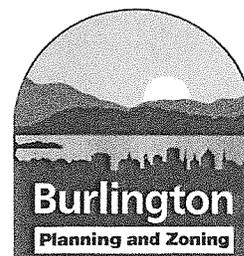


Department of Planning and Zoning

149 Church Street
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Telephone: (802) 865-7188
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David White, AICP, Director
Ken Lerner, Assistant Director
Sandrine Thibault, AICP, Comprehensive Planner
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Scott Gustin, AICP, Senior Planner
Mary O'Neil, AICP, Associate Planner
Nic Anderson, Zoning Clerk
Elsie Tillotson, Department Secretary



TO: Development Review Board
FROM: Scott Gustin *SG*
DATE: September 6, 2011
RE: 12-0142CA; 25 Oakledge

Note: These are staff comments only; decisions on projects are made by the Development Review Board, which may approve, deny, table or modify any project. THE APPLICANT OR REPRESENTATIVE MUST ATTEND THE MEETING.

Zone: WRL Ward: 5

Owner/Applicant: Stanford E. Taylor / Integrity Construction, Inc.

Request: Certificate of appropriateness review of addition for enclosed swimming pool.

Applicable Regulations:

Article 4 (Maps & Districts), Article 5 (Citywide General Regulations), Article 6 (Development Criteria & Guidelines)

Background Information:

The applicant is seeking approval to construct an indoor pool addition to an existing single family home.

Previous zoning actions for this property are noted below.

- 3/4/09, Approval of boundary line merger
- 4/18/08, Approval of addition
- 6/1/06, Approval for potting shed renovations and connection to main house
- 5/19/04, Approval of replacement windows
- 3/7/02, Approval of lot line adjustment

Recommendation: Consent approval as per, and subject to, the following findings and conditions.

Article 4: Maps & Districts

Sec. 4.4.5, Residential Districts:

(a) Purpose

(2) Waterfront Residential Low Density (WRL)

The subject property is located in the WRL zone. This zone is primarily intended for low density residential development in the form of single family homes. The existing single family home will remain as a single family home. The proposed development is consistent with the intent of the WRL zone. **(Affirmative finding)**

(b) Dimensional Standards & Density

The 3+ acre property conforms to the minimum lot size in the Larger Lot Overlay of at least 9,900 sf.

Residential density will remain unchanged at 1 unit.

Lot coverage will increase from 7.1% to 8% and will remain well below the 35% coverage maximum for the WRL zone.

The subject property is located in an approved development on a private access drive. The front property lines of the subject and neighboring parcels vary along this private drive. There are no properties fronting Oakledge to the south of the subject property. The two properties to the north consist of a vacant parcel and a parcel containing a single family home. As a result, the required front yard setback for the proposed addition is based on the existing setback of the neighboring home to the north. In this case, the existing home is about 111' to the edge of the private road. The proposed addition will be 110' from the road edge and is acceptable. Given the large size of the subject lot, a 20' minimum side yard setback applies and is acceptable as proposed. The home as existing and as proposed is located out of the 75' lakeshore setback.

The proposed addition is less than 20' tall and complies with the 35' height limit in the WRL zone. **(Affirmative finding)**

(c) Permitted & Conditional Uses

The existing single family home is a permitted use in the WRL zone. **(Affirmative finding)**

(d) District Specific Regulations

1. Setbacks

No setback encroachments are sought.

2. Height

Not applicable in WRL.

3. Lot Coverage

Lot coverage is compliant as noted in criterion (b) above.

4. Accessory Residential Structures and Uses

Not applicable.

5. Residential Density

Not applicable.

6. Uses

Not applicable.

7. Residential Development Bonuses

No development bonuses are being sought.

Article 5: Citywide General Regulations

Sec. 5.2.3, Lot Coverage Requirements

See Sec. 4.4.5 (b) above.

Sec. 5.2.4, Buildable Area Calculation

Not applicable.

Sec. 5.2.5, Setbacks

See Sec. 4.4.5 (b) above.

Sec. 5.2.6, Building Height Limits

See Sec. 4.4.5 (b) above.

Sec. 5.2.7, Density and Intensity of Development Calculations

See Sec. 4.5.5 (b) above.

