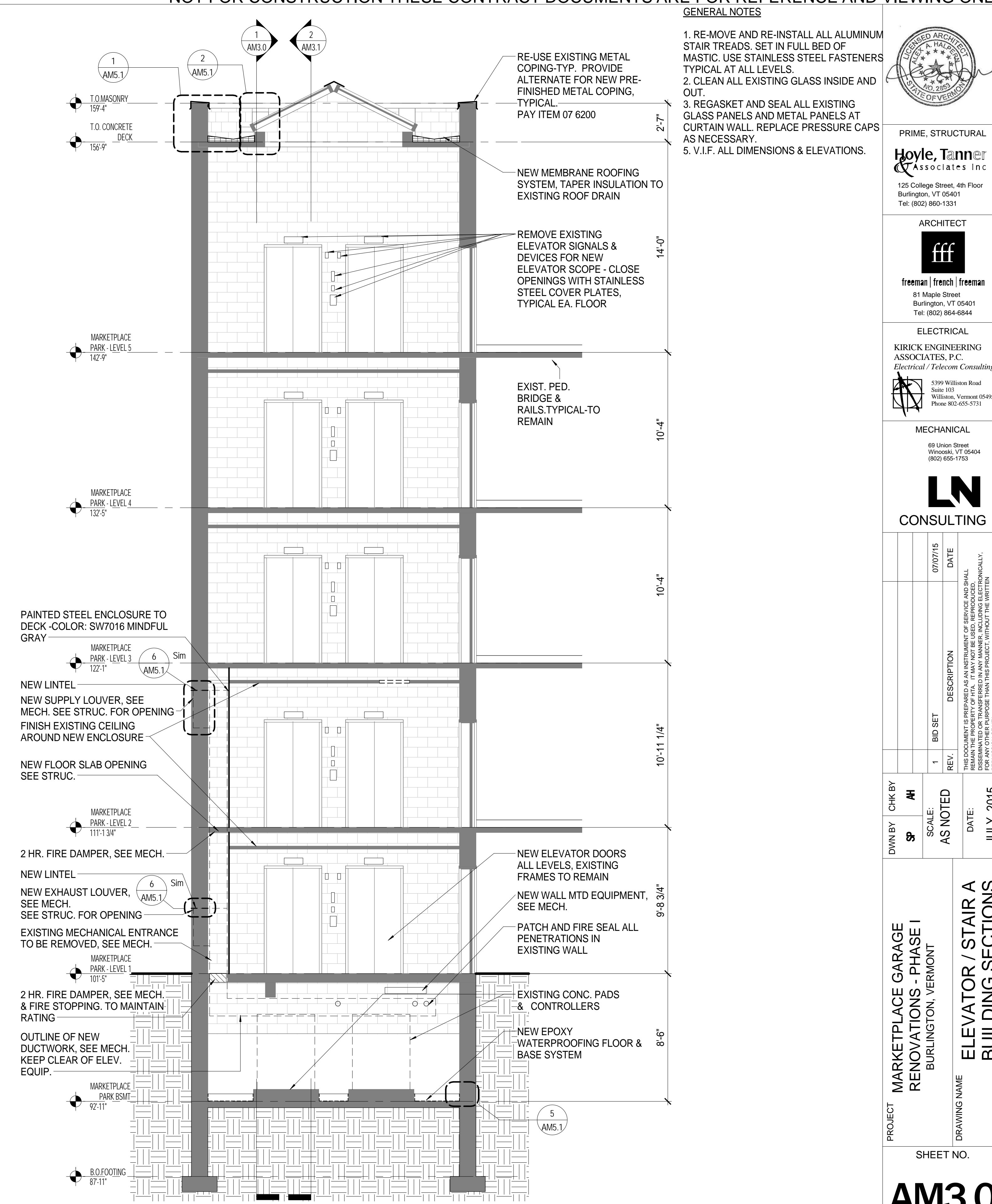
AM3.0

PROJECT NO. **909044**

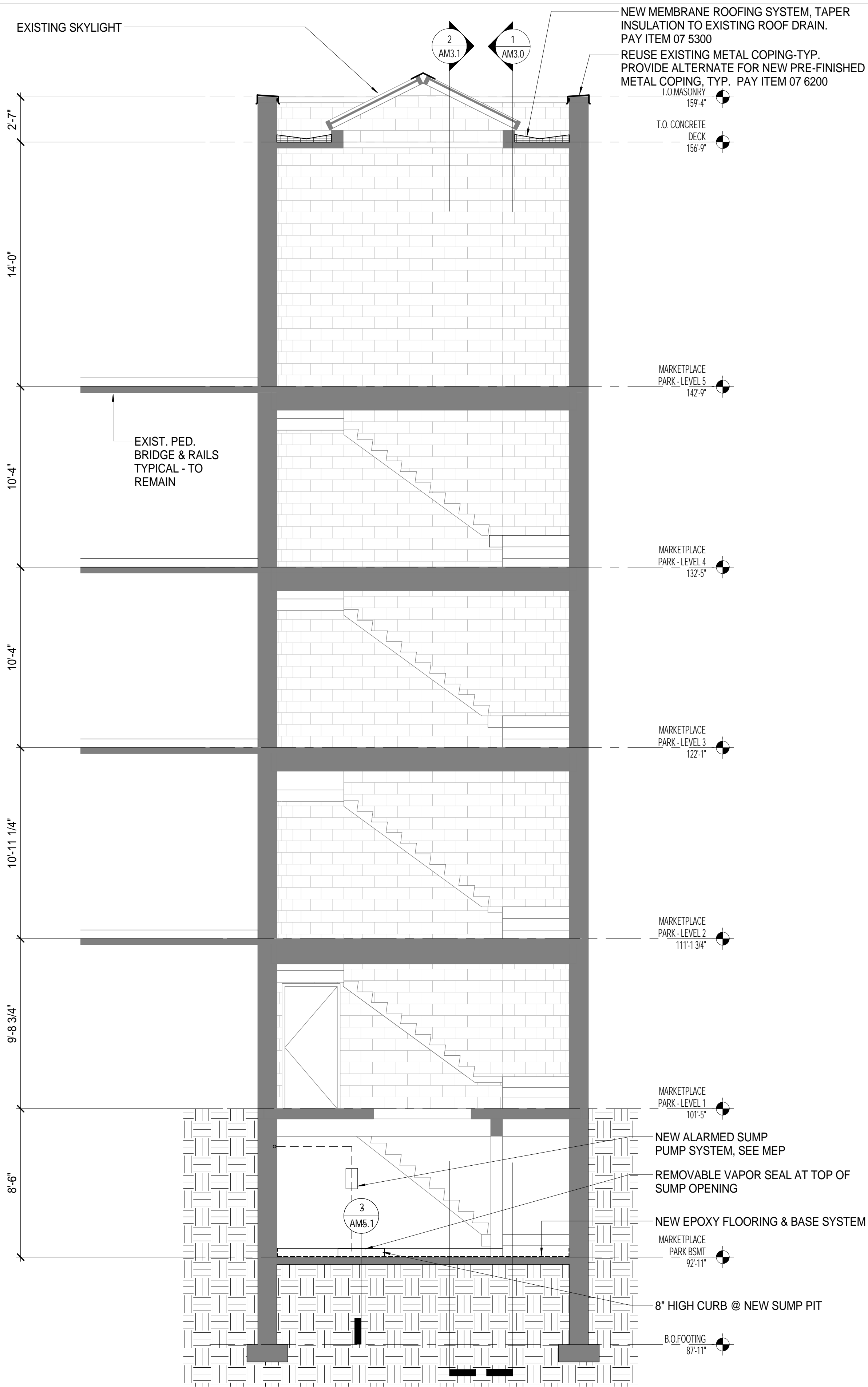
SHEET **15** OF **26**



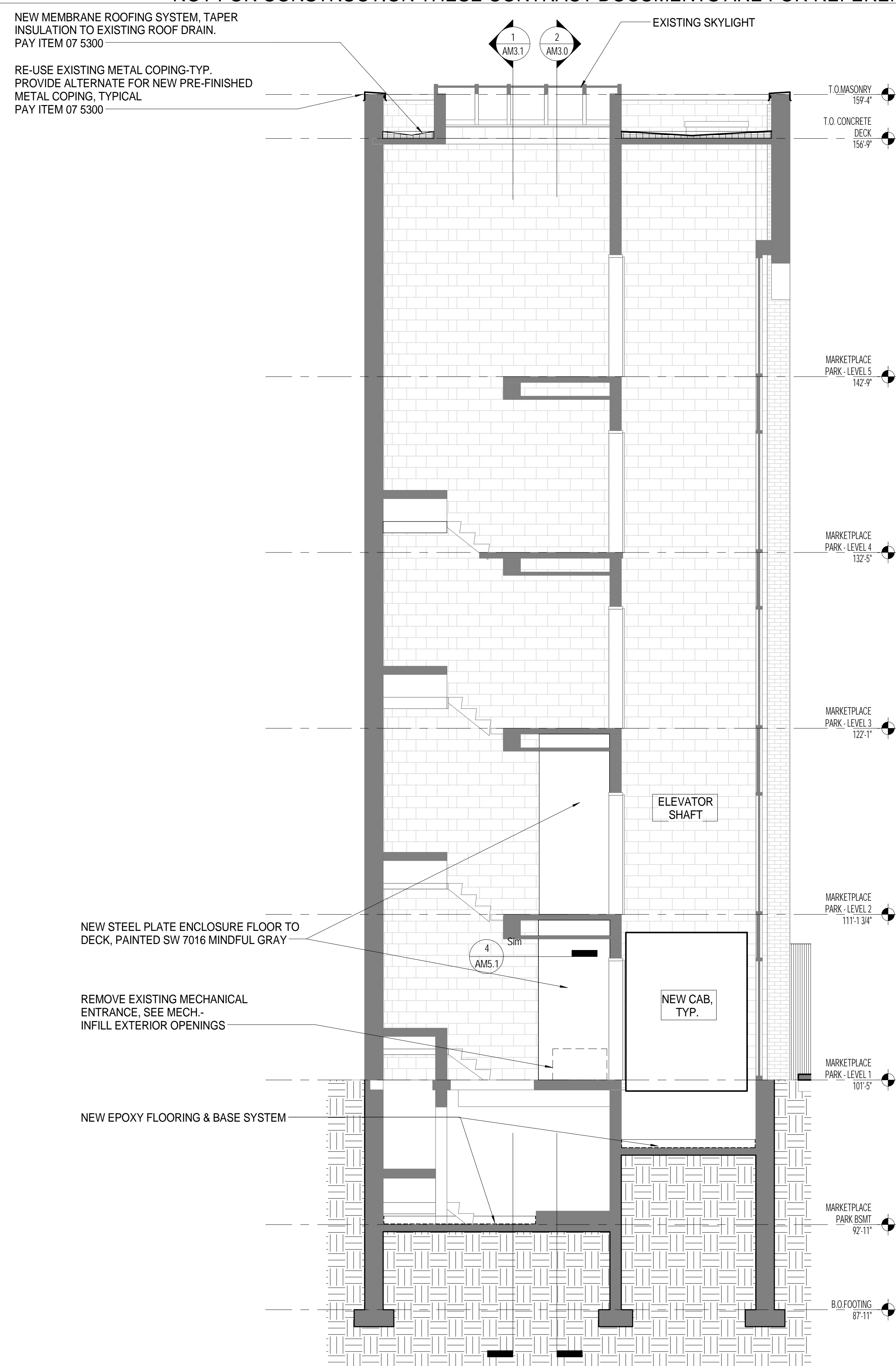
1 MARKETPLACE PARKING - BUILDING SECTION LOOKING EAST
 AM3.0 SCALE: 1/4" = 1'-0"



2 MARKETPLACE PARKING - BUILDING SECTION LOOKING NORTH
 AM3.0 SCALE: 1/4" = 1'-0"



1 MARKETPLACE PARKING - BUILDING SECTION LOOKING SOUTH
 AM3.1 SCALE: 1/4" = 1'-0"



2 MARKETPLACE PARKING - BUILDING SECTION LOOKING WEST
 AM3.1 SCALE: 1/4" = 1'-0"



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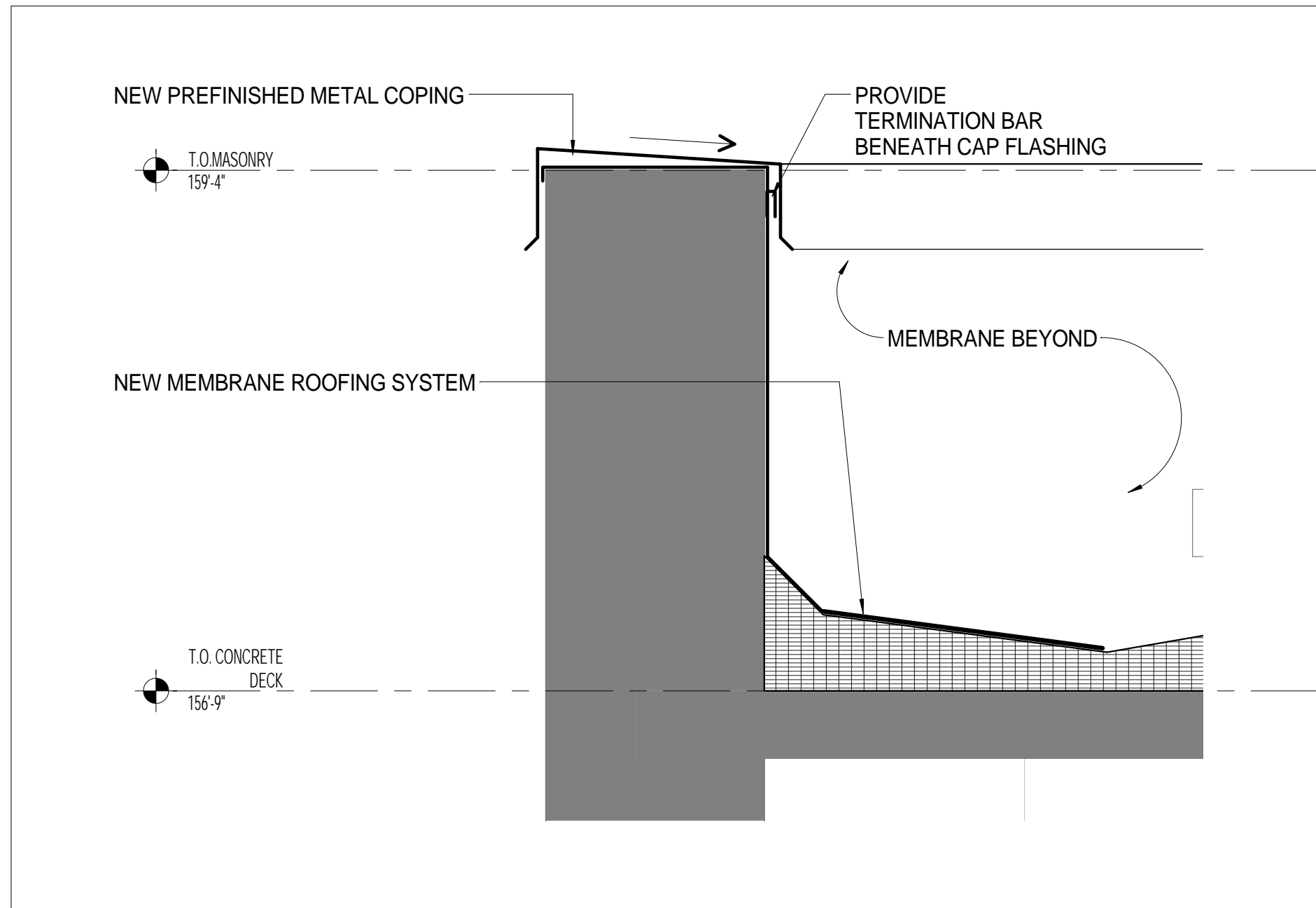
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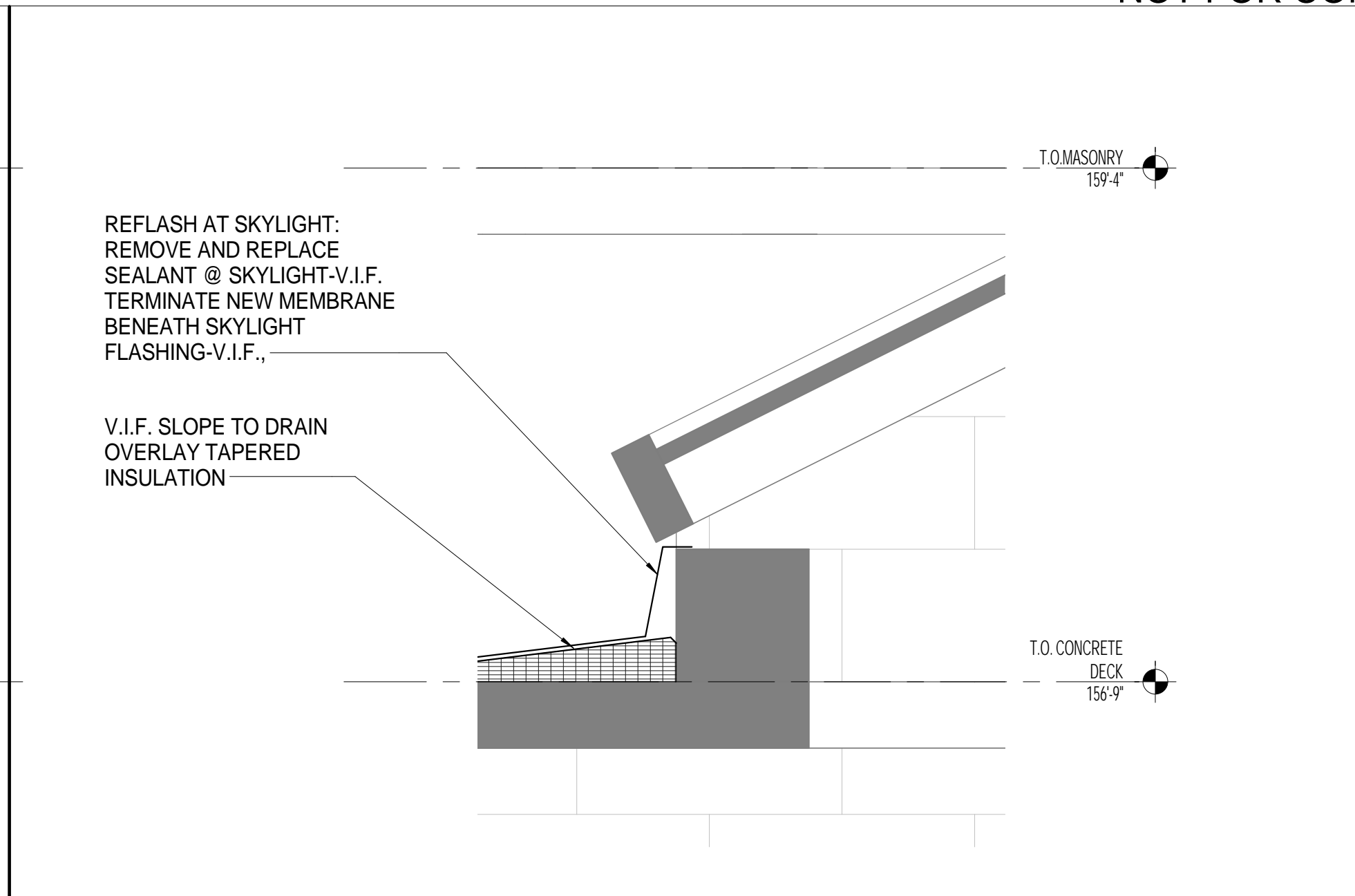
CHK BY: **AH**
 DWN BY: **SP**
 SCALE: **AS NOTED**
 DATE: **JULY, 2015**

PROJECT: **MARKETPLACE GARAGE RENOVATIONS - PHASE I BURLINGTON, VERMONT**
 DRAWING NAME: **ELEVATOR / STAIR A BUILDING SECTIONS**

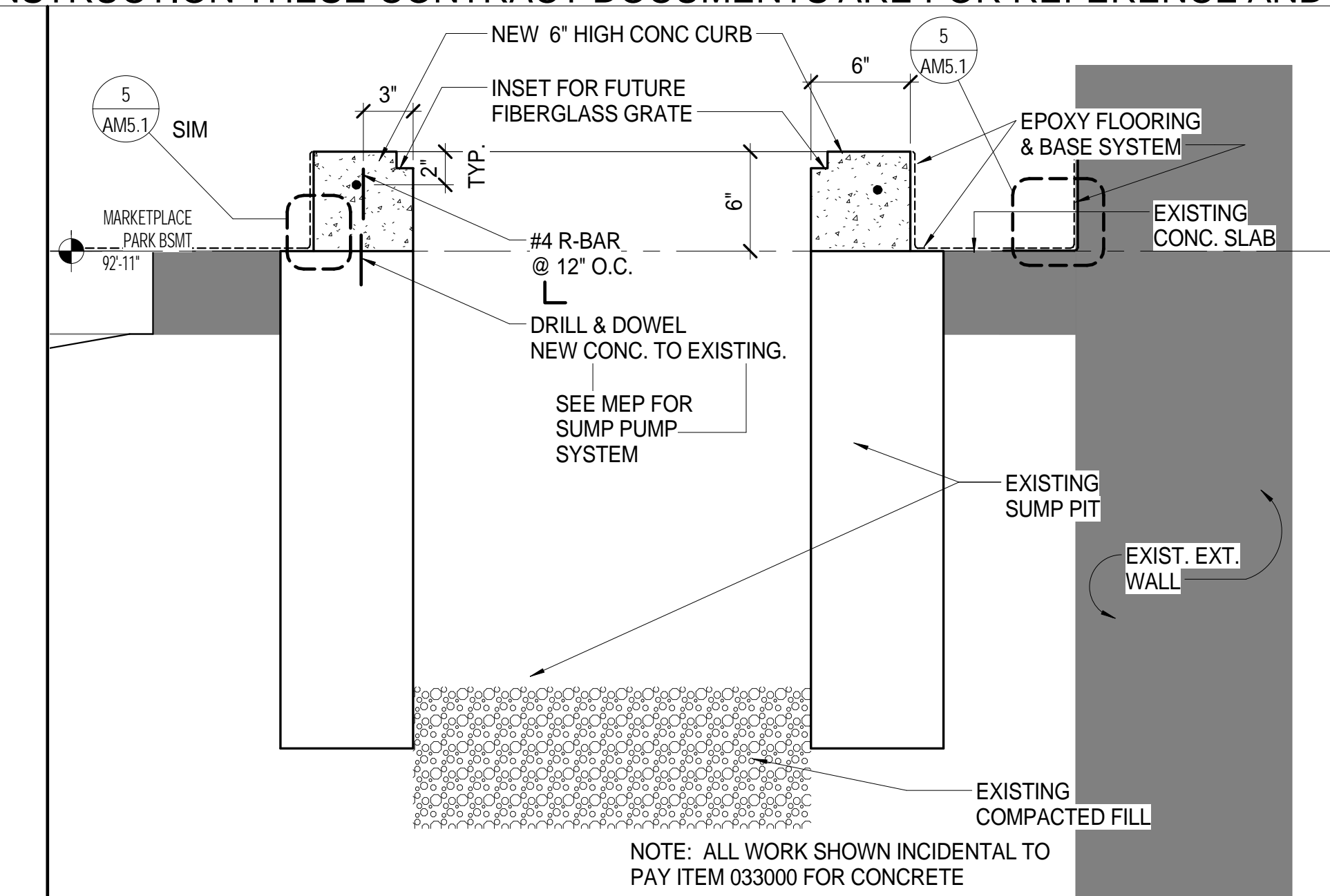
SHEET NO. **AM3.1**
 PROJECT NO. **909044**
 SHEET **16** OF **26**



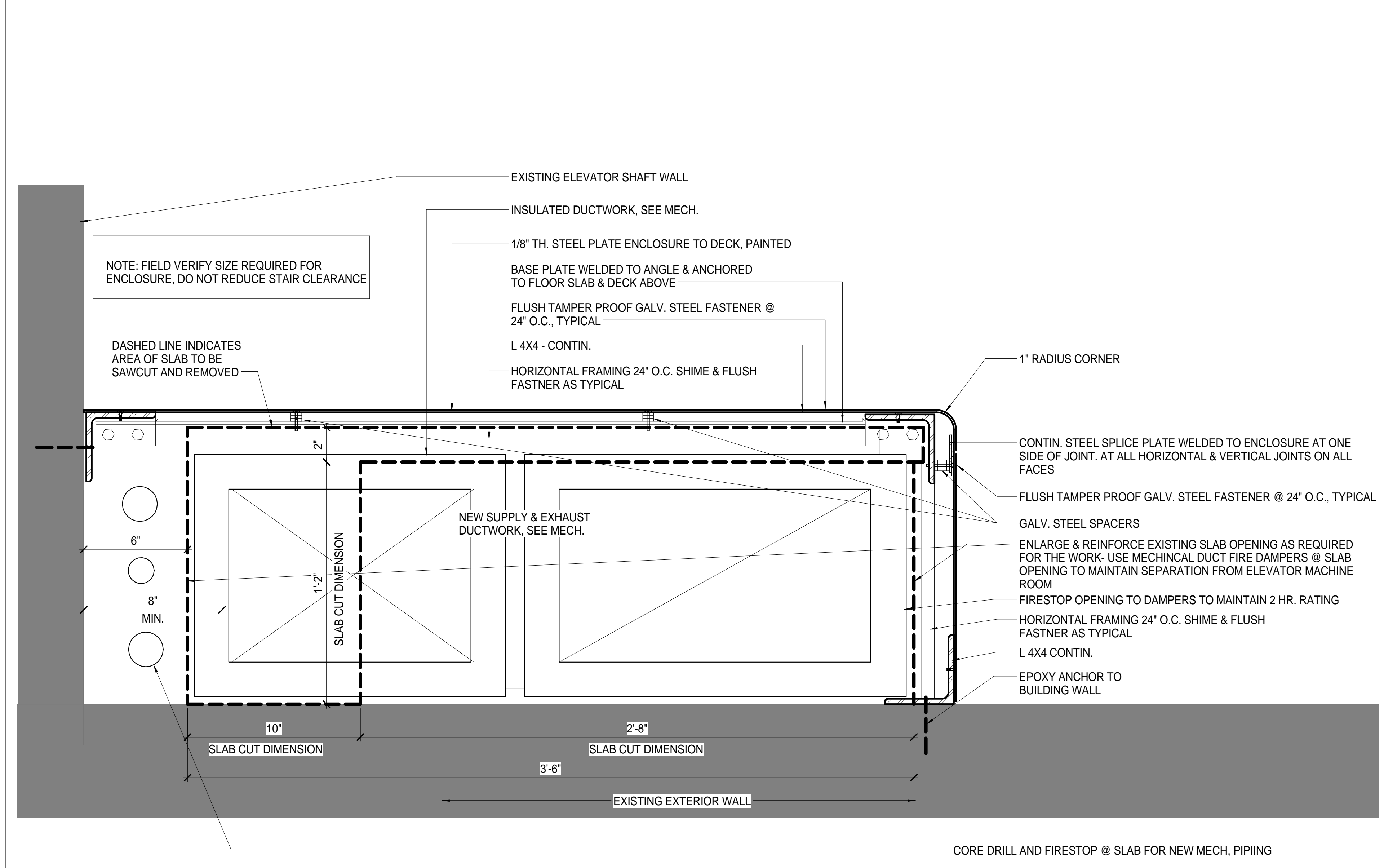
1 PARAPET DETAIL
 AM5.1 SCALE: 1 1/2" = 1'-0"



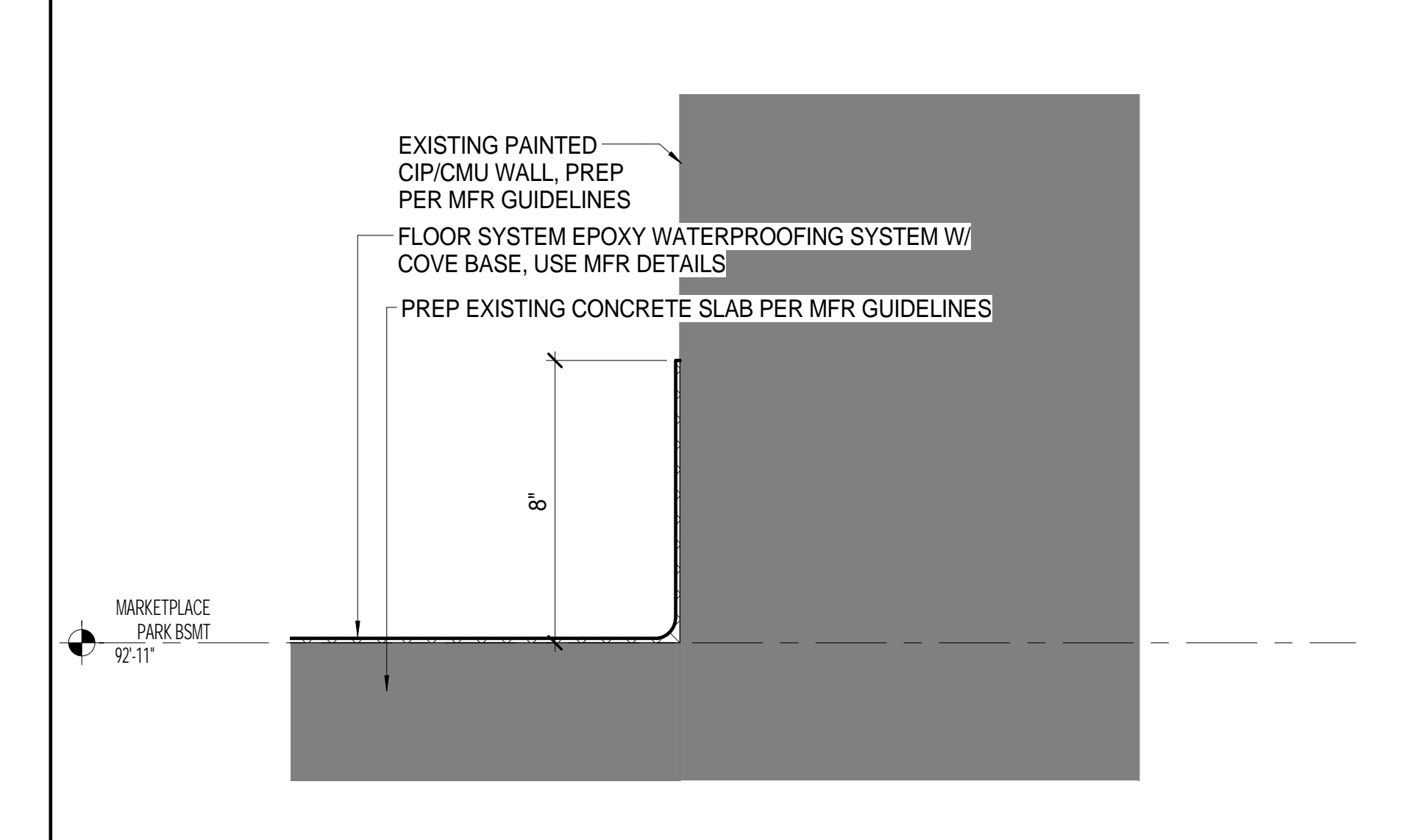
2 SKYLIGHT CURB DETAIL
 AM5.1 SCALE: 1 1/2" = 1'-0"



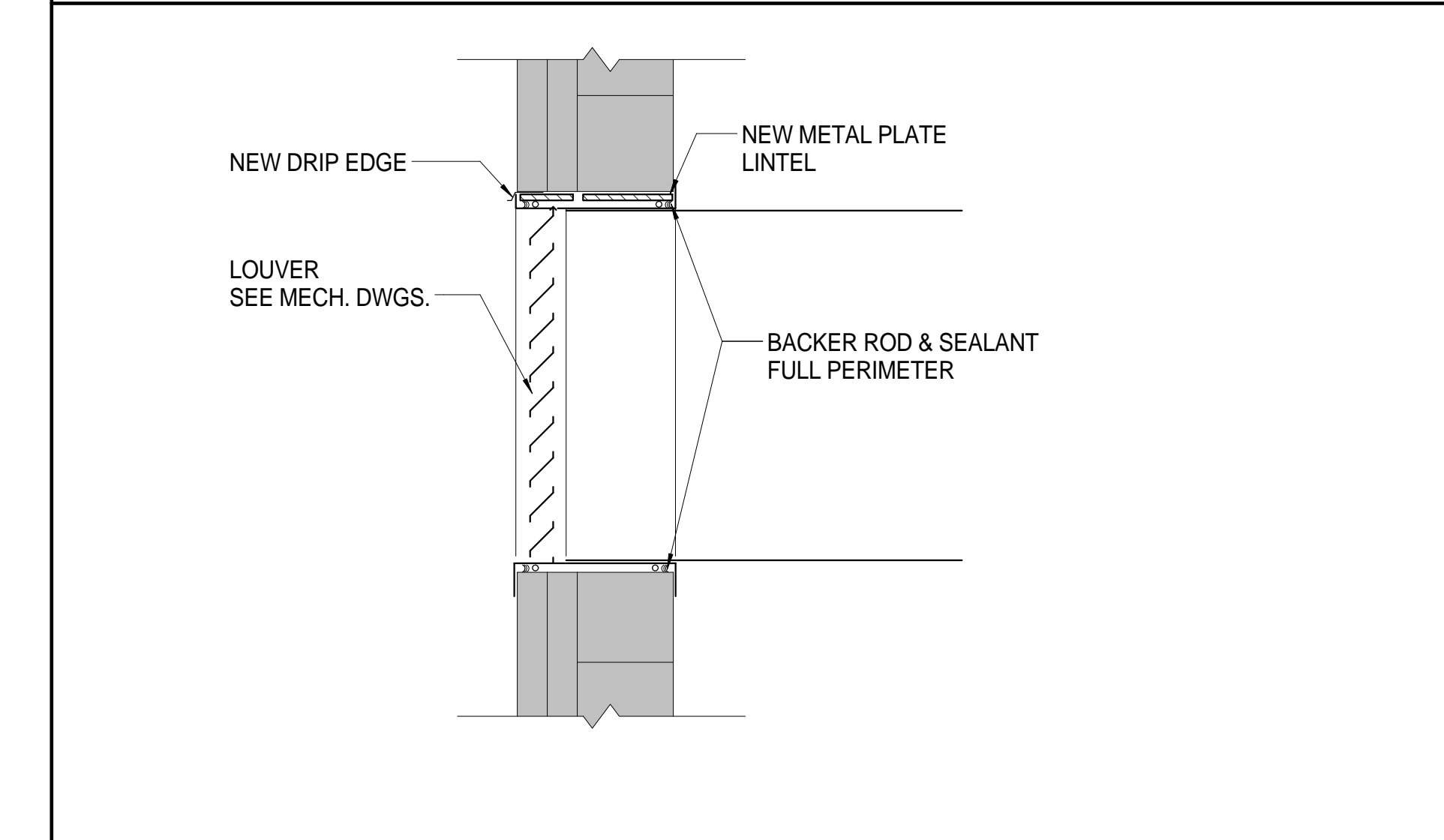
3 NEW SUMP PIT SECTION
 AM5.1 SCALE: 1 1/2" = 1'-0"



4 LEVEL 1 MECHANICAL ENCLOSURE DETAIL
 AM5.1 SCALE: 3" = 1'-0" SIMILAR CONDITION AT LEVEL 2



5 EPOXY FLOORING DETAIL
 AM5.1 SCALE: 3" = 1'-0"



6 SUPPLY LOUVER DETAIL
 AM5.1 SCALE: 1" = 1'-0"

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 SCALE: AS NOTED
 DATE: JULY, 2015

PROJECT: MARKETPLACE GARAGE RENOVATIONS - PHASE I BURLINGTON, VERMONT
 DRAWING NAME: ELEVATOR / STAIR A DETAILS
 SHEET NO. **AM5.1**
 PROJECT NO. 909044
 SHEET 17 OF 26



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CHK BY	MPK
DWN BY	TPB
SCALE:	AS SHOWN
DATE:	JULY, 2015

PROJECT
MARKETPLACE GARAGE RENOVATIONS - PHASE I
 BURLINGTON, VERMONT

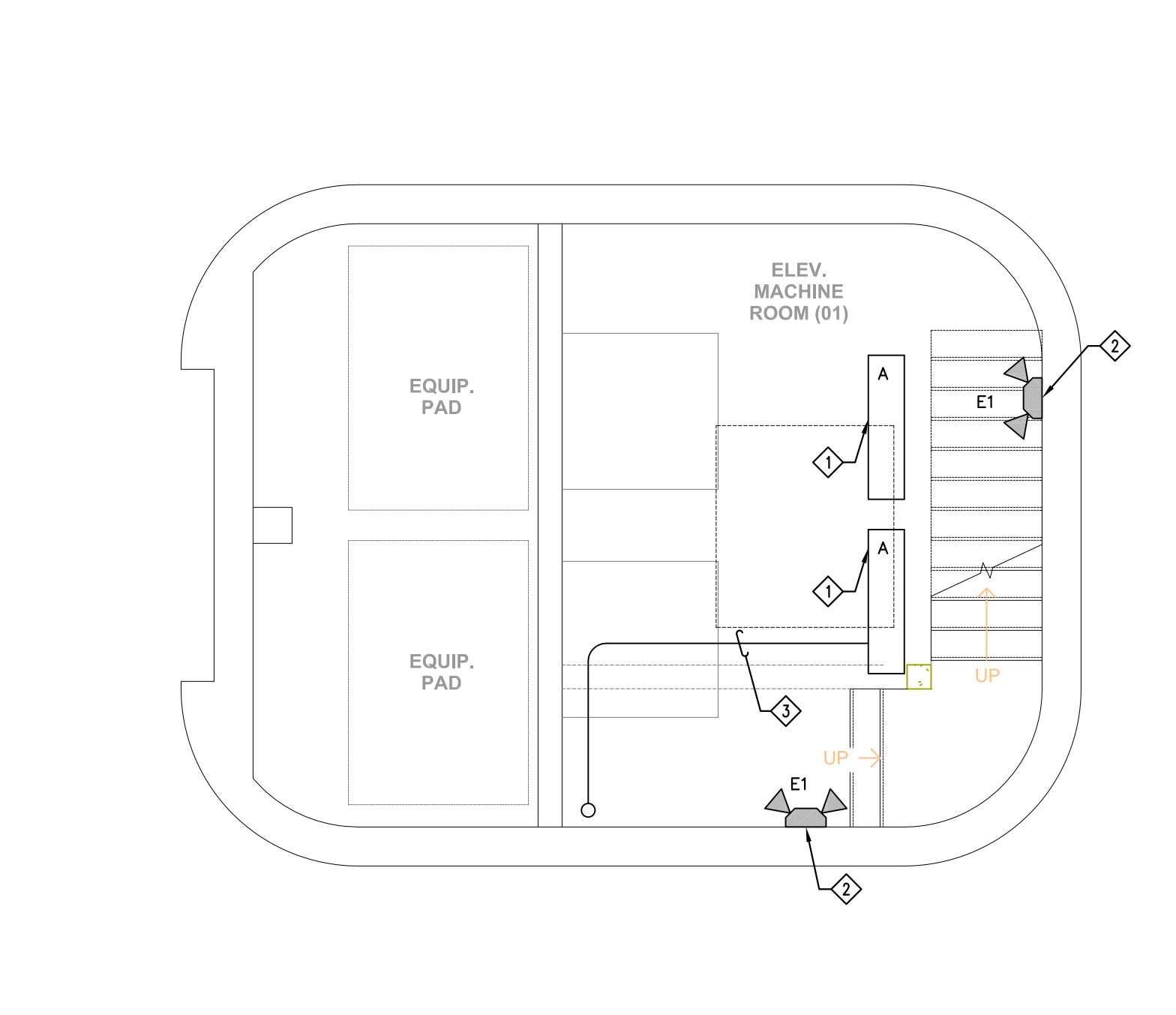
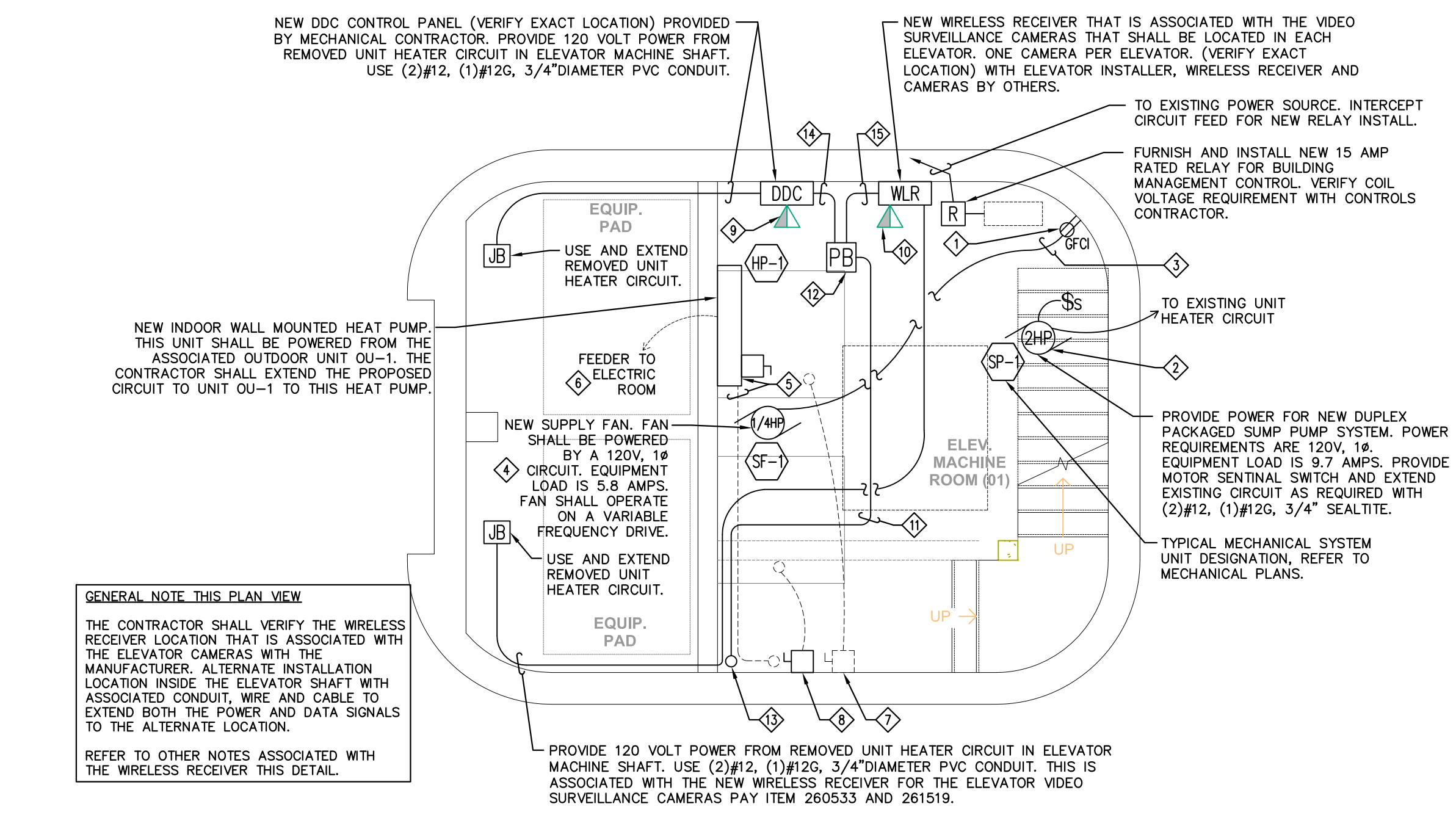
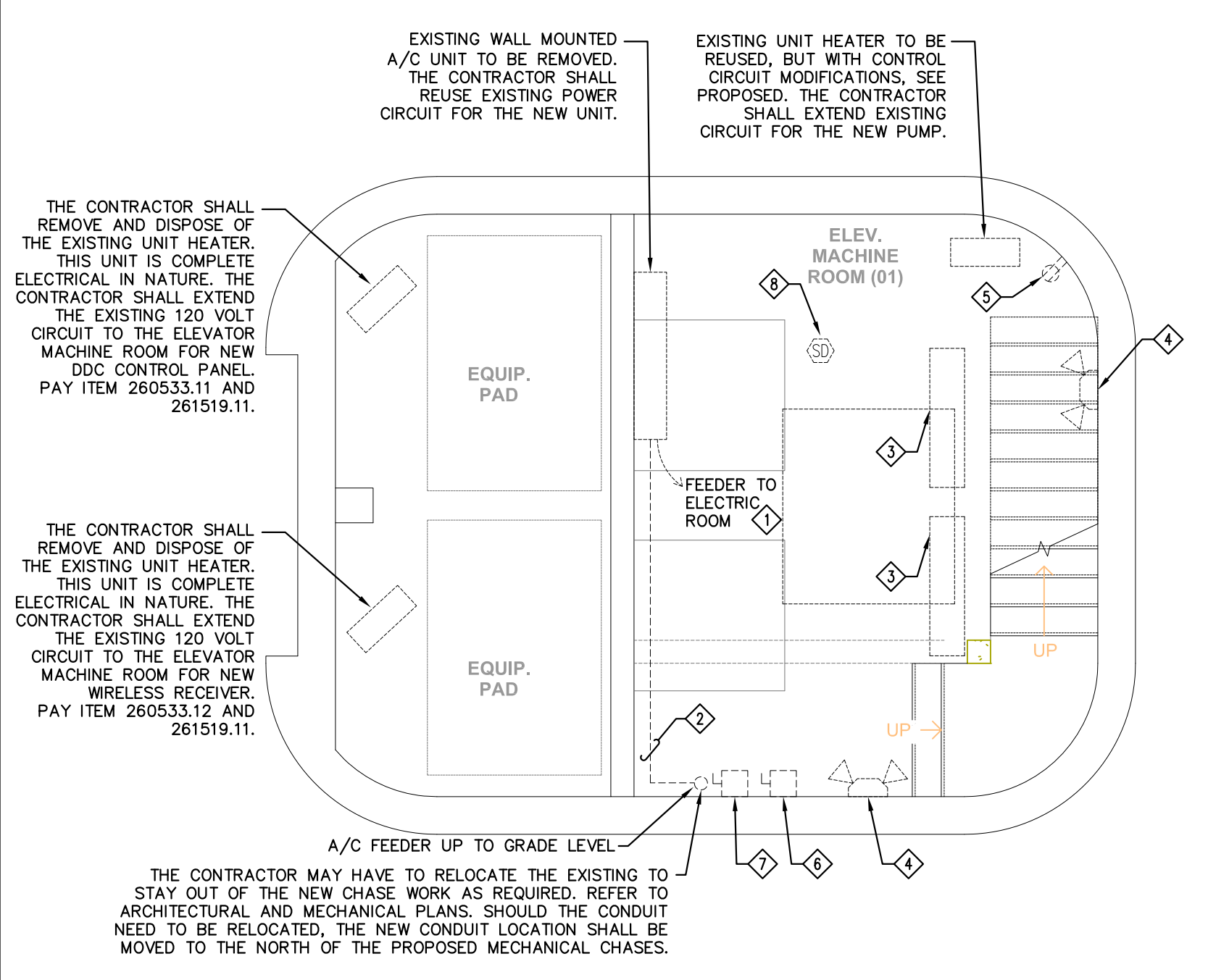
DRAWING NAME
BASEMENT LEVEL DEMOLITION & PROPOSED ELECTRICAL/LIGHTING PLANS

SHEET NO.

EM1.0

PROJECT NO. 909044

SHEET 18 OF 26



- KEYED NOTES DEMO PLAN:**
- THE EXISTING POWER FEED FOR REMOVED A/C UNIT SHOULD BE PROPERLY SIZED FOR REPLACEMENT UNIT, AND SHALL BE REUSED.
 - EXISTING CONDUIT SHALL BE REUSED FOR NEW SPLIT SYSTEM. REPLACE CONDUCTORS TO MATCH NEW SYSTEM COMPONENT IF REQUIRED.
 - EXISTING LIGHT FIXTURE TO BE REMOVED AND REPLACED WITH NEW.
 - EXISTING EMERGENCY LIGHT TO BE REMOVED AND REPLACED WITH NEW. PAY ITEM 265210.12.
 - EXISTING RECEPTACLE TO BE REPLACED WITH NEW.
 - EXISTING ELEVATOR DISCONNECT TO REMAIN AND BE USED FOR NEW ELEVATOR MOTOR POWER FEED.
 - EXISTING ELEVATOR DISCONNECT TO BE REMOVED AND REPLACED WITH NEW. PAY ITEM 260500.12.
 - ALL EXISTING FIRE ALARM SYSTEM DEVICES SHALL REMAIN AS IS.

- KEYED NOTES PROPOSED ELECTRICAL PLAN:**
- FURNISH AND INSTALL NEW 20AMP COMMERCIAL GRADE GFCI DUPLEX RECEPTACLE, CONNECT TO EXISTING RECEPTACLE CIRCUIT. PAY ITEM 26272.11.
 - INSTALL NEW SUMP PUMP PROVIDED BY MECHANICAL CONTRACTOR. REUSE AND EXTEND EXISTING CIRCUIT FROM REMOVED UNIT HEATER. PROVIDE LOCAL MOTOR SENTINAL SWITCH IF DISCONNECT NOT INCLUDED WITH PUMP. PAY ITEM 230500.11.
 - EXTEND RECEPTACLE CIRCUIT TO POWER NEW SUPPLY FAN. USE (2)#12, (1)#12G, 3/4" SCHEDULE 40 PVC. PAY ITEMS 265210.12 AND 261519.11.
 - INSTALL NEW EXHAUST FAN AND VFD PROVIDED BY MECHANICAL CONTRACTOR.
 - INSTALL NEW SPLIT UNIT HEAT PUMP AND REMOTE CONDENSER ON GRADE LEVEL. EXISTING CONDUIT (AND WIRE) CAN BE REUSED FOR NEW INSTALLATION AS APPROPRIATE, OR REPLACE WITH NEW AS NEEDED.
 - EXISTING SOURCE POWER FEEDER SHALL BE REUSED FOR NEW SYSTEM. REPLACEMENT UNIT IS OR SIMILAR SIZE AS REMOVED AND CIRCUIT SHOULD BE SIZED TO MATCH. VERIFY IN FIELD AND NOTIFY ENGINEER IF SIZING DOES NOT MATCH.
 - RE-CIRCUIT NEW ELEVATOR MOTOR TO EXISTING DISCONNECT AND FEEDER.
 - FURNISH AND INSTALL NEW 200 AMP FUSED DISCONNECT WITH AUXILIARY CONTACTS FOR ELEVATOR
 - FURNISH AND INSTALL (1) 4-PAIR CAT6 DATA CABLE, AND ALL TERMINATION HARDWARE. THE CABLE SHALL ORIGINATE AT THE LEVEL 2 OFFICE LOCATED AT THE WINDOOKI STREET ENTRANCE. INSTALL CABLE IN A SHARED 1" DIAMETER PVC CONDUIT FROM THE OFFICE TO THE ELEVATOR MACHINE ROOM. THE CONDUIT SHALL PROVIDE PATHWAY FOR BOTH THE DDC DATA DROP AND THE DATA DROP FOR THE WIRELESS RECEIVER ASSOCIATED WITH THE ELEVATOR CAMERAS. COORDINATE ROUTE WITH ENGINEER PRIOR TO INSTALLATION. APPROXIMATE ROUTE IS SHOWN ON THESE PLANS. COORDINATE TERMINATIONS AT EACH END WITH OWNER AND MECHANICAL. REFER TO SHEET EM2.1 FOR CABLE REQUIRED DATA CABLE TYPE.
 - FURNISH AND INSTALL (1) 4-PAIR CAT6 DATA CABLE, AND ALL TERMINATION HARDWARE. THE CABLE SHALL ORIGINATE AT THE LEVEL 2 OFFICE LOCATED AT THE WINDOOKI STREET ENTRANCE. INSTALL CABLE IN A SHARED 1" DIAMETER PVC CONDUIT FROM THE OFFICE TO THE ELEVATOR MACHINE ROOM. THE CONDUIT SHALL PROVIDE PATHWAY FOR BOTH THE WIRELESS RECEIVER DATA DROP AND THE DATA DROP FOR THE DDC. COORDINATE ROUTE WITH ENGINEER PRIOR TO INSTALLATION. APPROXIMATE ROUTE IS SHOWN ON THESE PLANS. COORDINATE TERMINATIONS AT EACH END WITH OWNER AND ELEVATOR INSTALLER. REFER TO SHEET EM2.1 FOR REQUIRED DATA CABLE TYPE. PAY ITEM 260500.11.
 - THE CONTRACTOR SHALL FURNISH AND INSTALL A 1" DIAMETER SCHEDULE 40 PVC CONDUIT ORIGINATING AT THE PROPOSED PULL BOX AND ROUTING TO THE OFFICE LOCATED ON LEVEL 2, AT THE WINDOOKI STREET ENTRANCE. APPROXIMATE ROUTE IS SHOWN ON THESE PLANS. COORDINATE WITH ENGINEER. REFER TO SHEET EM1.1, EM2.0 AND EM2.1 FOR PATHWAY CONTINUATION. ALTHOUGH SWEEPS ARE SHOWN IN THE CONDUIT ROUTE, THE CONTRACTOR SHALL PROVIDE PATHWAY FOR BOTH THE DDC DATA DROP AND THE DATA DROP FOR THE PULL BOX TO THE SWEEP UP INTO THE FIRST FLOOR. PAY ITEM 260533.11.
 - FURNISH AND INSTALL A 24"(L)x8"(W)x6"(D) PVC PULL BOX. MOUNT BOX TO DECK ABOVE. PAY ITEM 260533.11.
 - THE CONDUIT PATHWAY SHALL SWEEP UP TO THE FIRST FLOOR. THE CONTRACTOR SHALL CORE DECKING AS REQUIRED. COORDINATE CORING WITH STRUCTURAL ENGINEERING. REFER TO PLAN EM1.1 FOR PATHWAY CONTINUATION.
 - FURNISH AND INSTALL A 1" DIAMETER SCHEDULE 40 PVC CONDUIT FROM THE PULL BOX TO THE DDC PANEL. PAY ITEM 260533.11.
 - FURNISH AND INSTALL A 1" DIAMETER SCHEDULE 40 PVC CONDUIT FROM THE PULL BOX TO THE WIRELESS RECEIVER. PAY ITEM 260533.11.

- KEYED NOTES PROPOSED LIGHTING THIS SHEET:**
- FURNISH AND INSTALL NEW CHAIN HUNG WORKLIGHT FIXTURE. RE-CIRCUIT TO ORIGINAL SWITCH LOOP. REFER TO LUMINAIRE SCHEDULE. PAY ITEM 265210.11.
 - FURNISH AND INSTALL NEW SELF-CONTAINED EMERGENCY BATTERY PACK. RE-CIRCUIT TO EXISTING BRANCH CIRCUIT. REFER TO LUMINAIRE SCHEDULE. MOUNT FIXTURE 6"-8" CLEAR FROM FINISHED WALKING SURFACE. PAY ITEM 265210.12.
 - EXTEND LIGHTING CIRCUIT FROM THE LIGHT FIXTURE SHOWN ON THE BASEMENT LEVEL TO THE PROPOSED EXTERIOR LIGHT FIXTURE AT STAIR B. FURNISH AND INSTALL (2)#12, (1)#12G, 3/4" SCHEDULE 40 PVC CONDUIT. REFER TO PROPOSED LIGHTING PLAN ON SHEET EM1.1 FOR PATHWAY CONTINUATION AND PROPOSED LIGHT FIXTURE LOCATION. PAY ITEMS 260533.12 AND 261519.11.

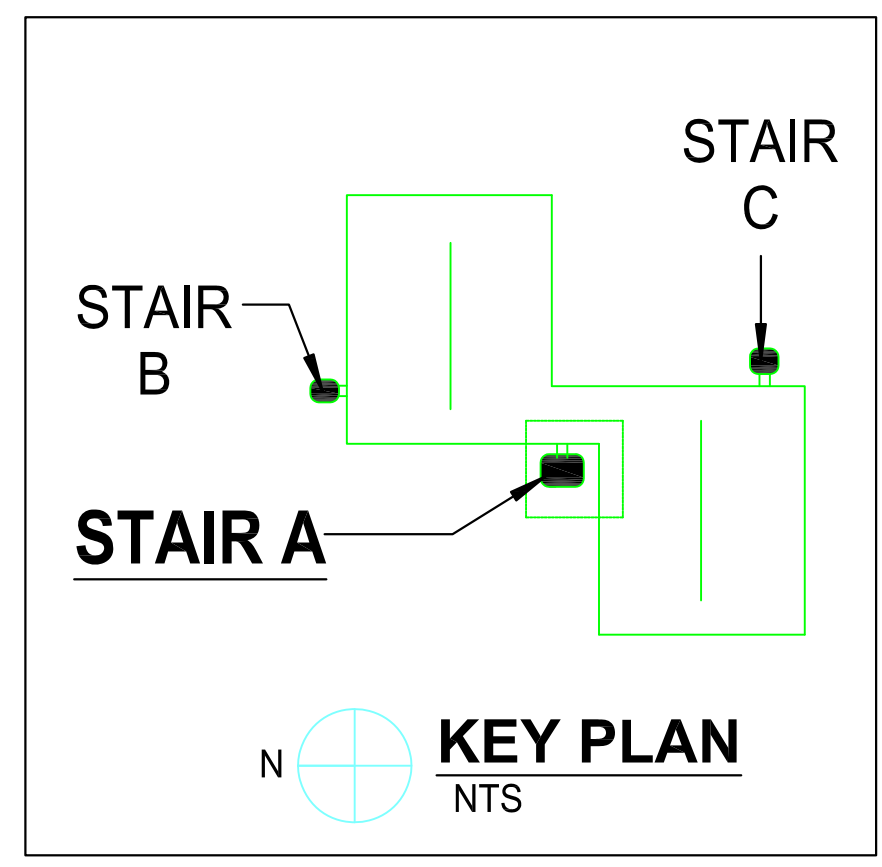
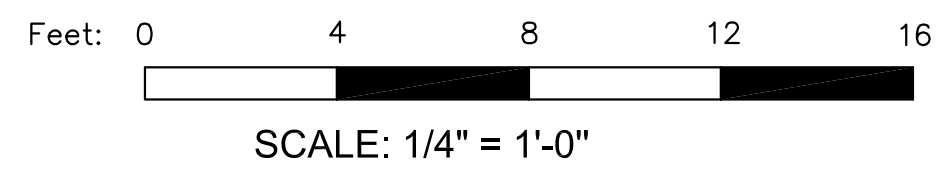
ELECTRICAL DEMOLITION PLAN (ELEV. MACH. RM.)
 SCALE: 1/4" = 1'-0"

PROPOSED ELECTRICAL PLAN (ELEV. MACH. RM.)
 SCALE: 1/4" = 1'-0"

PROPOSED LIGHTING PLAN (ELEV. MACH. RM.)
 SCALE: 1/4" = 1'-0"

LUMINAIRE SCHEDULE					
TYPE	MANUFACTURER & MODEL NO.	MOUNTING	LAMPS	VOLTS	DESCRIPTION
A	LITHONIA LIGHTING ZL1N L48 300LM FST 35K 80 WH HC36 - OPTIONS AS PER EC REQUIRES FOR INSTALLATION	CHAIN HUNG FROM CEILING	32WATTS/ 2636 DELIVERED LUMENS	120	WHITE LOW PROFILE 4-FT LINEAR INDUSTRIAL WHITE SURFACE FROSTED LENSED LED LUMINAIRE. DRIVERS & INTERNAL COMPONENTS ACCESSIBLE FROM FLOOR. LED BOARDS PLUG-IN CONNECTORS. DAMP RATED. HOUSING: COLD-ROLLED STEEL, PAF, SMOOTH HEMMED SIDES. EXTRUDED ALUM FLUSH DOOR. 5-YEAR LIMITED WARRANTY. DLC LISTED
B	BROWNLEE LIGHTING 1542 LED NT B12LED 35K ES	WALL - SAME LOCATION AS DEMOLISHED WALL SCONCES	12WATTS, 1303 DELIVERED LUMENS 3500K (108 LPW) COLOR TEMPERATURE = 3500K	120V	LED WALL SCONCE WITH NICKEL TONE FINISH AND CYLINDRICAL FORMED GLASS DIFFUSER. DIFFUSER W/WHITE FINISHED INTERIOR & ETCHED OUTER SURFACE - SOFTENS LIGHT. TRIM - WITH 2 THICK BARS FOR DIFFUSER STABILITY. ENERGY STAR. MOUNTING HARDWARE INCLUDED. MOUNTS TO J-BOX. 5-YEAR LIMITED WARRANTY.
C	LITHONIA LIGHTING LB 2 32 MVOLT GEB10IS	CEILING - SAME LOCATION AS DEMOLISHED LIGHT. VERIFY PRIOR TO BID IF UNLISTED COMPONENTS ARE REQUIRED FOR INSTALLATION	(2) 32W T8 USE 3100 LUMEN LAMPS SAME COLOR TEMPERATURE AS EXISTING. 4100K IS PREFERRED	120V	4-FT NARROW BODY LOW-PROFILE WRAPAROUND, 10-in WIDE & 2.75-in DEEP. BALLAST: T8 TECHNOLOGY, RATED OFF-INSTANT START, < 10%THD, BALLAST FACTOR = 1.0 OR HIGHER. DAMP RATED. DIFFUSER: CURVED PRISMATIC ACRYLIC W/HIGH-GLOSS HIGH REFLECT WHITE ENAMEL. CONSTRUCTION: DIE FORMED FROM CODE-GAUGE. PROVIDES LIGHT TRAP DESIGN.
E	LITHONIA LIGHTING LOM S W 3 R EL N OR ENGINEER APPROVED EQUIVALENT	UNIVERSAL	RED LED	120	WHITE LED EXIT SIGN. HOUSING: HIGH-IMPACT THERMOPLASTIC, EASY SNAP TOGETHER. UNIVERSAL DIRECTIONAL CHEVRON INSERTS. SINGLE FACE WITH EXTRA FACEPLATE FOR DUAL FACE. NO SELF-DIAGNOSTICS. DAMP LOCATION RATED. BATTERY: NICKEL-CADMIUM WITH CURRENT LIMITING CHARGER. UL924, NFPA101 LISTED.
E1	LITHONIA LIGHTING ELM2 LED SERIES ELM2 LED OR ENGINEER APPROVED EQUIVALENT	WALL	(2) 1.5w/ 3.6v LED	120	WHITE THERMOPLASTIC EMERGENCY LIGHT. PROVIDE AND INSTALL ALL COMPONENTS (AS PER MANUFACTURER). USE Ni-CAD BATTERY. RANGE = 24-FT SINGLE COVERAGE WHEN MOUNTED AT 7.5-FT AFF. CAPACITY SIZE TO BE DETERMINED

- LUMINAIRE SCHEDULE GENERAL NOTES:**
- COORDINATE ALL FIXTURE FINISHES, COLORS AND TRIM STYLES WITH ARCHITECT PRIOR TO SUBMITTALS AND ORDERING.
 - ALL LED LAMPING SHALL BE 3500K, 82+ CRI FOR ALL LIGHT FIXTURES, UNLESS OTHERWISE NOTED BY OWNER.
 - ELECTRICAL CONTRACTOR SHALL VERIFY CEILING TYPES AND MOUNTING REQUIREMENTS WITH ARCHITECTURAL REFLECTED CEILING PLANS PRIOR TO ORDERING AND INSTALLATION.
 - ELECTRICAL CONTRACTOR SHALL ENSURE CATALOG NUMBERS MATCH DESCRIPTIONS SHOWN IN THIS SCHEDULE, AS WELL AS SWITCHING REQUIREMENTS SHOWN ON PLANS, PRIOR TO BIDDING AND ORDERING.
 - FOR ALL FIXTURES TO COMPLY WITH EFFICIENCY VERMONT'S APPROVED REBATE LIST; IE DLC LISTED OR ENERGY STAR RATINGS.



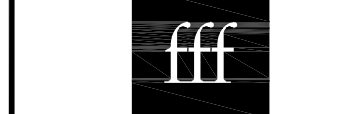


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REV.	DESCRIPTION	DATE
1	BID SET	07/07/15

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TPB	MPK	JULY, 2015
SCALE:	AS SHOWN	

PROJECT: MARKETPLACE GARAGE RENOVATIONS - PHASE I BURLINGTON, VERMONT

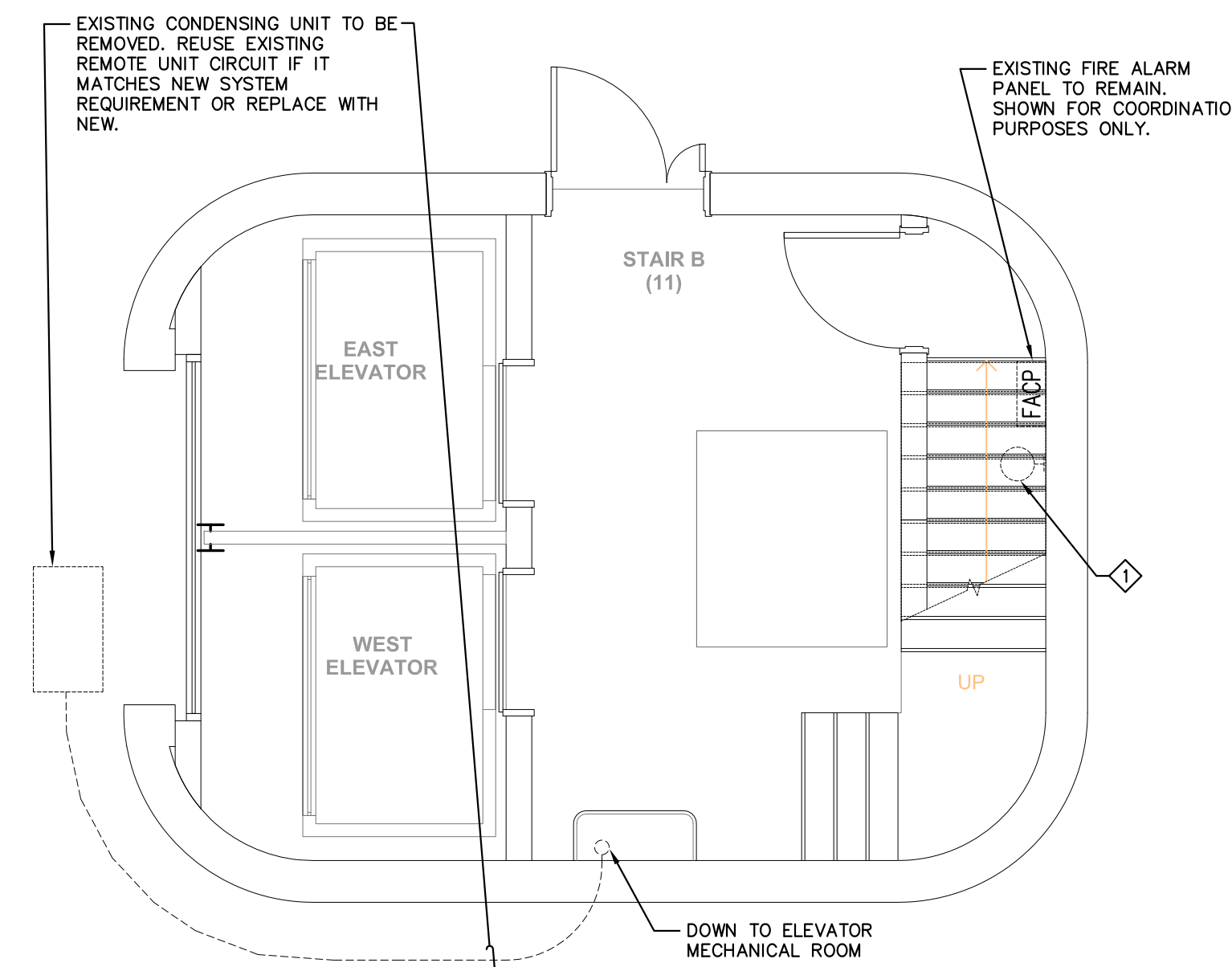
DRAWING NAME: LEVEL 1 DEMOLITION & PROPOSED ELECTRICAL/LIGHTING PLANS

SHEET NO.

EM1.1

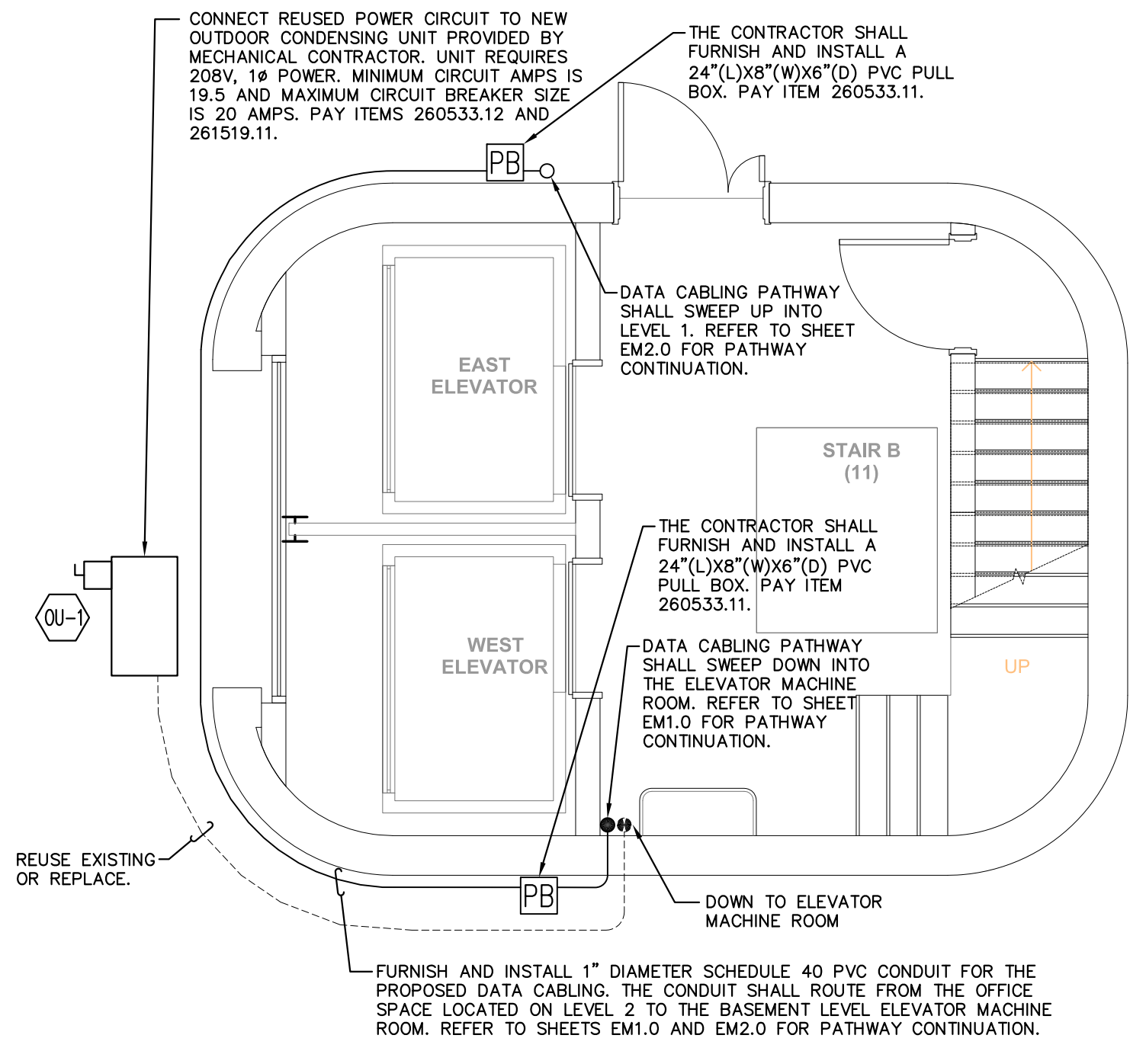
PROJECT NO. 909044

SHEET 19 OF 26

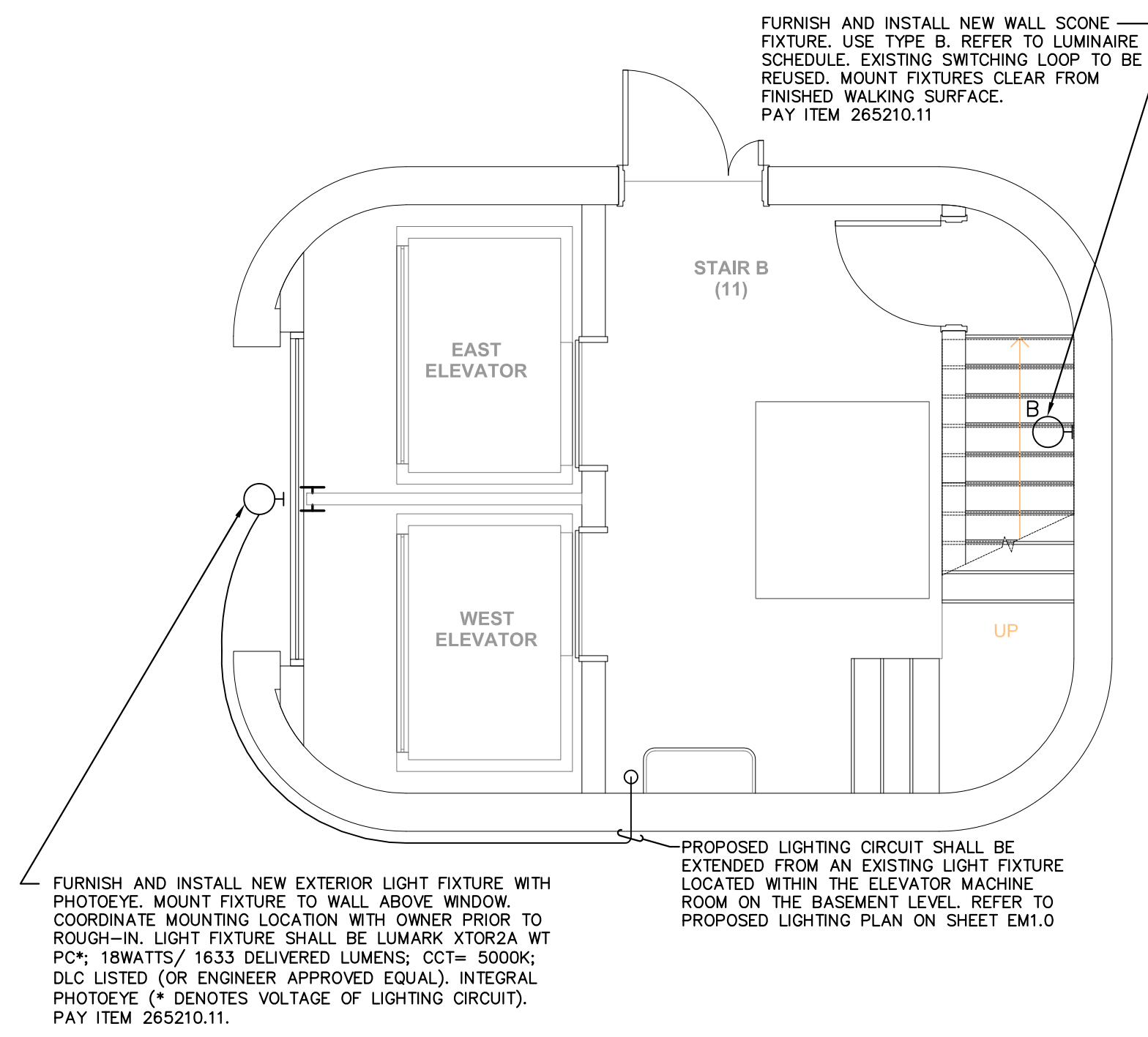


◇ KEYED NOTES DEMO PLAN:
1. REMOVE EXISTING WALL SCENE FIXTURE.

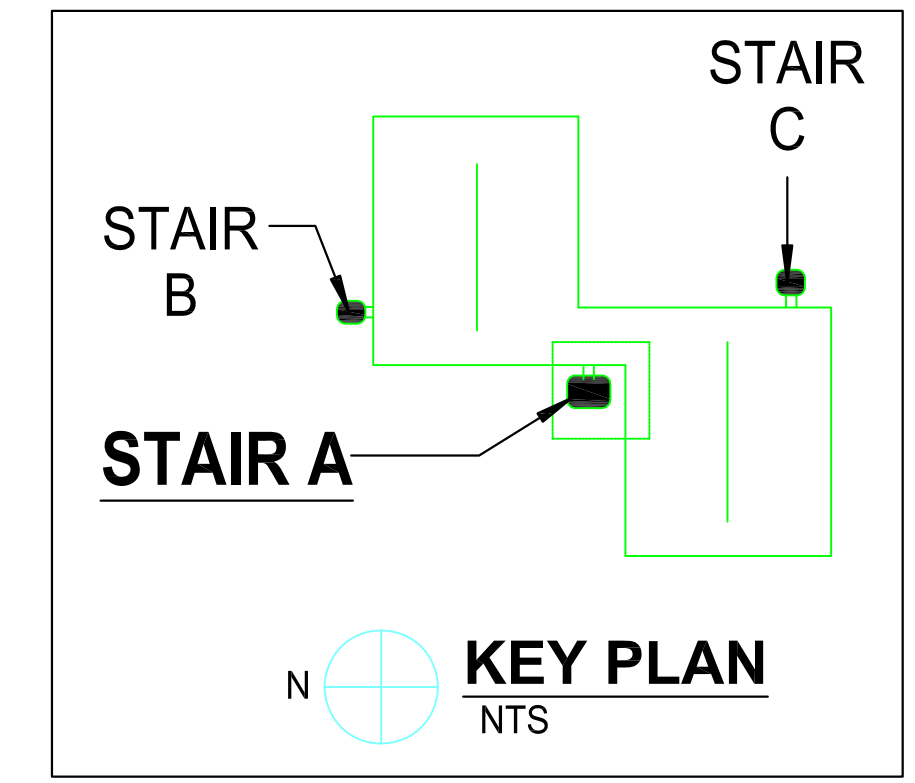
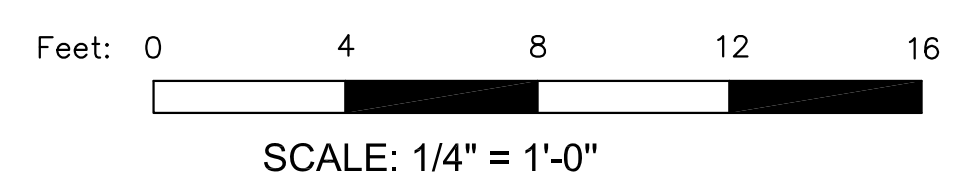
ELECTRICAL DEMOLITION PLAN (ELEV. LOBBY)
SCALE: 1/4" = 1'-0"



PROPOSED ELECTRICAL PLAN (ELEV. LOBBY)
SCALE: 1/4" = 1'-0"



PROPOSED LIGHTING PLAN (ELEV. LOBBY)
SCALE: 1/4" = 1'-0"





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TPB	MPK	AS SHOWN	JULY, 2015

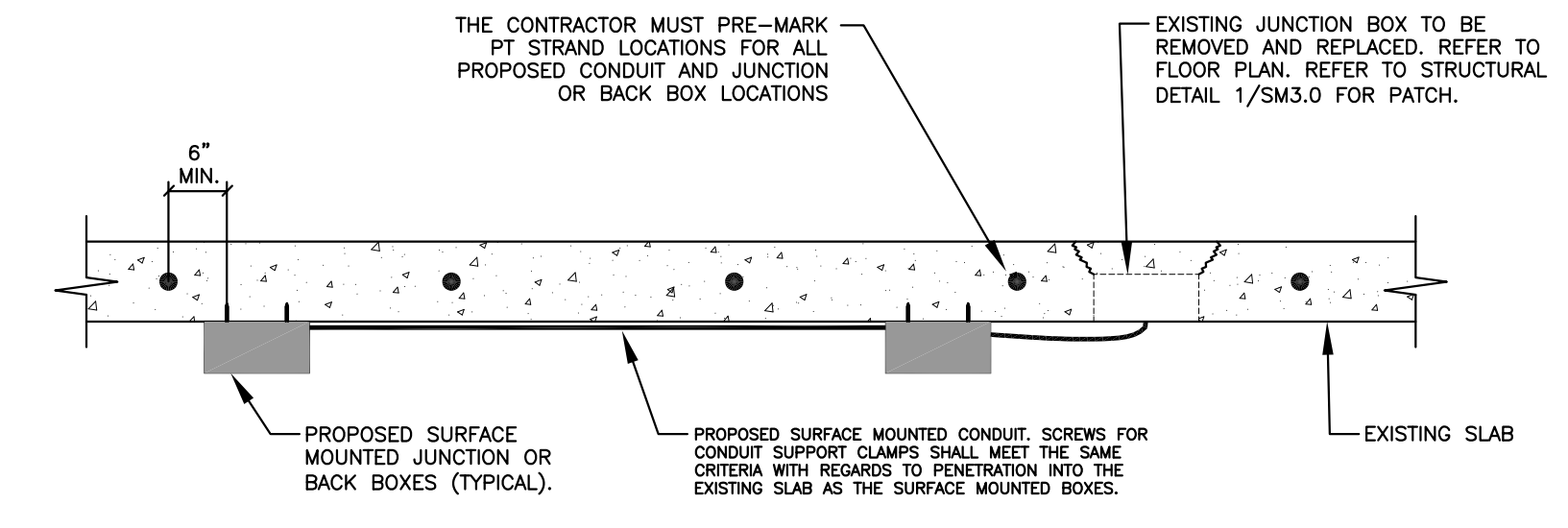
PROJECT
MARKETPLACE GARAGE RENOVATIONS - PHASE I
 BURLINGTON, VERMONT

DRAWING NAME
PROPOSED LEVEL 1 LIGHTING PLAN

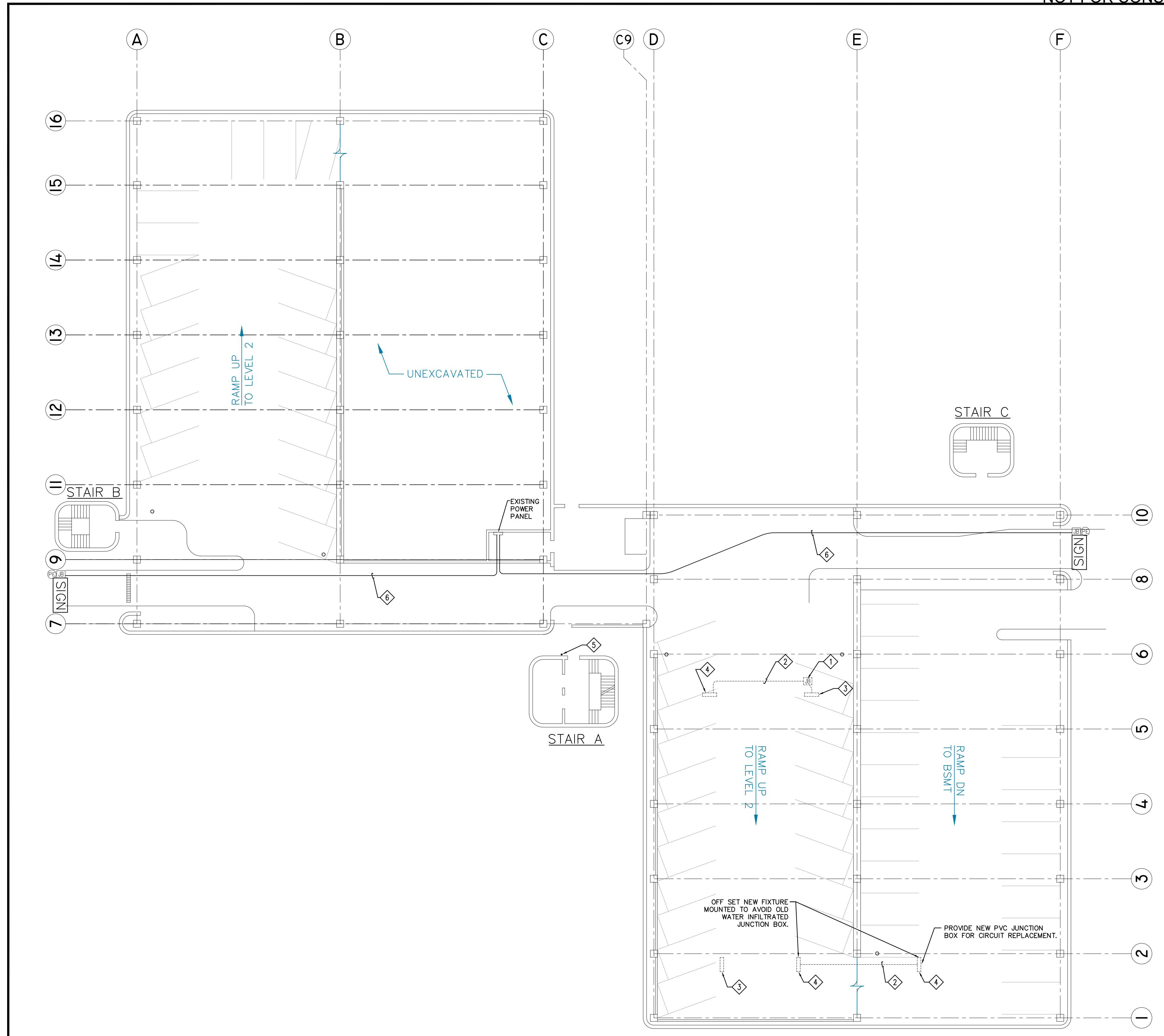
SHEET NO.
EM2.0

PROJECT NO. 909044
 SHEET 20 OF 26

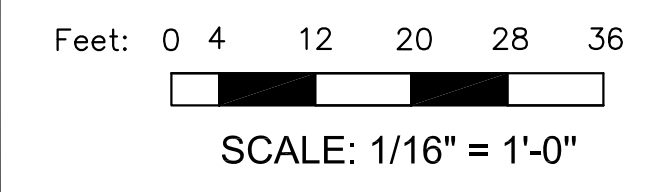
- ◇ KEYED NOTES THIS SHEET:
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING JUNCTION BOX. THE EXISTING JUNCTION BOX SHALL BE REPLACED WITH NEW PVC JUNCTION BOX. THE NEW BOX SHALL MATCH THE SIZE OF THE EXISTING JUNCTION BOX THAT SHALL BE REMOVED. PAY ITEM 260533.11.
 - THE CONTRACTOR SHALL FURNISH AND INSTALL NEW CONDUIT AND WIRE FROM JUNCTION BOX TO THE LIGHT FIXTURE THAT SHALL BE REPLACED. THE NEW CONDUIT SHALL BE PVC OR SEALTITE MATERIAL. USE #10 AWG SIZE CONDUCTORS OR MATCH EXISTING. PAY ITEM 260533.12 AND 261519.11.
 - EXISTING LIGHT FIXTURE TO REMAIN AS IS.
 - THE CONTRACTOR SHALL REPLACE THE EXISTING LIGHT FIXTURE WITH NEW. THE NEW FIXTURE SHALL BE TYPE C. REFER TO LUMINAIRE SCHEDULE. PAY ITEM 265210.11.
 - THE DATA CABLING PATHWAY ORIGINATING IN THE LEVEL 2 OFFICE, SHALL ROUTE DOWN THROUGH THE FIRST FLOOR APPROXIMATELY AS SHOWN. REFER TO SHEETS EM1.1 AND EM2.1 FOR PATHWAY CONTINUATION.
 - FURNISH AND INSTALL NEW CIRCUIT FOR ELECTRIC SIGN PROVIDED BY THE CITY OF BURLINGTON. USE (2)#10, (1)#10G, 3/4" PVC SCHEDULE 40 OR SEALTITE TO ELECTRIC ROOM LOCATED ON LEVEL 1. PROVIDE 20A, 120VAC CIRCUIT BREAKER FOR NEW SIGNAGE LIGHTING. SEE ALSO SHEET EM2.2. TERMINATE THE CIRCUIT INTO A WEATHERPROOF JUNCTION BOX AT THE PROPOSED SIGN LOCATION. COORDINATE JUNCTION BOX MOUNTING LOCATION WITH OWNER. FURNISH AND INSTALL WEATHERPROOF PHOTO EYE FACING SKY WHERE NOT INCIDENT TO OTHER LIGHT SOURCES. PAY ITEMS 260533.11 AND 261519.11.



TYPICAL SURFACE INFRASTRUCTURE MOUNTING DETAIL
 SCALE: NTS



LEVEL 1 LIGHTING PLAN
 SCALE: 1/16" = 1'-0"





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REV.	BID SET	DESCRIPTION	DATE
1			07/07/15

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TPB	MPK	JUL 7, 2015
SCALE:	AS SHOWN	

PROJECT
MARKETPLACE GARAGE RENOVATIONS - PHASE I
 BURLINGTON, VERMONT

DRAWING NAME
PROPOSED LEVEL 2 LIGHTING PLAN

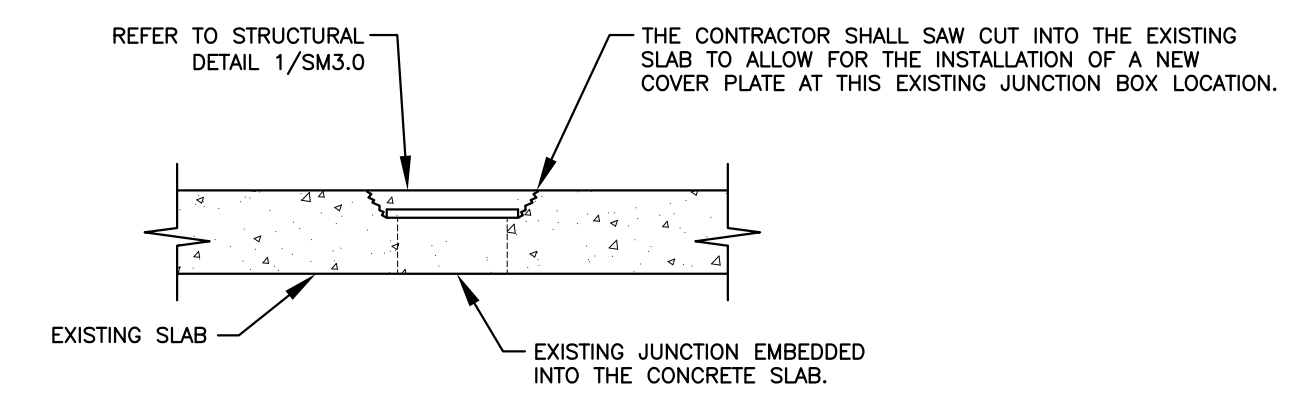
SHEET NO.

EM2.1

PROJECT NO. 909044

SHEET 21 OF 26

- ◇ KEYED NOTES THIS SHEET:
1. THE CONTRACTOR SHALL PROVIDE NEW STAINLESS STEEL COVER PLATING FOR EMBEDDED JUNCTION BOX. CHIP CONCRETE FROM AROUND EXISTING BOX FOR NEW PLATE, BOTH TOP AND BOTTOM. PROVIDE NEW ANCHOR BOLTS EMBEDDED IN CONCRETE FOR SECURING NEW PLATES AND PATCH AND SEAL AROUND FOR A SMOOTH AND LEVEL FINISH.
 2. THE CONTRACTOR SHALL FURNISH AND INSTALL A 1" DIAMETER SCHEDULE 40 PVC CONDUIT ORIGINATING AT THE OFFICE AND EXTENDING DOWN INTO THE BASEMENT LEVEL ELEVATOR MACHINE ROOM. THIS PATHWAY BE USED TO INSTALL (2) CAT6, 4-PAIR DATA CABLES FROM THE OFFICE TO THE BASEMENT LEVEL ELEVATOR MACHINE ROOM. THE CAT6 CABLE MUST BE A CMR/CMX OUTDOOR RATED CABLE, AS MANUFACTURED BY SUPERIOR ESSEX, OR ENGINEER APPROVED EQUIVALENT. THE CONTRACTOR SHALL VERIFY CABLE JACKET COLOR WITH OWNER PRIOR TO PURCHASE. PAY ITEMS 260533.11 AND 260500.11.
 3. THE CONTRACTOR SHALL FURNISH AND INSTALL A 24"(L)x8"(W)x6"(D) PVC PULL BOX. PAY ITEM 260533.12.
 4. THE CONDUIT SHALL SWEEP DOWN INTO LEVEL 1. REFER TO SHEET EM2.0 FOR PATHWAY CONTINUATION.
 5. THE CONTRACTOR SHALL EXTEND CONDUIT AND DATA CABLING WITHIN THE OFFICE SPACE AS DIRECTED BY THE OWNER FOR CABLE TERMINATION.



TYPICAL CONCRETE DECK REMOVAL DETAIL

SCALE: NTS

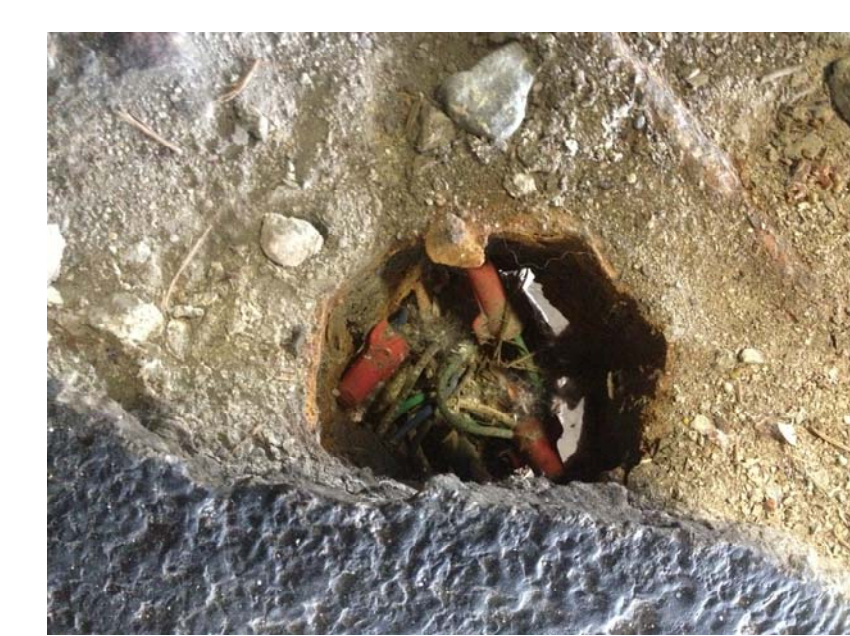
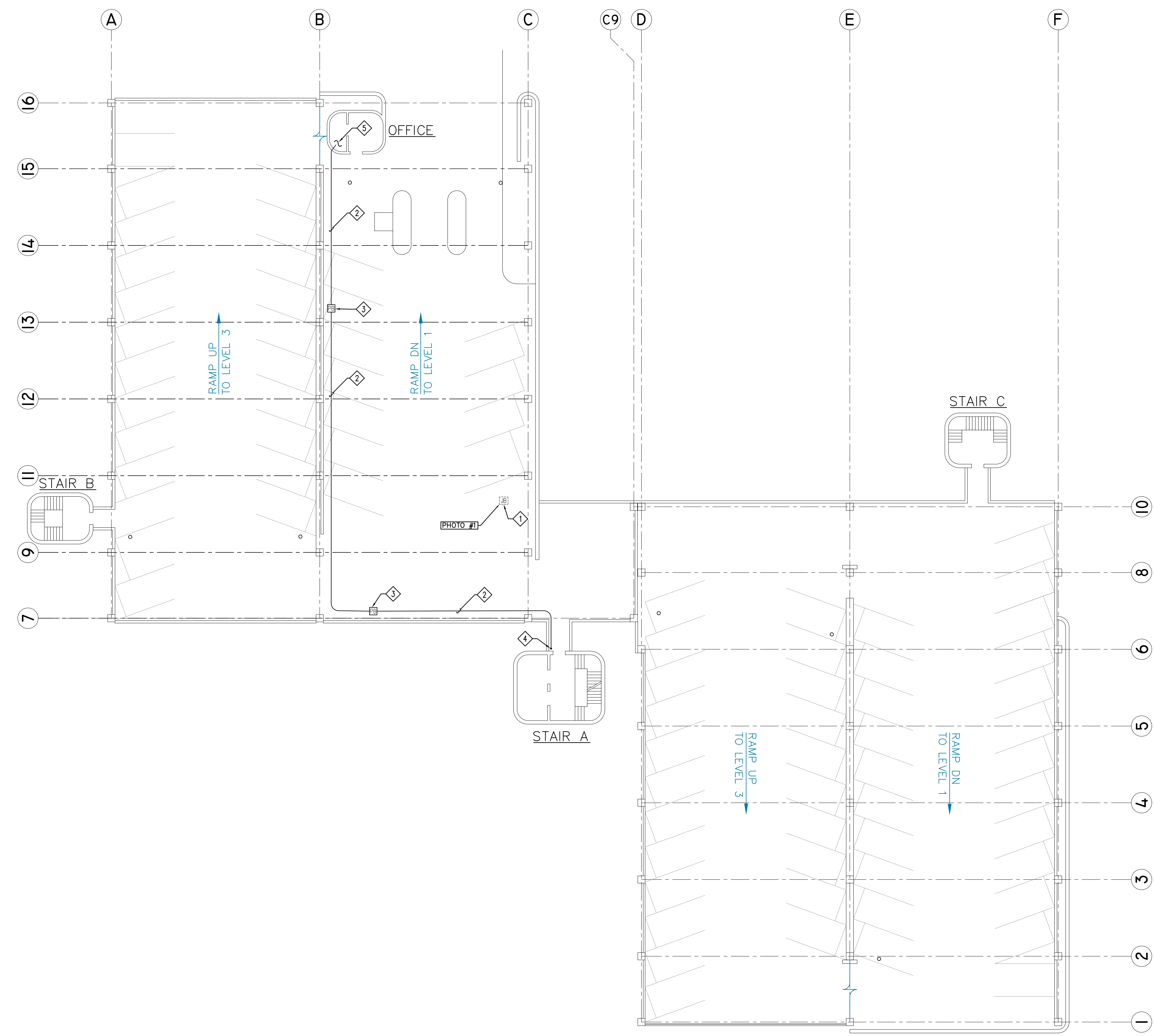


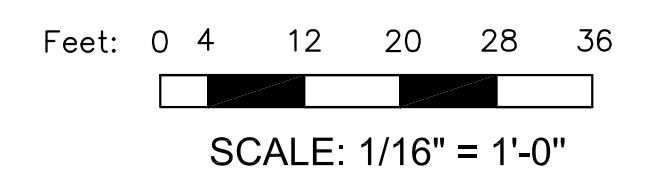
PHOTO #1

SCALE: NTS



LEVEL 2 LIGHTING PLAN

SCALE: 1/16" = 1'-0"





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REV.	DESCRIPTION	DATE
1	BID SET	07/07/15

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DWN BY	CHK BY	SCALE:	DATE:
TPB	MPK	AS SHOWN	JULY, 2015

PROJECT
MARKETPLACE GARAGE RENOVATIONS - PHASE I
 BURLINGTON, VERMONT

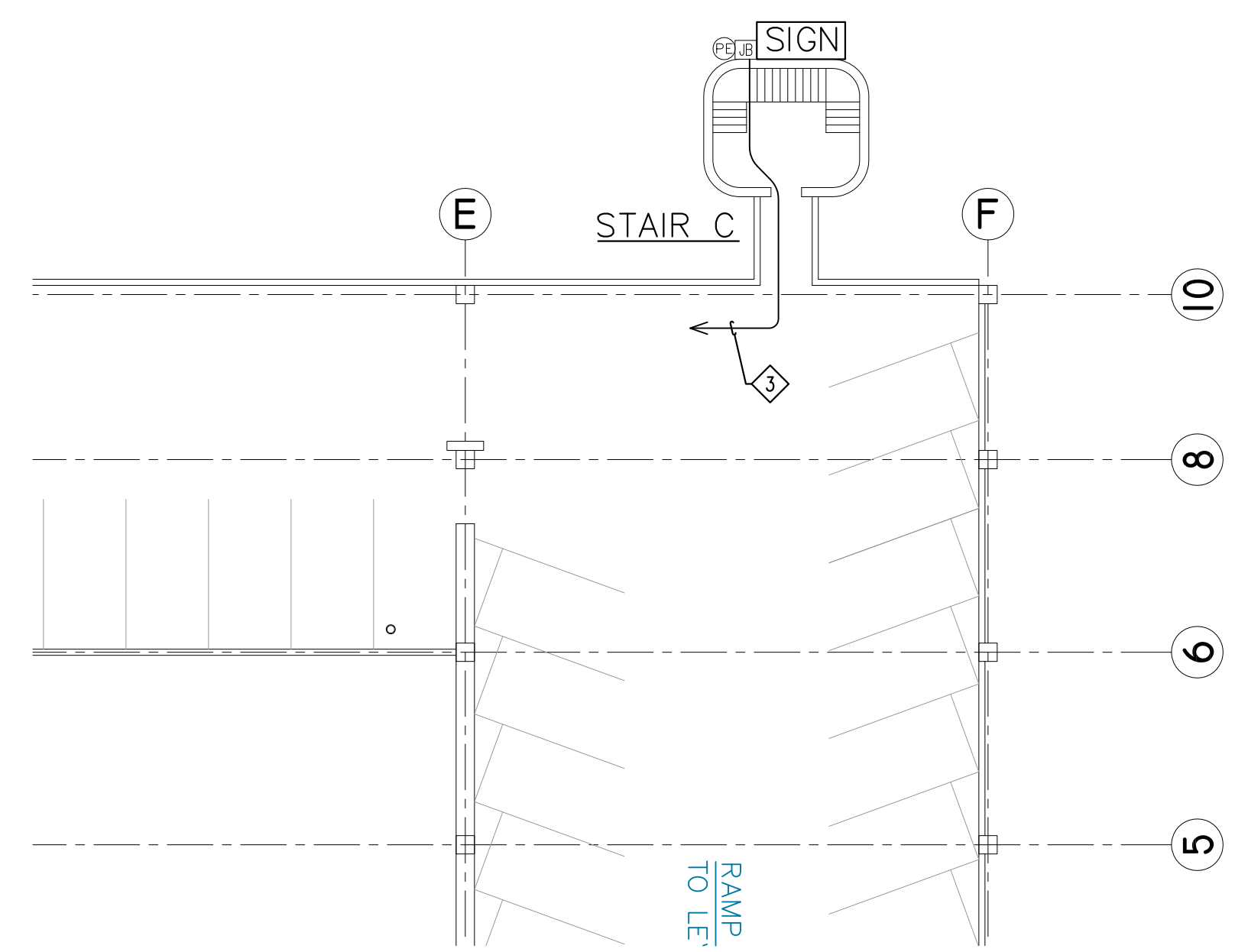
DRAWING NAME
PROPOSED LEVEL 3 & PARTIAL LEVEL 5 LIGHTING PLANS

SHEET NO.
EM2.2

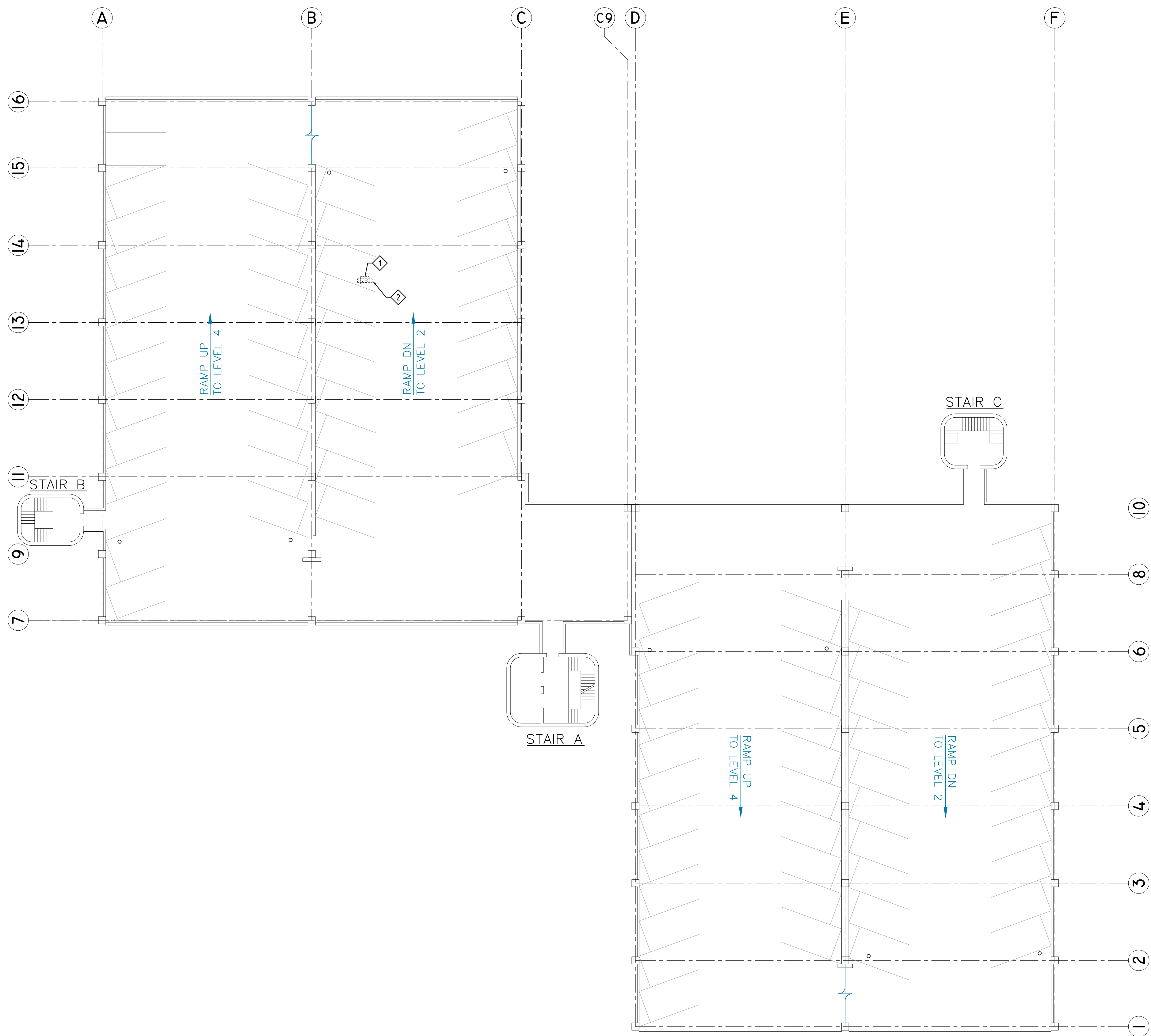
PROJECT NO. 909044
 SHEET 22 OF 26

◇ KEYED NOTES THIS SHEET:

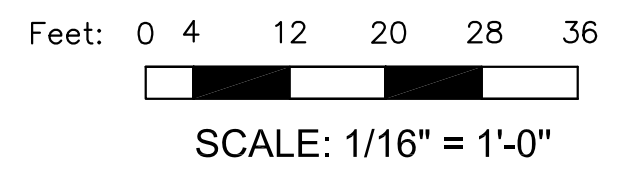
1. THE CONTRACTOR SHALL PROVIDE NEW STAINLESS STEEL COVER PLATING FOR EMBEDDED J-BOX. CHIP CONCRETE FROM AROUND EXISTING BOX FOR NEW PLATE, BOTH TOP AND BOTTOM. PROVIDE NEW ANCHOR BOLTS EMBEDDED IN CONCRETE FOR SECURING NEW PLATES AND PATCH AND SEAL AROUND FOR A SMOOTH AND LEVEL FINISH. REFER TO DETAIL ON SHEET EM2.1.
2. THE EXISTING LIGHT FIXTURE CONTAINS WATER WITHIN THE FIXTURE. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE EXISTING FIXTURE AND REPLACE WITH NEW FIXTURE. THE NEW LIGHT FIXTURE SHALL BE TYPE C. REFER TO LUMINAIRE SCHEDULE. RE-FEED FROM NEW J-BOX TOP WITH SHORT LENGTH OF SEALTITE.
3. FURNISH AND INSTALL NEW CIRCUIT FOR ELECTRIC SIGN PROVIDED BY THE CITY OF BURLINGTON. USE (2)#10, (1)#10G, 3/4" PVC SCHEDULE 40 OR SEALTITE TO ELECTRIC ROOM LOCATED ON LEVEL 1. PROVIDE 20A, 120VAC CIRCUIT BREAKER FOR NEW SIGNAGE LIGHTING. SEE ALSO SHEET EM2.0. TERMINATE THE CIRCUIT INTO A WEATHERPROOF JUNCTION BOX AT THE PROPOSED SIGN LOCATION. COORDINATE JUNCTION BOX MOUNTING LOCATION WITH OWNER. FURNISH AND INSTALL WEATHERPROOF PHOTO EYE FACING SKY WHERE NOT INCIDENT TO OTHER LIGHT SOURCES. PAY ITEMS 260533.12 AND 261519.11.

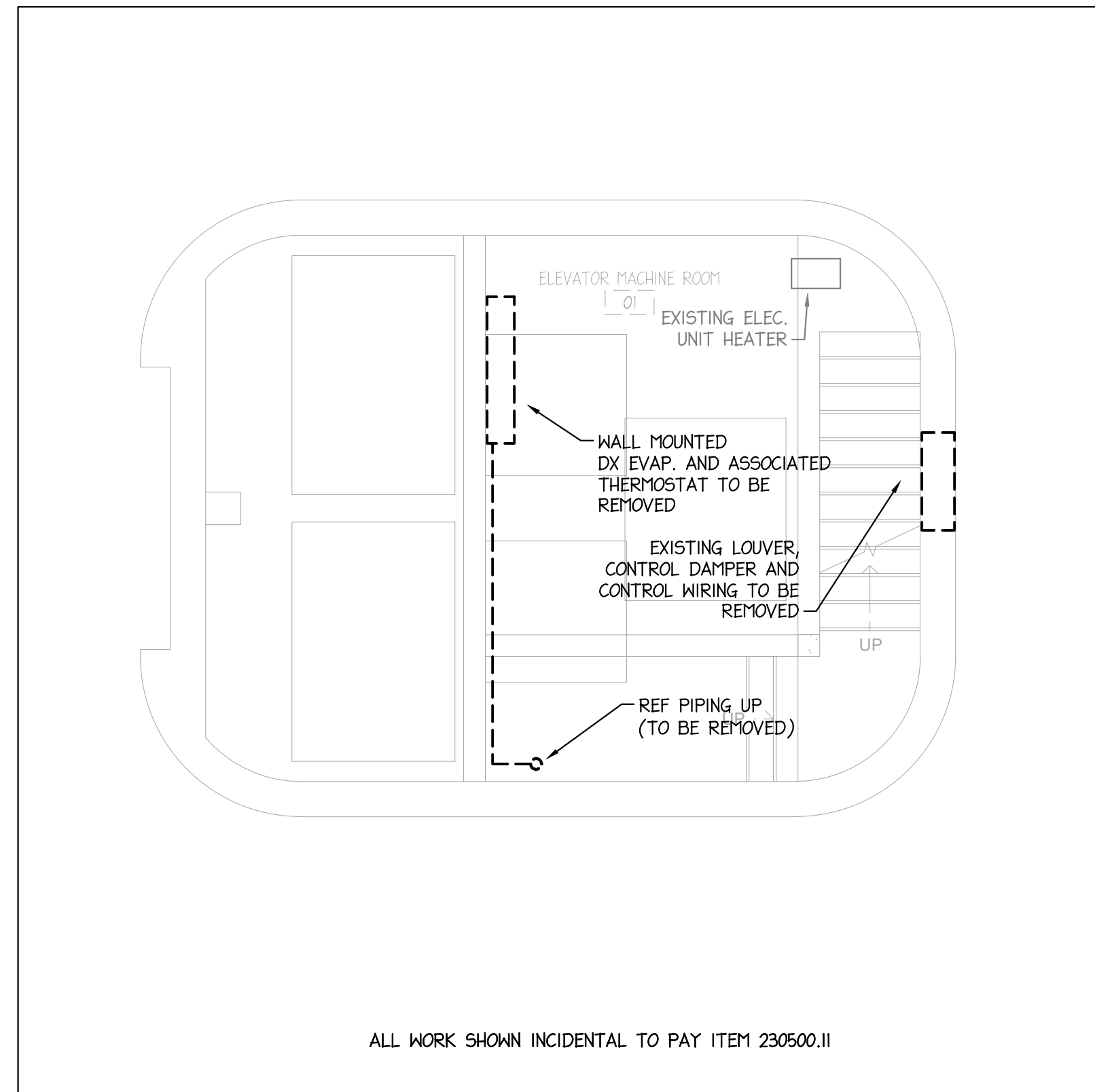


PARTIAL LEVEL 5 LIGHTING PLAN
 SCALE: 1/16" = 1'-0"

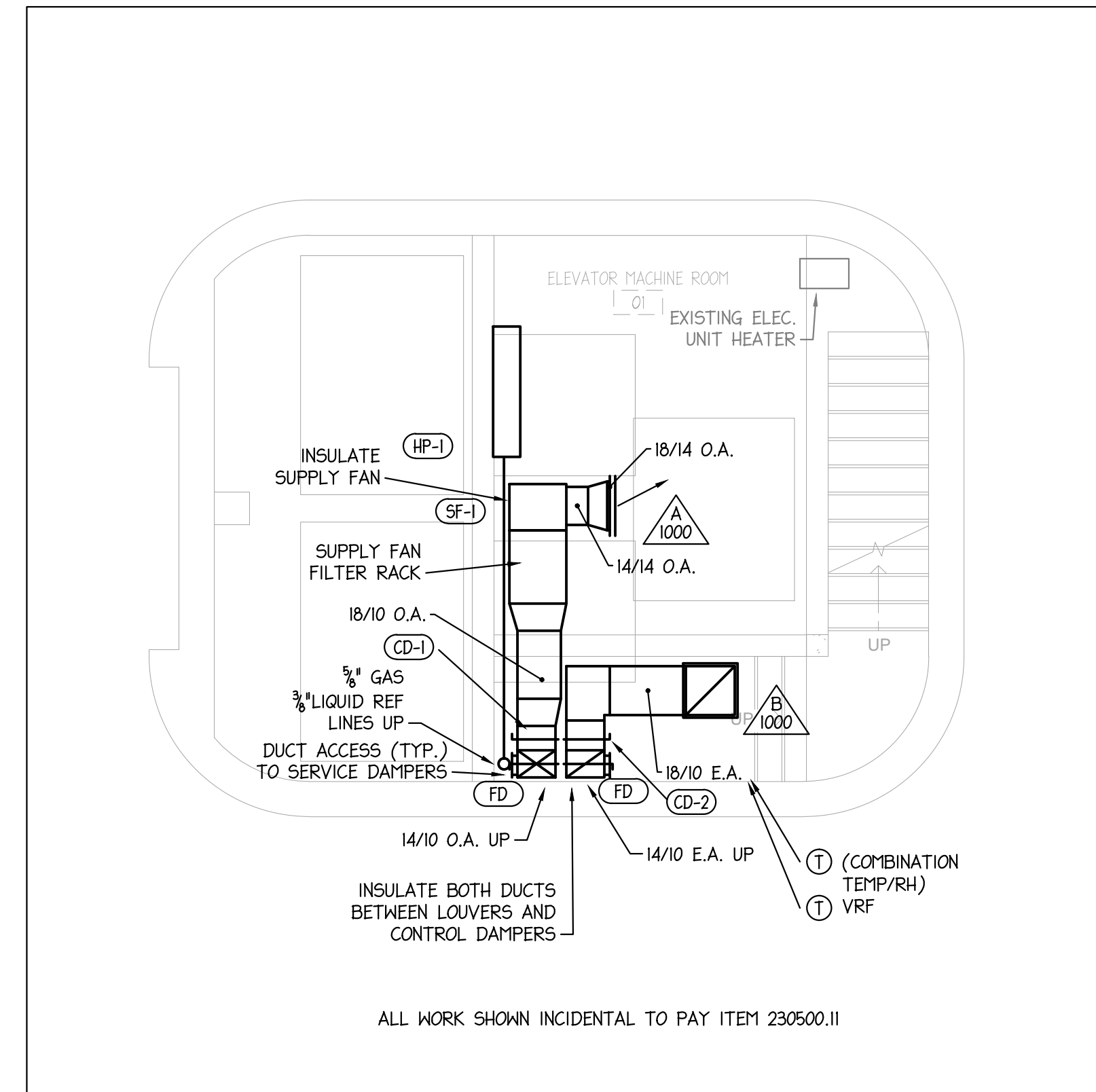


LEVEL 3 LIGHTING PLAN
 SCALE: 1/16" = 1'-0"

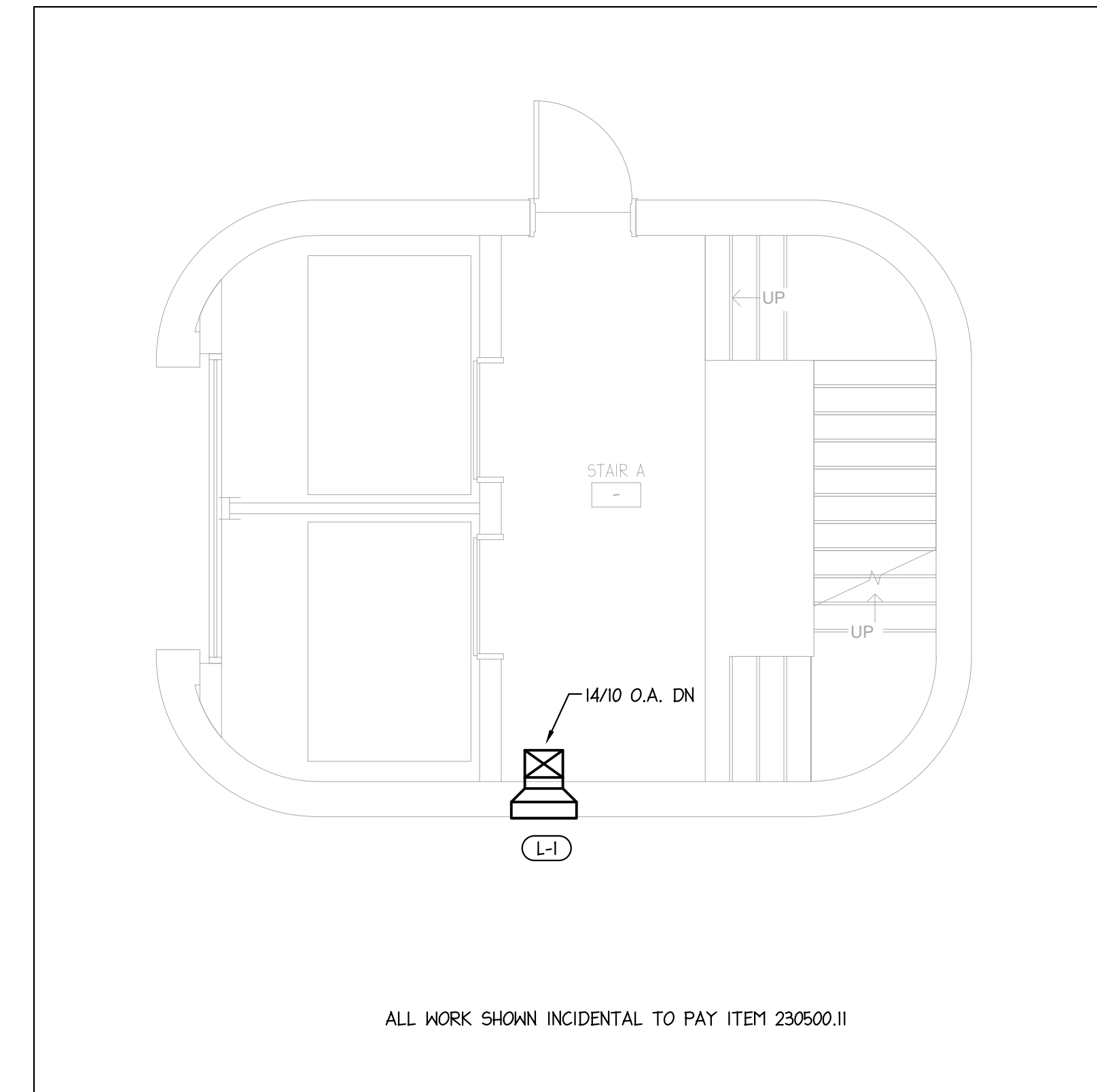




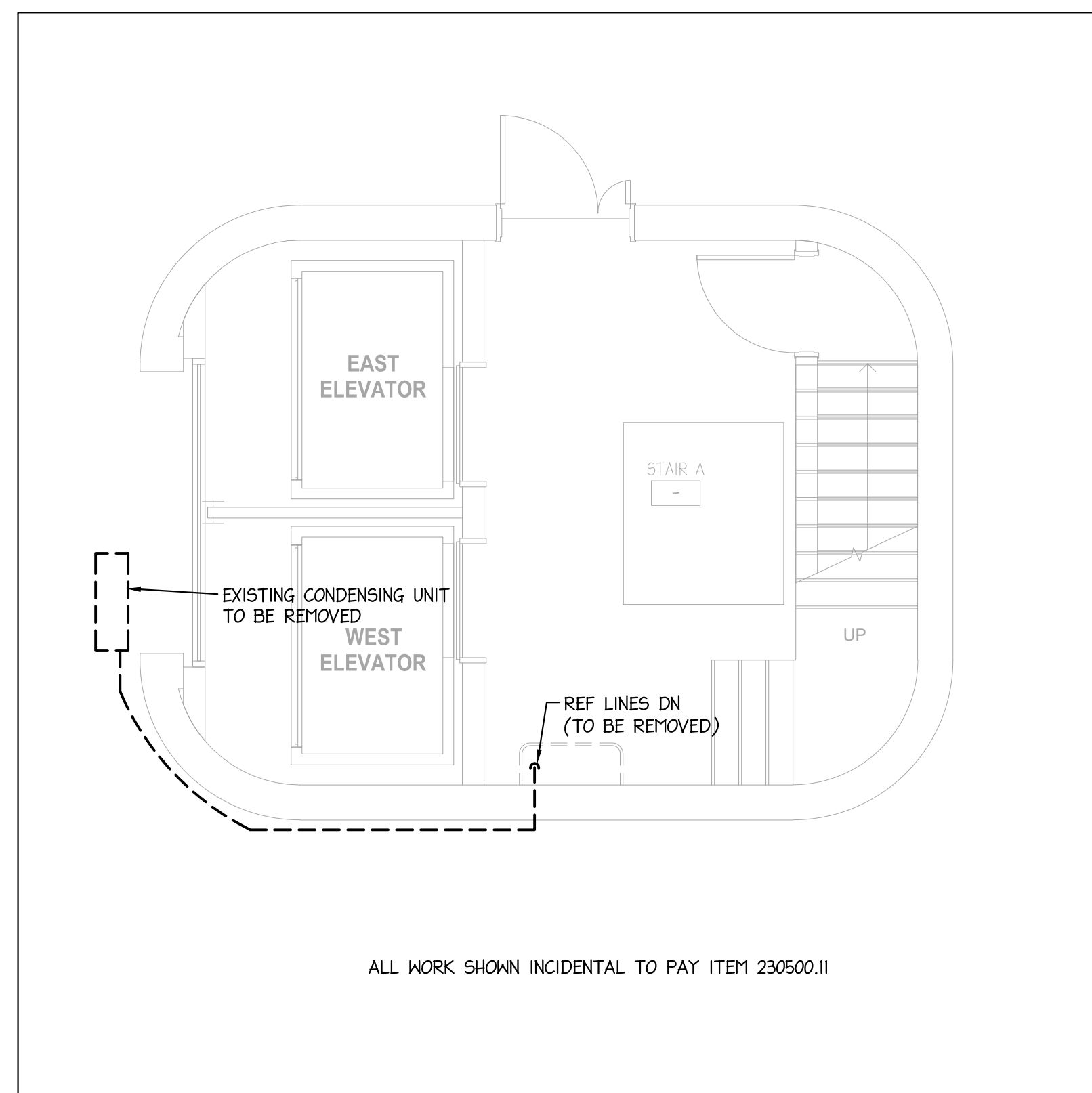
1 STAIR TOWER A (ELEV. MACHINE ROOM)
BASEMENT MECHANICAL DEMOLITION PLAN
1/4"=1'-0"



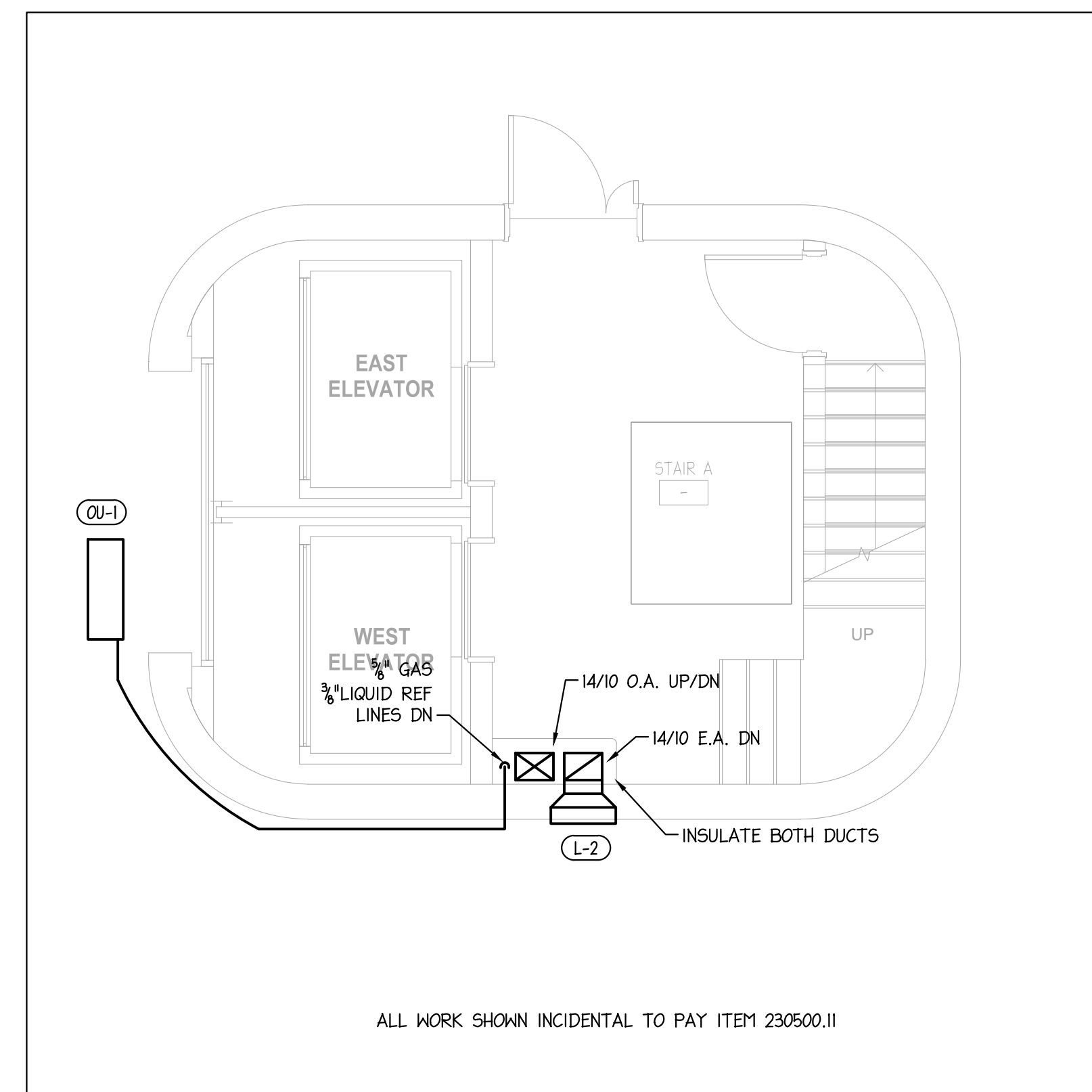
2 STAIR TOWER A (ELEV. MACHINE ROOM)
BASEMENT MECHANICAL NEW WORK PLAN
1/4"=1'-0"



5 STAIR TOWER A (ELEV. MACHINE ROOM)
LEVEL TWO MECHANICAL NEW WORK PLAN
1/4"=1'-0"

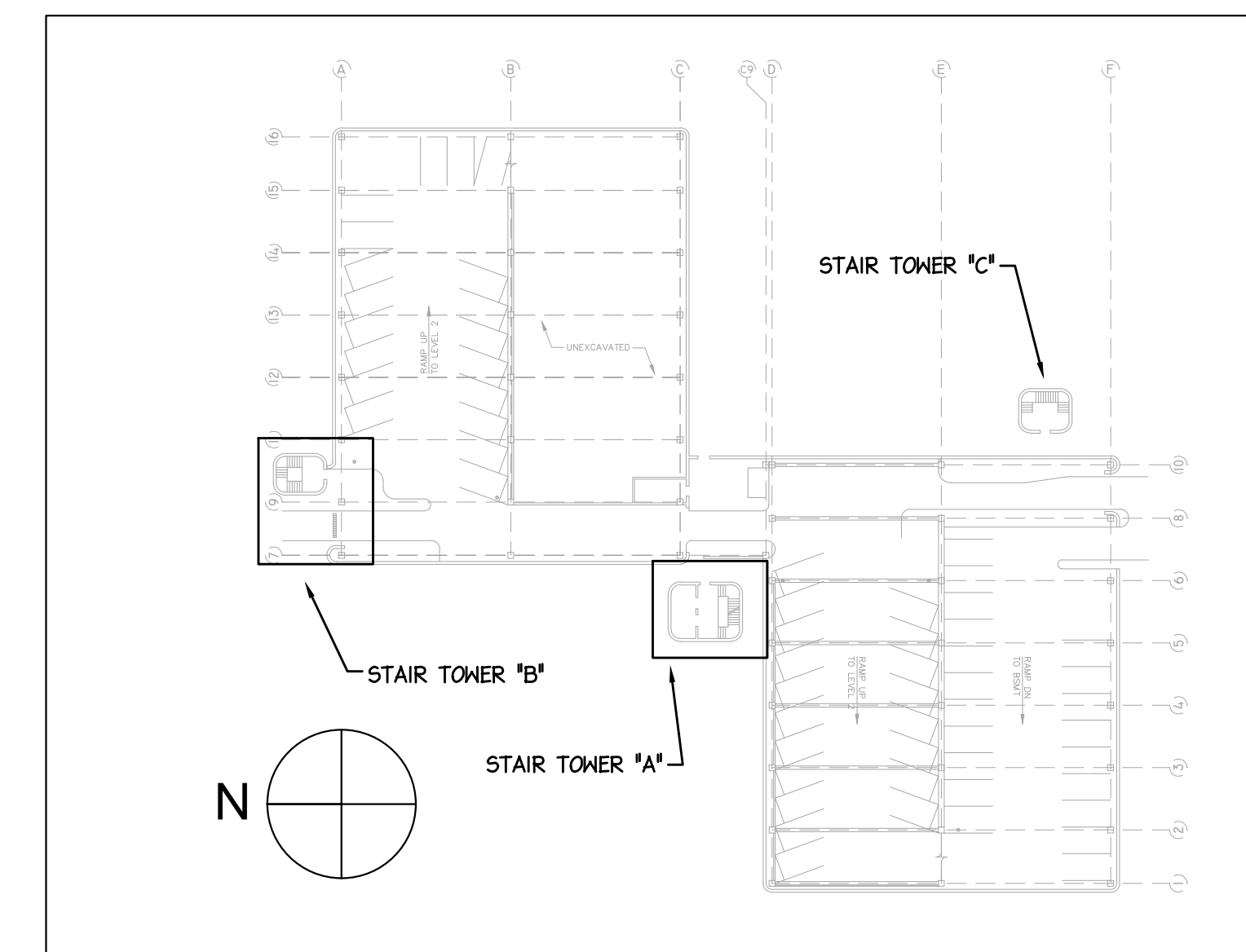


3 STAIR TOWER A (ELEV. MACHINE ROOM)
LEVEL ONE MECHANICAL DEMOLITION PLAN
1/4"=1'-0"



4 STAIR TOWER A (ELEV. MACHINE ROOM)
LEVEL ONE MECHANICAL NEW WORK PLAN
1/4"=1'-0"

5 KEY PLAN
N.T.S.



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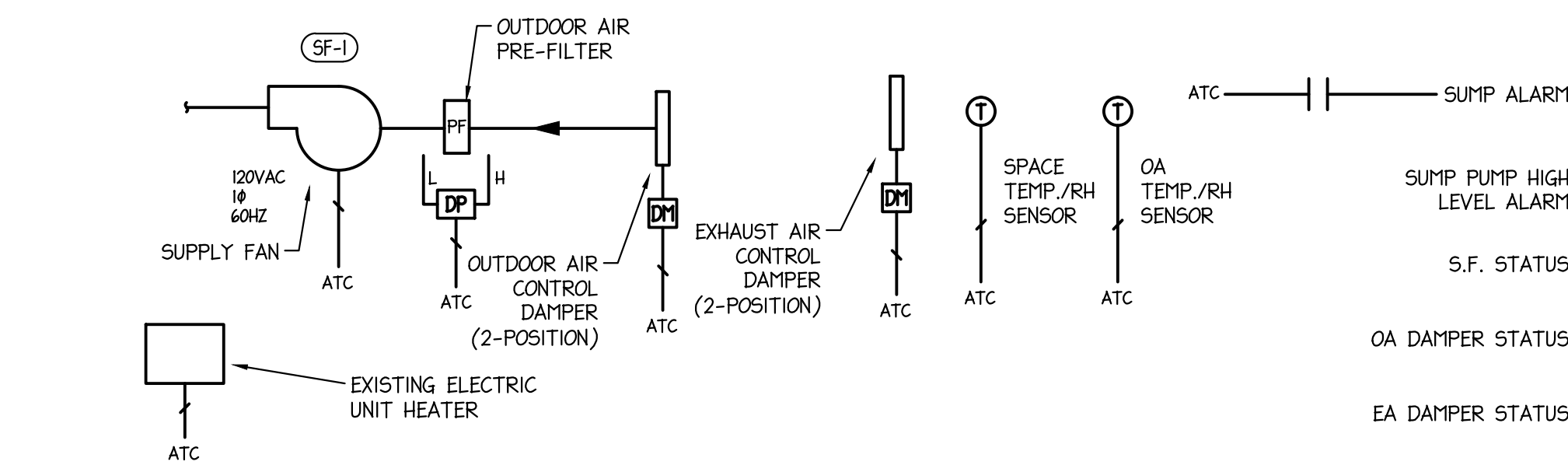
DWN BY	MSA	SCALE:	DATE:
INW	AS NOTED	JULY, 2015	

PROJECT: MARKETPLACE GARAGE RENOVATIONS - PHASE I BURLINGTON, VERMONT
DRAWING NAME: MECHANICAL DEMOLITION AND NEW WORK PLANS

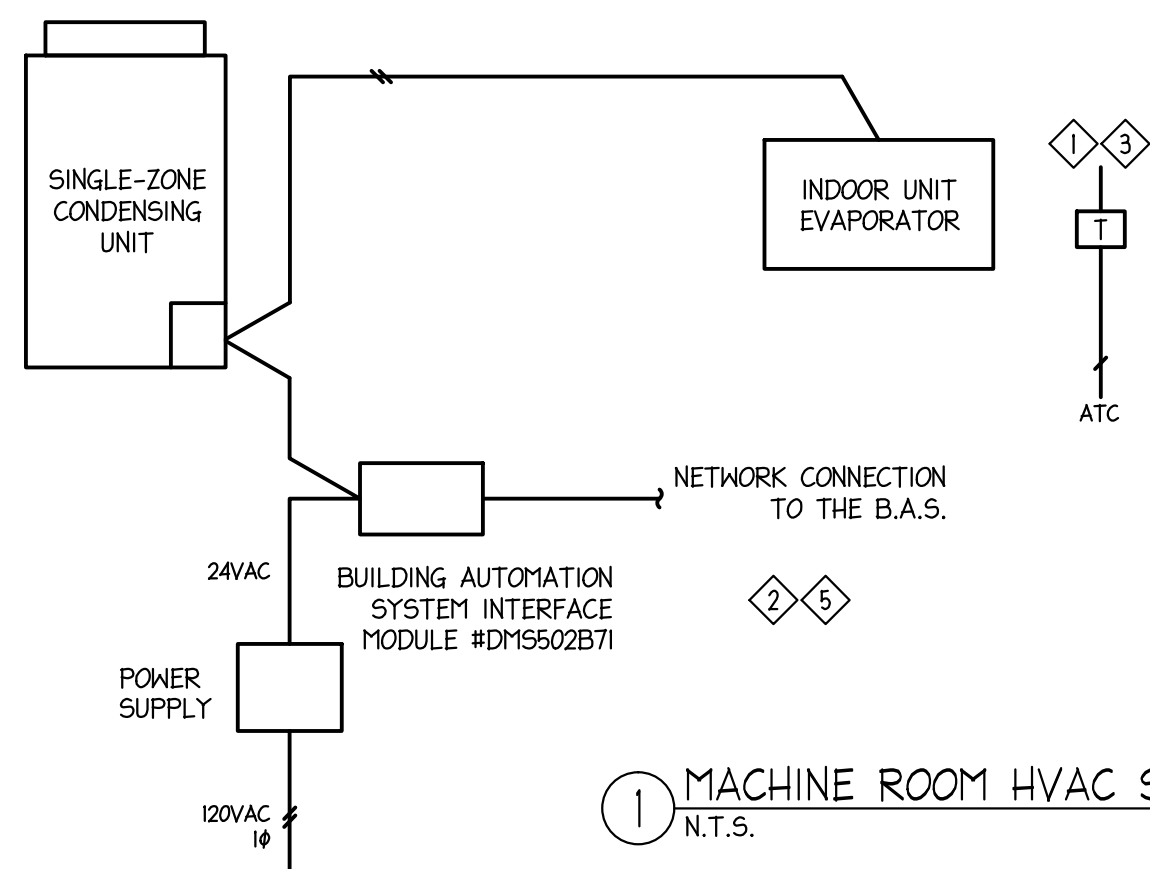
SHEET NO. **MM1.1**

SYMBOL	DESCRIPTION
AFS	AIR FLOW STATION
CS	CURRENT SENSOR
DM	DAMPER MOTOR ACTUATOR
DD	DUCT SMOKE DETECTOR (FURNISHED BY OTHERS)
DP	DIFFERENTIAL PRESSURE TRANSMITTER
F	INSTANTANEOUS FLOW
FC	FLOAT CONTROLLER
FM	FLOW METER
FS	FREEZE STAT
HL	HUMIDITY HIGH LIMIT SWITCH
PH	PHOTO-HELIC
PT	PRESSURE TRANSMITTER
RLD	REFRIGERANT ALARM SENSOR
RH	RELATIVE HUMIDITY SENSOR
T	TEMPERATURE SENSOR
TF	TOTALIZED FLOW
V	VALVE ACTUATOR
VPT	VELOCITY PRESSURE TRANSMITTER
◆	SPECIFIC NOTE
⊥	THERMOMETER WELL
≡	MOTORIZED BUTTERFLY VALVE
ATC	AUTOMATIC TEMPERATURE CONTROLS
CAV	CONSTANT AIR VOLUME
CC	COOLING COIL
CF	CARBON FILTER
CHR	CHILLED WATER RETURN
CHS	CHILLED WATER SUPPLY
CHR	CONDENSER WATER RETURN
CWS	CONDENSER WATER SUPPLY
EA	EXHAUST AIR
EAD	EXHAUST AIR DAMPER
FF	FINAL FILTER
NC	NORMALLY CLOSED
NO	NORMALLY OPEN
NSR	NON-SPRING RETURN
OA	OUTDOOR AIR
OAD	OUTDOOR AIR DAMPER
PF	PRE-FILTER
PHC	PRE-HEAT COIL
RA	RETURN AIR
RAF	RETURN AIR FAN
RHC	RE-HEAT COIL
SA	SUPPLY AIR
S.F.	SUPPLY AIR FAN
SR	SPRING RETURN
VAV	VARIABLE AIR VOLUME

- DIRECT DIGITAL CONTROLS GENERAL NOTES**
- ALL NEW CONTROLS WORK SHALL UTILIZE A COMPLETE WEB-BASED DIRECT DIGITAL CONTROLS SYSTEM.
 - THE CONTROLS CONTRACTOR SHALL PROVIDE ALL THE NECESSARY MATERIALS, LABOR AND ACCESSORIES IN ORDER TO PROVIDE A COMPLETE WORKING DIRECT DIGITAL CONTROLS SYSTEM.
 - PROVIDE A COMPLETE AND OPERATIONAL DIRECT DIGITAL CONTROLS SYSTEM INCLUDING ALL REQUIRED WIRING, PROGRAMMING, DEVICES, AND OPERATIONS MANUALS. THE CONTROLS CONTRACTOR'S WORK SHALL INCLUDE BUT NOT BE LIMITED TO: PROVIDING SENSORS FOR THE CONTROLS SYSTEM, AUTOMATIC CONTROL VALVES AND ACTUATORS, CONTROL MODULE(S), CONDUCTORS, CONDUIT, "FRONT END" GRAPHICS, PROGRAMMING, AND CONNECTION TO THE COMMUNICATIONS BUS.
 - THE CONTROLS CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONTROLS CONDUIT. ALL CONTROLS CONDUCTORS SHALL BE INSTALLED WITHIN E.M.T. OR FLEXIBLE METAL CONDUIT. THE CONTROLS CONDUIT SHALL BE A MINIMUM OF 3/4" EMT. FINAL DROPS TO TEMPERATURE SENSORS MAY BE IN 1/2" EMT. ALL CONTROL WIRING SHALL BE IN CONDUIT.
 - EXTEND TEMPERATURE CONTROLS COMMUNICATION BUS TO CONTROL MODULE LOCATIONS IN E.M.T.
 - A MAXIMUM DISTANCE OF 6'-0" SHALL BE PERMITTED FOR UTILIZING FLEXIBLE METAL CONDUIT OR SEAL TIGHT CONDUIT.
 - PROVIDE CONTROLS TO ACCOMMODATE CONTROLS POINTS LIST AND SEQUENCE OF OPERATIONS.
 - ALL CONTROLS CONDUCTORS SHALL BE EXTENDED TO THE TEMPERATURE CONTROLS PANELS.
 - ALL CONTROLS MODULES SHALL BE MOUNTED IN A PROTECTIVE ENCLOSURE.
 - THE CONTROLS CONTRACTOR SHALL BE PRESENT DURING THE FINAL BALANCE OF THE NEW AIR HANDLING SYSTEMS.
 - COORDINATE LOCATION OF ALL TEMPERATURE SENSORS AND CONTROL VALVES IN FIELD. VERIFY LOCATION WITH ENGINEER PRIOR TO INSTALLATION.
 - THE TEMPERATURE CONTROLS CONTRACTOR IS RESPONSIBLE FOR ASSISTING THE TESTING AND BALANCE AGENT DURING THE BALANCING PROCESS. THE TEMPERATURE CONTROLS CONTRACTOR SHALL WORK IN CONJUNCTION WITH THE TESTING AND BALANCE AGENT TO COMPLETE THE BALANCE AND CALIBRATION OF ALL SYSTEMS.
 - CONTROLS CONTRACTOR IS RESPONSIBLE FOR PROVIDING WEB ACCESS FOR CONTROLS SYSTEM. SYSTEM SHALL BE ACCESSIBLE FROM REMOTE LOCATION.
 - CONTROLS SYSTEM TO BE ABLE TO STORE UP TO 1 YEAR OF ELEVATOR MACHINE ROOM AND OUTDOOR TEMPERATURE AND HUMIDITY DATA.



① ELEVATOR MACHINE ROOM VENTILATION CONTROLS SCHEMATIC N.T.S.



① MACHINE ROOM HVAC SYSTEM SCHEMATIC DIAGRAM SCHEMATIC N.T.S.

SEQUENCE OF OPERATIONS

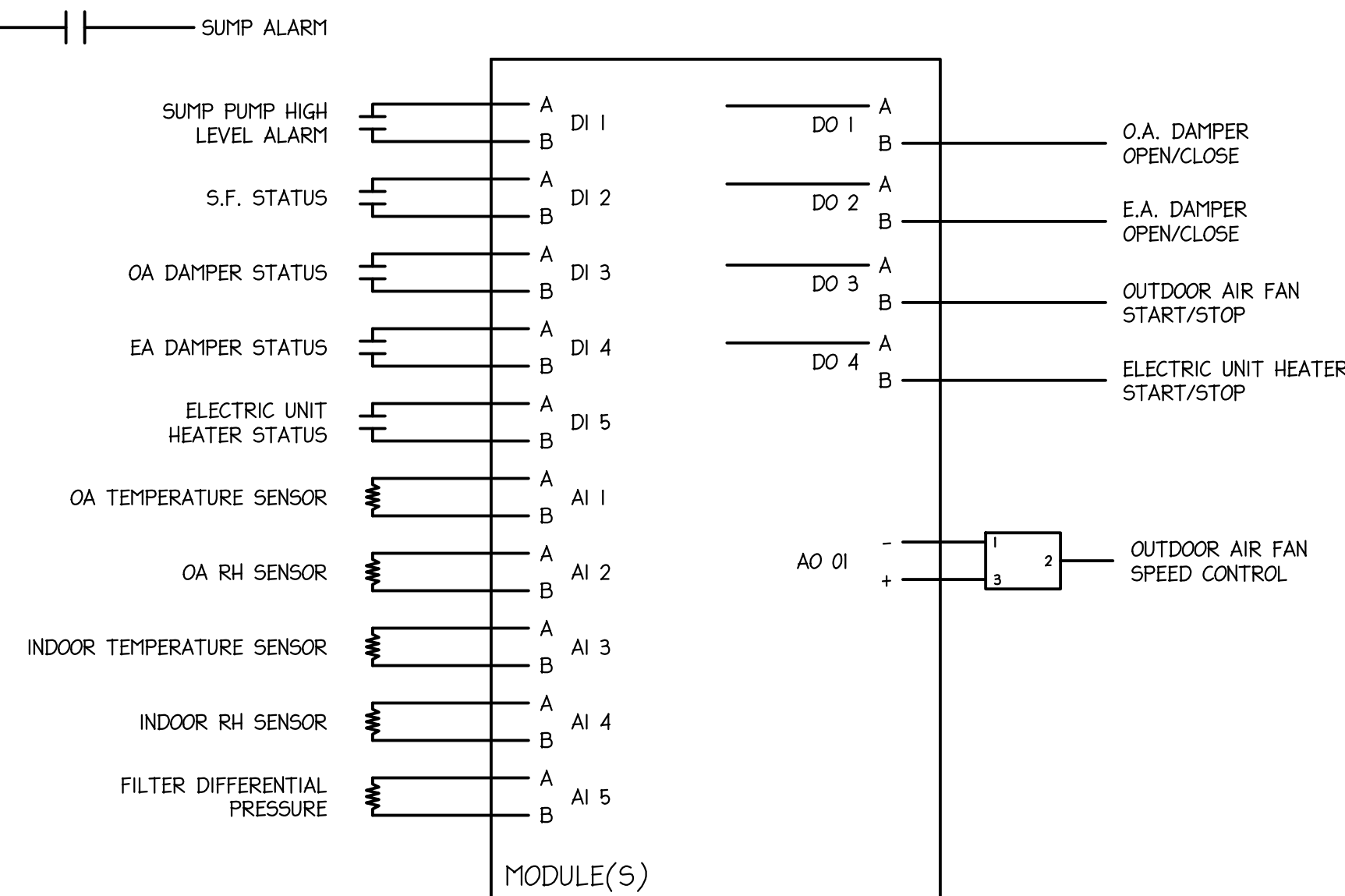
VENTILATION:
DURING UNOCCUPIED HOURS, THE OUTDOOR AIR AND EXHAUST AIR CONTROL DAMPERS SHALL BE CLOSED (6 PM TO 6 AM ADJ.). DURING OCCUPIED HOURS, THE OUTDOOR AIR AND EXHAUST AIR CONTROL DAMPERS SHALL BE OPENED (6 AM TO 6 PM ADJ.).

HEATING MODE:
WHEN SPACE TEMPERATURE DROPS BELOW 58°F (ADJ.) THE SPACE SHALL GO INTO HEATING MODE. IF OUTDOOR AIR ENTHALPHY IS GREATER THAN INDOOR AIR ENTHALPHY, THE EA AND OA CONTROL DAMPERS SHALL OPEN AND THE SUPPLY FAN SHALL ENABLE AND MODULATE TO MAINTAIN 58°F (ADJ.). FAN SHALL BE AT FULL FAN SPEED AT 55°F (ADJ.) AND MINIMUM AT 57.5°F (ADJ.). IF OUTDOOR AIR ENTHALPHY IS LESS THAN INDOOR AIR ENTHALPHY, THE AIR SOURCE HEAT PUMP SHALL BE ENABLED TO MAINTAIN SPACE TEMPERATURE SET POINT. IF SUPPLY FAN CAN NOT MAINTAIN TEMPERATURE SET POINT AND TEMPERATURE DROPS TO 54°F (ADJ.), SUPPLY FAN SHALL BE DISABLED AND HEATING SHALL BE PROVIDED BY THE HEAT PUMP. IF THE SUPPLY FAN HAS BEEN DISABLED AND THE HEAT PUMP CAN NOT MAINTAIN SPACE TEMPERATURE AFTER 1 HOUR (ADJ.) THE ELECTRIC UNIT HEATER SHALL BE ENABLED AND AN ALARM SENT. ONCE SET POINT HAS BEEN REACHED, THE ELECTRIC UNIT HEATER SHALL BE DISABLED.

COOLING MODE:
WHEN SPACE TEMPERATURE RISES ABOVE 82°F (ADJ.) THE SPACE SHALL GO INTO COOLING MODE. IF OUTDOOR AIR ENTHALPHY IS LESS THAN INDOOR AIR ENTHALPHY, THE EA AND OA CONTROL DAMPERS SHALL OPEN AND THE SUPPLY FAN SHALL ENABLE AND MODULATE TO MAINTAIN 82°F (ADJ.), GOING TO FULL SPEED AT 85°F (ADJ.) AND MINIMUM SPEED AT 82.5°F (ADJ.). IF OUTDOOR AIR ENTHALPHY IS GREATER THAN INDOOR AIR ENTHALPHY, THE SUPPLY FAN SHALL BE DISABLED AND THE AIR SOURCE HEAT PUMP SHALL BE ENABLED TO MAINTAIN SPACE TEMPERATURE SET POINT. IF SUPPLY FAN CAN NOT MAINTAIN TEMPERATURE SET POINT AND TEMPERATURE RISES ABOVE 85°F (ADJ.), SUPPLY FAN SHALL BE DISABLED AND COOLING SHALL BE PROVIDED BY THE HEAT PUMP. IF THE SPACE TEMPERATURE RISES ABOVE 87°F (ADJ.), SEND AN ALARM. IF THE SPACE RH % RISES TO 94% (ADJ.) SEND AN ALARM. IF THE SUPPLY FAN IS ENABLED AND THE SPACE RH RISES ABOVE 94% (ADJ.), DISABLE THE SUPPLY FAN AND UTILIZE THE HEAT PUMP TO DEHUMIDIFY THE SPACE.

MONITORING:
AIR TO AIR HEAT PUMP SYSTEM STATUS AND MODE SHALL BE TRANSMITTED TO THE BUILDING AUTOMATION SYSTEM AND BE ACCESSIBLE FOR CONTROL FROM B.A.S. SET POINTS AND UNIT MODE SHALL BE ADJUSTABLE FROM THE B.A.S.

PROVIDE A CLOGGED FILTER ALARM WHEN THE INTAKE PRE-FILTER DIFFERENTIAL PRESSURE REACHES 0.4" (ADJ.). SEND A MESSAGE TO MAINTENANCE ONCE EVERY 6 MONTHS (ADJ.) TO CHECK THE FILTER.



④ MECHANICAL AND ELECTRIC ROOM VENTILATION CONTROLS POINTS SCHEMATIC N.T.S.

ALARM POINTS

- O.A. DAMPER FAIL
- E.A. DAMPER FAIL
- SF FAIL
- SPACE TEMPERATURE HIGH
- SPACE TEMPERATURE LOW
- SUMP HIGH LEVEL
- HEAT PUMP FAULT
- FILTER DP HIGH

◆ NOTES:

- FURNISH AND INSTALL CONTROLLER (BRC1E72). CONTROLLER SHALL ENABLE/DISABLE VARIABLE REFRIGERANT HEAT PUMP HEAD (EVAPORATOR), PROVIDE ROOM1 TEMPERATURE DATA TO THE VARIABLE REFRIGERANT HEAT PUMP HEAD.
- MAP ALL USER ADJUSTABLE POINTS FROM THE AIR TO AIR VARIABLE REFRIGERANT VOLUME HEAT PUMP SYSTEM TO THE BUILDING AUTOMATION SYSTEM FRONT END.
- THE CONTROLS CONTRACTOR SHALL PROVIDE ALL INTERCONNECTING WIRING REQUIRED FOR THE SYSTEM MODULES. ALL WIRING SHALL BE SIZED PER THE MANUFACTURER'S REQUIREMENTS AND INSTALLED IN CONDUIT. CONTROLS CONTRACTOR SHALL WORK WITH THE VRF MANUFACTURER TO COORDINATE THE OPERATION OF THE VRF SYSTEM AND THE INTERCONNECT WITH THE BACNET SYSTEM.
- VERIFY ELECTRIC UNIT HEATER IN ELEVATOR MACHINE ROOM1 OPERATES SATISFACTORILY.
- SERVICES OF A TESTING ADJUSTING AND BALANCING CONTRACTOR ARE NOT REQUIRED FOR THIS ELEVATOR WORK.
- ALL WORK AS IDENTIFIED ON THIS SHEET SHALL BE INCIDENTAL TO PAY ITEM 230500.11.

MAPPED OBJECTS FROM VRF HEAT PUMP CONTROLLER (READ ONLY)

START/STOP	STATUS
ALARM	
MALFUNCTION CODE	
AIR CONDITIONING MODE	
ROOM1 TEMPERATURE (PROVIDE FACTORY SPACE MOUNTED TEMP. SENSOR)	
THERMOSTAT STATUS	
COMPRESSOR STATUS	
INDOOR FAN STATUS	
ACCUMULATED POWER	

MAPPED OBJECTS VRF HEAT PUMP CONTROLLER (READ/WRITE)

START/STOP	OPERATION
AIR CONDITIONING MODE	
ROOM1 TEMPERATURE	
ROOM1 CONTROLLER ENABLE/DISABLE	
ROOM1 TEMPERATURE (PROVIDE FACTORY SPACE MOUNTED TEMP. SENSOR)	
AIR FLOW RATE SETTING	
FORCED SYSTEM STOP	
FORCED THERMOSTAT DISABLE	
ENERGY SAVING	



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CHK BY	MSA	SCALE:	AS NOTED	DATE:	JULY, 2015
DWN BY	IMD				

PROJECT: MARKETPLACE GARAGE RENOVATIONS - PHASE I BURLINGTON, VERMONT
DRAWING NAME: MECHANICAL CONTROLS DIAGRAMS

SHEET NO.

MM3.1

PROJECT NO. 909044

SHEET 24 OF 26

PLUMBING EQUIPMENT SCHEDULE				
TAG	DESCRIPTION	MAKE # MODEL	WASTE	REMARKS
(SP-1)	DUPLEX PACKAGED SUMP PUMP SYSTEM	ZOELLER MODEL #53 (20GPM @ 15')	1 1/2"	SUMP PUMP RATED FOR 20 GPM @ 15' HD., PROVIDE WITH PIGGYBACK VARIABLE LEVEL FLOAT SWITCH AND A-PAK ALARM SYSTEM. A HIGH LEVEL FLOAT SHALL SIGNAL A LOCAL ALARM. (120V-9.7A)
(HP-1)	WALL MOUNTED HEAT PUMP UNIT	SEE MECHANICAL SCHEDULES	3/4"	CONDENSATE DRAIN TO BE RUN ALONG THE WALL TO THE SUMP PUMP BASIN. PROVIDE STEP PROTECTION FOR THE PIPING THAT IS RUN ACROSS THE FLOOR TO THE BASIN.
(TD-1)	TRENCH DRAIN	ZURN PRODUCTS Z882-HDS-U4-HPD	4"	MODULAR CHANNEL SECTIONS OF HDPE, AND STAINLESS STEEL FRAME. DRAIN TO BE 96" LONG. CONTRACTOR TO VERIFY EXISTING PIPE SIZE PRIOR TO ORDERING.

GENERAL NOTES:

- ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- SUMP PUMP SHALL TIE INTO EXISTING 1 1/2" STORM LINE.
- TRENCH DRAINS TO HAVE 8206 DRAIN BODY. (11.25" SHALLOW INVERT, 12.25" DEEP INVERT ON AN 8FT DRAIN). EXACT DEPTH TO BE COORDINATED WITH PIPING CONNECTION IN FIELD.

HEAT PUMP VRF SYSTEM SCHEDULE										
TAG	DESCRIPTION	MAKE # MODEL	CFM	REFRIGERANT	COOLING CAP.	HEATING CAP.	ELECTRICAL	NOTES		
(HP-1)	INDOOR WALL MOUNTED HEAT PUMP	DAIKIN AC FTXS30LVJU	706	R-410A	30,000 BTU/HR	34,800 BTU/HR	208V/1P	1,2,3,4,5,6		

NOTES:

- FURNISH AND INSTALL ALL LIQUID/SUCTION PIPING BETWEEN EVAPORATOR AND CONDENSING UNIT. COORDINATE PIPE SIZING AND ROUTING WITH MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS.
- EACH UNIT TO BE INSTALLED WITH WIRED WALL MOUNTED TEMPERATURE CONTROLLER.
- UNIT TO BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- NOMINAL COOLING CAPACITIES BASED ON FOLLOWING CONDITIONS: 80°F DB/ 67°F WB (INDOOR), 95°F DB/ 75°F WB (OUTDOOR).
- NOMINAL HEATING CAPACITIES BASED ON FOLLOWING CONDITIONS: 70°F DB/ 60°F WB (INDOOR), 47°F DB/ 43°F WB (OUTDOOR).
- INDOOR UNIT TO BE POWERED FROM OUTDOOR UNIT.

TAG	DESCRIPTION	MAKE # MODEL	REFRIGERANT	CAPACITY BTU/HR	SEER COOLING	HSPF HEATING	COOLING RANGE	HEATING RANGE	ELECTRICAL	M.C.A.	MAX BRK.	NOTES
(OU-1)	OUTDOOR UNIT	DAIKIN AC RXS30LVJU	R-410A	30,000 COOLING 34,800 HEATING	19.3	8.3	14-115°F DB	5-75°F WB	208V/1P	19.5	20 AMP	1 2

NOTES:

- FURNISH AND INSTALL ALL LIQUID/SUCTION PIPING BETWEEN EVAPORATOR UNIT AND CONDENSING UNIT. COORDINATE PIPE SIZING AND ROUTING WITH MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS.
- OUTDOOR CONDENSING UNIT TO BE SUPPORTED BY A METAL FRAME 24" ABOVE GRADE. METAL FRAME TO BE INSTALLED ON A CONCRETE PAD SIZED BY STRUCTURAL. CONDENSING UNIT TO BE SECURED TO THE METAL FRAME WITH VIBRATION ISOLATORS.

EQUIVALENT MANUFACTURER: TBD

FAN SCHEDULE							
TAG	DESCRIPTION	MAKE # MODEL	CFM	S.P.	RPM	ELECTRICAL	NOTES
(SF-1)	ELEVATOR MACHINE ROOM SUPPLY FAN	GREENHECK FAN SQ-100-VG-1/4	1,227	0.5"	1750	120V/1PH/ 1/4HP	1 2 3 4

NOTES:

- PROVIDE STRUCTURAL SUPPORT FOR FAN. PROVIDE HANGING NEOPRENE VIBRATION ISOLATORS AND SUPPORT FROM STRUCTURE.
- FAN TO HAVE VARIGREEN SPEED CONTROL; CONTROLS CONTRACTOR TO PROVIDE 0-10V SIGNAL FOR SPEED MODULATION.
- FAN TO BE PROVIDED WITH FACTORY 2" FILTER OPTION. FILTERS TO BE REPLACEABLE MERV 8 FILTERS.
- PROVIDE FAN WITH STD. NEMA-1 FACTORY MOUNTED AND WIRED DISCONNECT SWITCH.

FIRE DAMPER SCHEDULE					
TAG	DESCRIPTION	MAKE # MODEL	DUCT SIZE	FRAME	BLADES
(FD)	BLADE TYPE FIRE DAMPER	RUSKIN DIBD2 TYPE C	-	5" X 16 GA. GALVANIZED HAT-SHAPED CHANNEL	14 GAGE AIRFOIL-SHAPED, SINGLE PIECE CONSTRUCTION

NOTES:

- PROVIDE 165° FUSIBLE LINK FOR ALL DAMPERS.
- PROVIDE INSULATED DOUBLE WALLED ACCESS PANEL ADJACENT TO FIRE DAMPER.
- FIRE DAMPER SHALL EQUAL DUCT DIMENSIONS. VERIFY QUANTITIES WITH PLAN DRAWINGS.

DIFFUSER # REGISTER SCHEDULE					
TAG	MAKE # MODEL	NECK	TYPE	MAX. CFM	NOTES
(A)	NAILOR #51DV--0-18x14-S -AW-A	18x14	SUPPLY DIFFUSER	1100 CFM	GRILLE TO BE MOUNTED TO BE DUCT MOUNTED.
(B)	NAILOR #51EC--0-18x14-S -AW-A	18x14	EXHAUST GRILLE	1100 CFM	GRILLE TO BE MOUNTED TO BE DUCT MOUNTED.

REMARKS:

-

LOUVER SCHEDULE						
TAG	DESCRIPTION	MAKE # MODEL	FREE AREA %	OPENING SIZE	DEPTH	NOTES
(L-1)	GARAGE INTAKE LOUVER(S)	RUSKIN #ELF6350DMP	62%	24"W x 30"H	6"	1 2 3 4 5
(L-2)	GARAGE INTAKE LOUVER(S)	RUSKIN #ELF6350DMP	62%	24"W x 30"H	6"	1 2 3 4 5

NOTES:

- PROVIDE LOUVERS WITH BIRD SCREEN.
- COLOR SELECTION BY ARCHITECT. COORDINATE FINAL SIZES WITH ARCHITECTURAL PLANS.
- PROVIDE CONNECTION FROM LOUVER TO PLENUM AS PER DETAIL DRAWINGS.
- LOUVERS TO HAVE KYNAR FINISH.
- PROVIDE SUBMITTAL FOR LOUVERS.

CONTROL DAMPER SCHEDULE						
TAG	DESCRIPTION	MAKE # MODEL	OPENING SIZE	FRAME	BLADES	OPTIONS
(CD-1)	INSULATED DAMPER	RUSKIN CDT1-50	14"W X 10"H +/-	5"x1" .125 ALUM.	6063-T5 EXT. ALUMINUM	WITH FACTORY INSTALLED ACTUATOR.
(CD-2)	INSULATED DAMPER	RUSKIN CDT1-50	14"W X 10"H +/-	5"x1" .125 ALUM.	6063-T5 EXT. ALUMINUM	WITH FACTORY INSTALLED ACTUATOR.

NOTES:

- SEE CONTROLS FOR OPERATION OF DAMPER.
- PROVIDE 24V ACTUATOR. NORMALLY CLOSED, FAIL OPEN.
- ALL DAMPERS TO HAVE FLANGED FRAMES BOTH SIDES.
- ALL DAMPERS TO HAVE AIRFOIL BLADES.
- SUBSTITUTE DAMPERS MUST MATCH SPECIFIED DAMPERS IN INSULATING PROPERTIES AND PRESSURE DROP.



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MARKETPLACE GARAGE I RENOVATIONS - PHASE I
 BURLINGTON, VERMONT

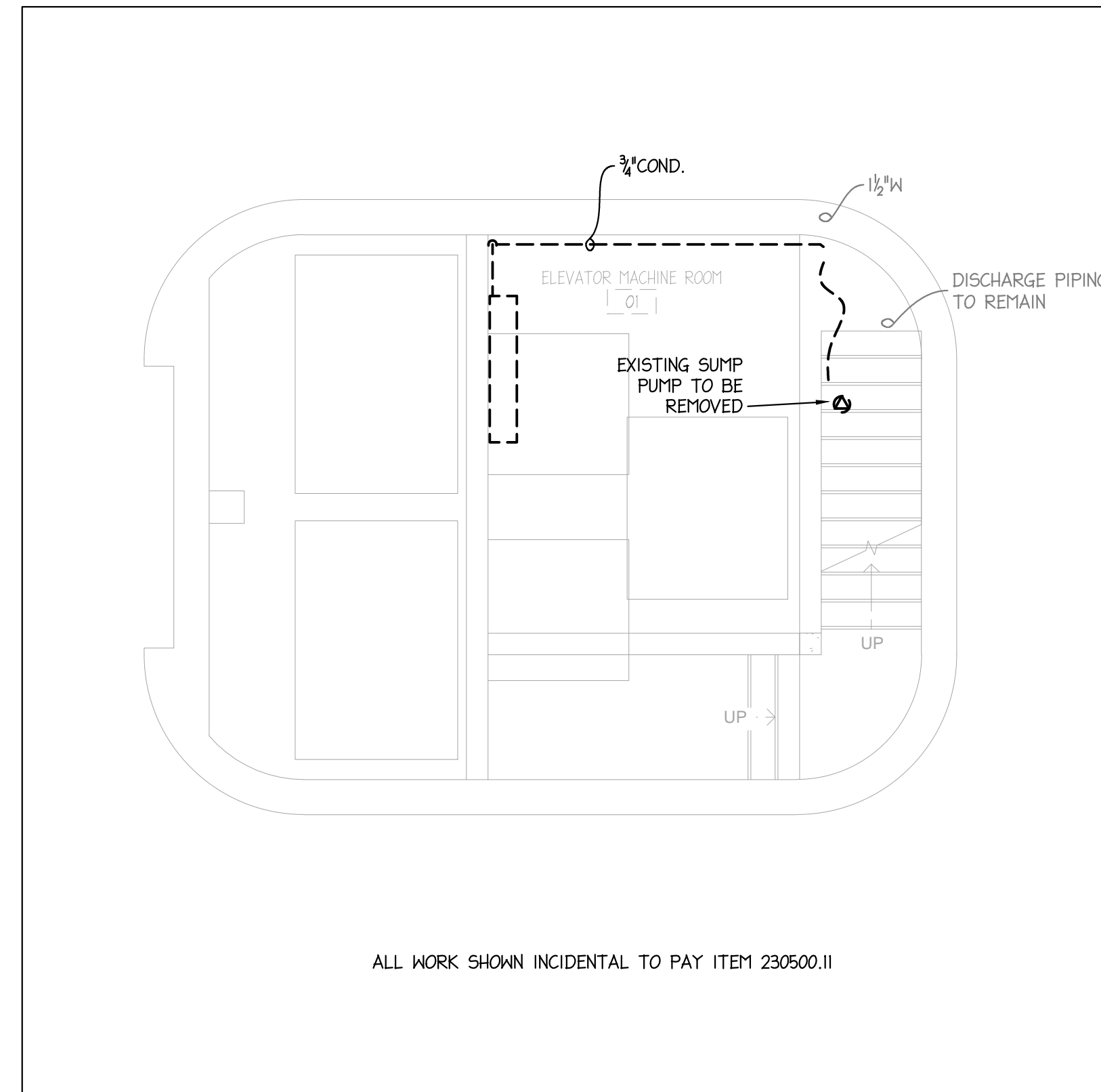
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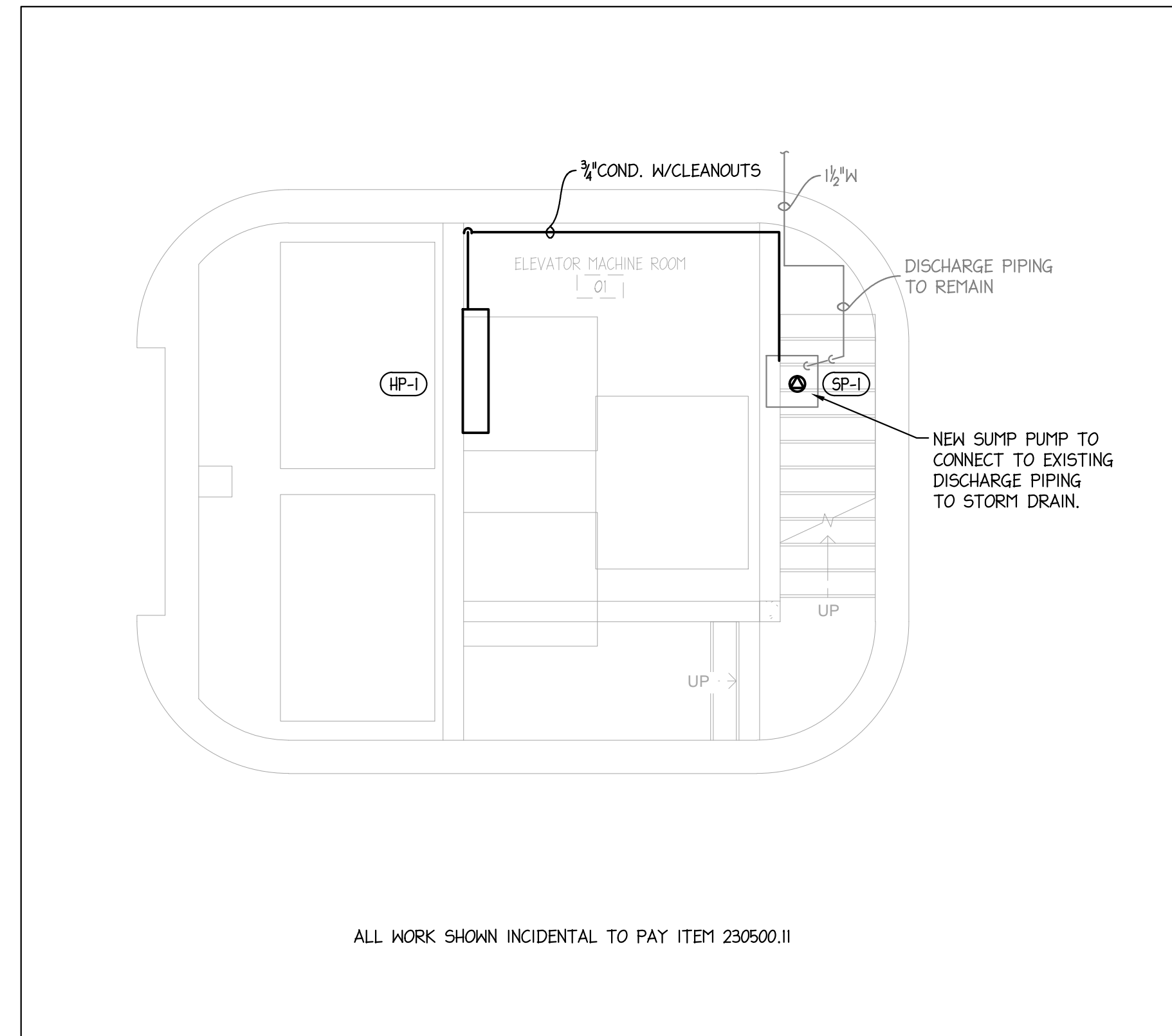
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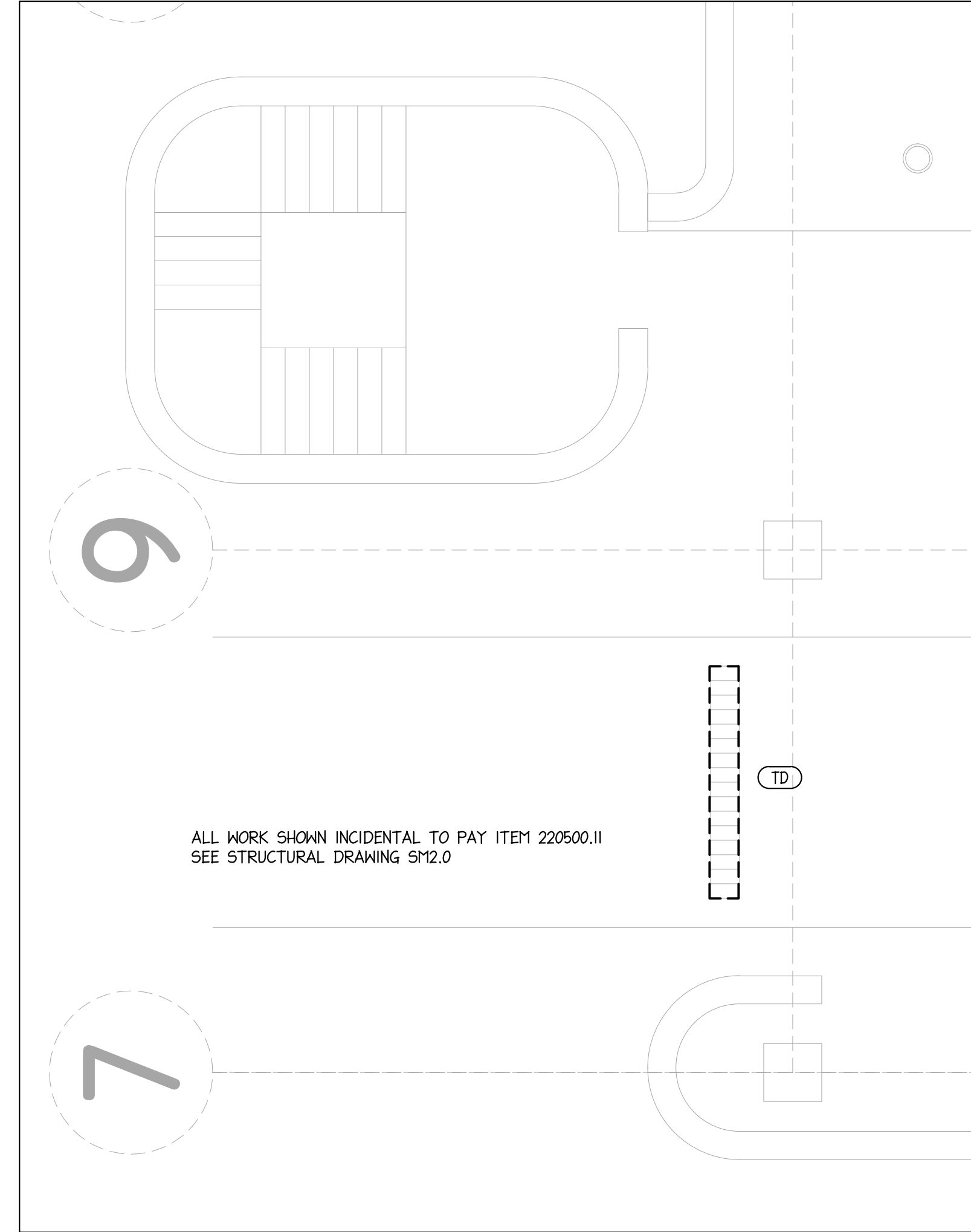
SHEET 25 OF 26



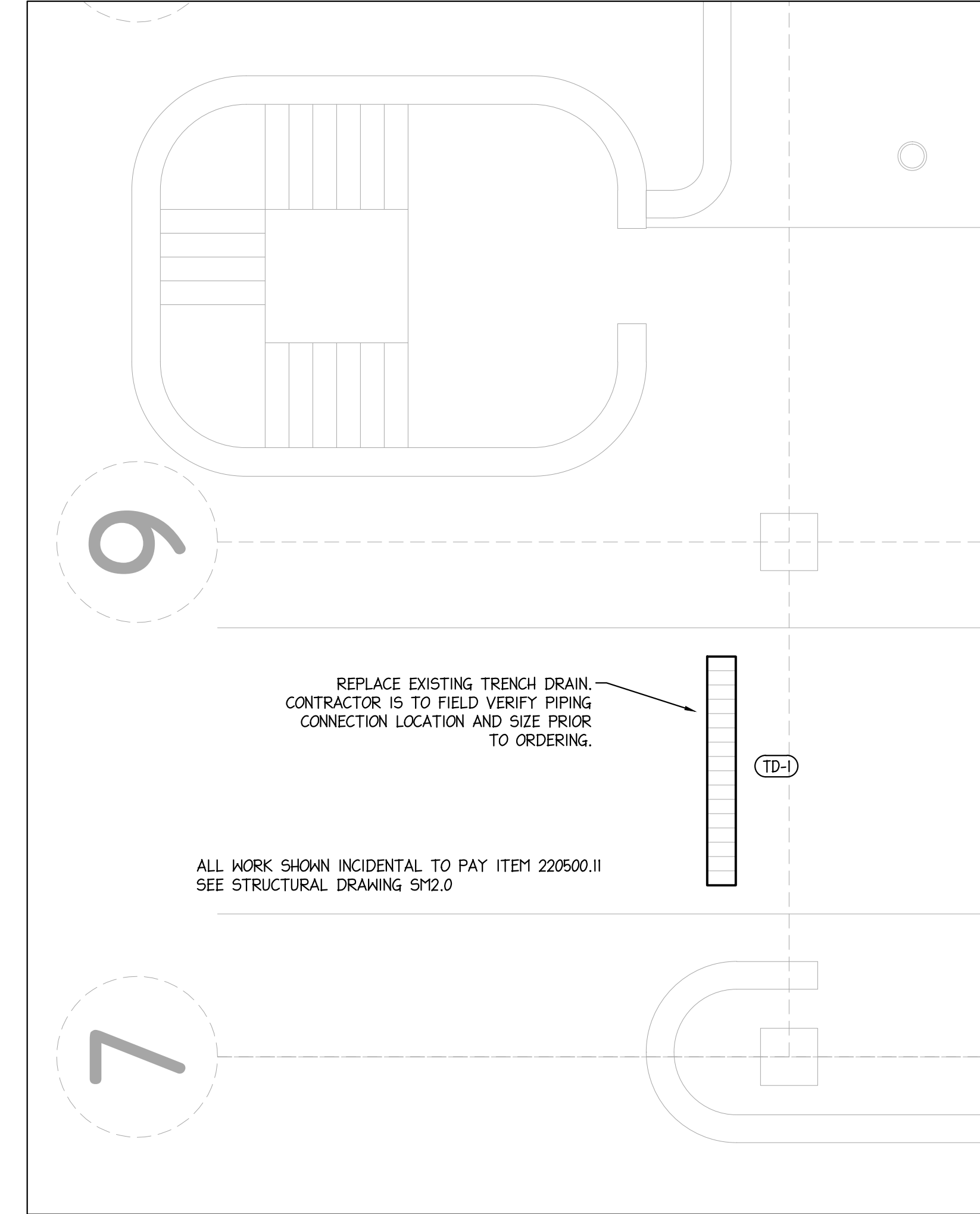
① STAIR TOWER A (ELEV. MACHINE ROOM)
BASEMENT PLUMBING DEMOLITION PLAN
1/4"=1'-0"



④ STAIR TOWER A (ELEV. MACHINE ROOM)
BASEMENT PLUMBING NEW WORK PLAN
1/4"=1'-0"

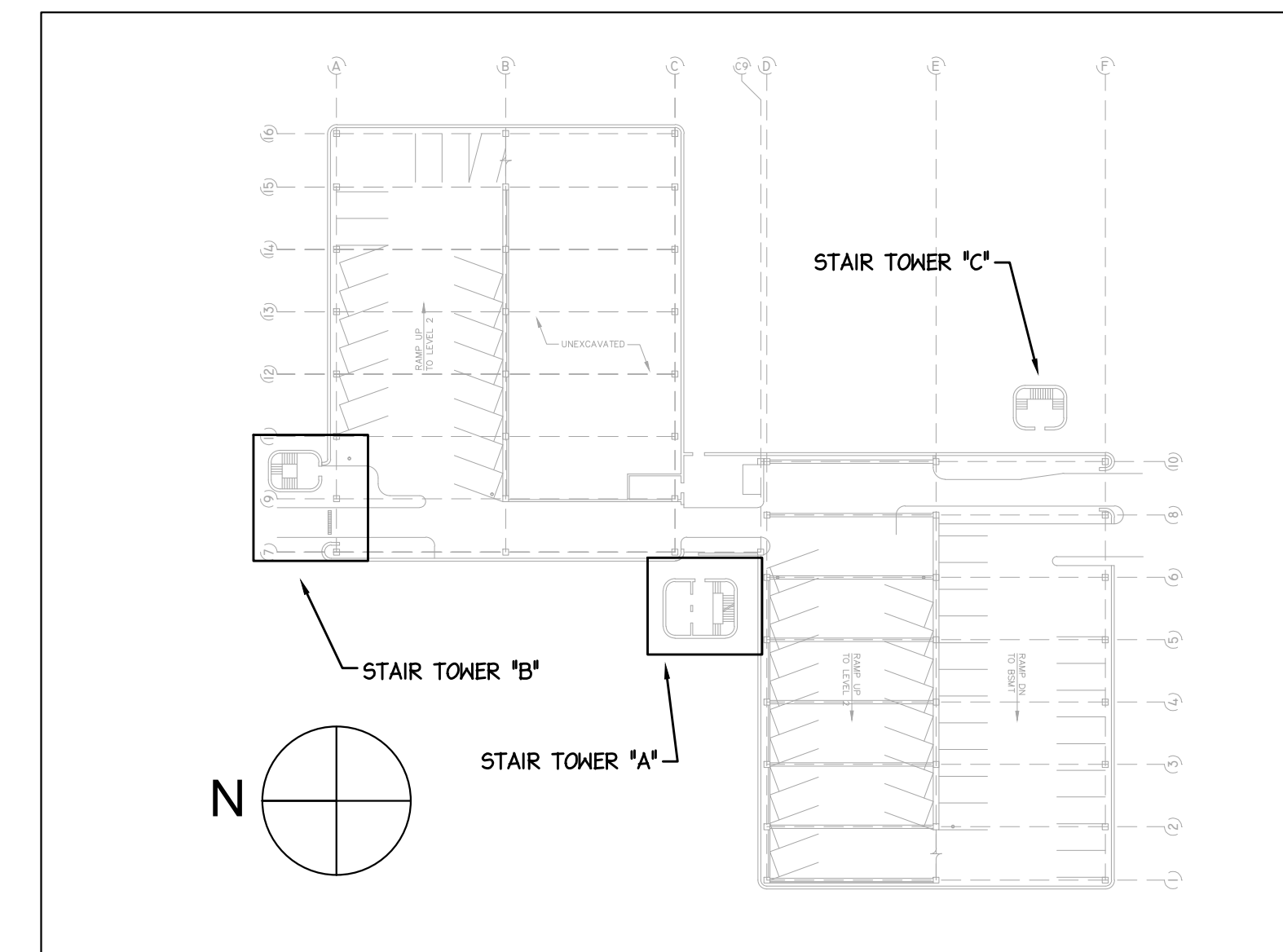


② ENTRANCE NEAR STAIR TOWER B
LEVEL ONE PLUMBING DEMOLITION PLAN
1/4"=1'-0"



③ ENTRANCE NEAR STAIR TOWER B
LEVEL ONE PLUMBING NEW WORK PLAN
1/4"=1'-0"

⑤ KEY PLAN
N.T.S.



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PROJECT
MARKETPLACE GARAGE
RENOVATIONS - PHASE I
BURLINGTON, VERMONT

DRAWING NAME
PLUMBING DEMOLITION AND
NEW WORK PLANS

SHEET NO.
PM1.1

PROJECT NO. 909044
SHEET 26 OF 26