Sec. 5.5.1, Nuisance Regulations

Nothing in the proposal appears to constitute a nuisance under this criterion. **(Affirmative finding)**

Sec. 5.5.2, Outdoor Lighting

No new outdoor lighting is proposed.

Sec. 5.5.3, Stormwater and Erosion Control

The project entails sufficient earthwork to require an erosion control plan. Such plan has been submitted and forwarded to the Stormwater Administrator for review and approval. Post construction stormwater management will be limited to onsite infiltration into green space. Consultation with the Stormwater Administrator will be required for any additional measures. **(Affirmative finding as conditioned)**

Article 6: Development Review Standards

Part 1, Land Division Design Standards

Not applicable.

Part 2, Site Plan Design Standards

Sec. 6.2.2, Review Standards

(a) Protection of important natural features

The subject property is located along the Lake Champlain shoreline. As noted previously, all existing and proposed construction is located outside of the 75' lakeshore setback. The property is significantly wooded with an open area around the house and towards the lake. As proposed, the existing tree line will be preserved. **(Affirmative finding)**

(b) Topographical alterations

The property slopes towards the lake. The addition will work with existing grades, and no significant topographical alterations are proposed. **(Affirmative finding)**

(c) Protection of important public views

There are no designated view sheds from or through the property. **(Affirmative finding)**

(d) Protection of important cultural resources

The proposed development site has no known archaeological resources. **(Affirmative finding)**

(e) Supporting the use of alternative energy

There is no indication that the proposed addition will utilize alternative energy. The project's construction will not inhibit the potential use of alternative energy onsite or on adjacent properties. **(Affirmative finding)**

(f) Brownfield sites

The property is not an identified brownfield.

(g) Provide for nature's events

See Sec. 5.5.3 for stormwater management.

The proposed addition has no impact on areas available for seasonal snow storage. **(Affirmative finding)**

(h) Building location and orientation

The location and orientation of the home will remain unchanged. The proposed addition does not affect the existing front entrance. **(Affirmative finding)**

(i) Vehicular access

Vehicular access remains unchanged. **(Affirmative finding)**

(j) Pedestrian access

Pedestrian access remains largely unchanged except for a new surface walkway linking the front entrance with the pool enclosure's entrance. **(Affirmative finding)**

(k) Accessibility for the handicapped

Not applicable.

(l) Parking and circulation

Parking and circulation remain unchanged. **(Affirmative finding)**

(m) Landscaping and fences

No new landscaping or fencing is proposed. As noted previously, the existing tree line will be preserved. **(Affirmative finding)**

(n) Public plazas and open space

No public plazas or open space are included in this proposal.

(o) Outdoor lighting

See Sec. 5.5.2.

(p) Integrate infrastructure into the design

No ground mounted mechanical equipment is proposed. **(Affirmative finding)**

Part 3, Architectural Design Standards

Sec. 6.3.2, Review Standards

(a) Relate development to its environment

1. Massing, Height, and Scale

The massing, height, and scale of the proposed addition are consistent with those of the existing home. **(Affirmative finding)**

2. Roofs and Rooflines

The roofline of the proposed addition is consistent with that of the existing home. **(Affirmative finding)**

3. Building Openings

Fenestration in the addition matches that in the rest of the home and is appropriately scaled throughout. **(Affirmative finding)**

(b) Protection of important architectural resources

The existing residence is not historically significant. The proposed addition will have no impacts on any historic resource. **(Affirmative finding)**

(c) Protection of important public views

See 6.2.2 (c) above.

(d) Provide an active and inviting street edge

There is little in the way of street edge along Oakledge Drive. As noted above, the front entrance remains unchanged. **(Affirmative finding)**

(e) Quality of materials

The addition will be clad in materials to match those on the existing home – wooden siding, asphalt roof shingles, and clad wooden windows. **(Affirmative finding)**

(f) Reduce energy utilization

The proposed addition must comply with the city's current energy efficiency standards. **(Affirmative finding as conditioned)**

(g) Make advertising features complimentary to the site

No advertising features are included in this proposal.

(h) Integrate infrastructure into the building design

No new exterior mechanical equipment is included in this proposal. **(Affirmative finding)**

(i) Make spaces safe and secure

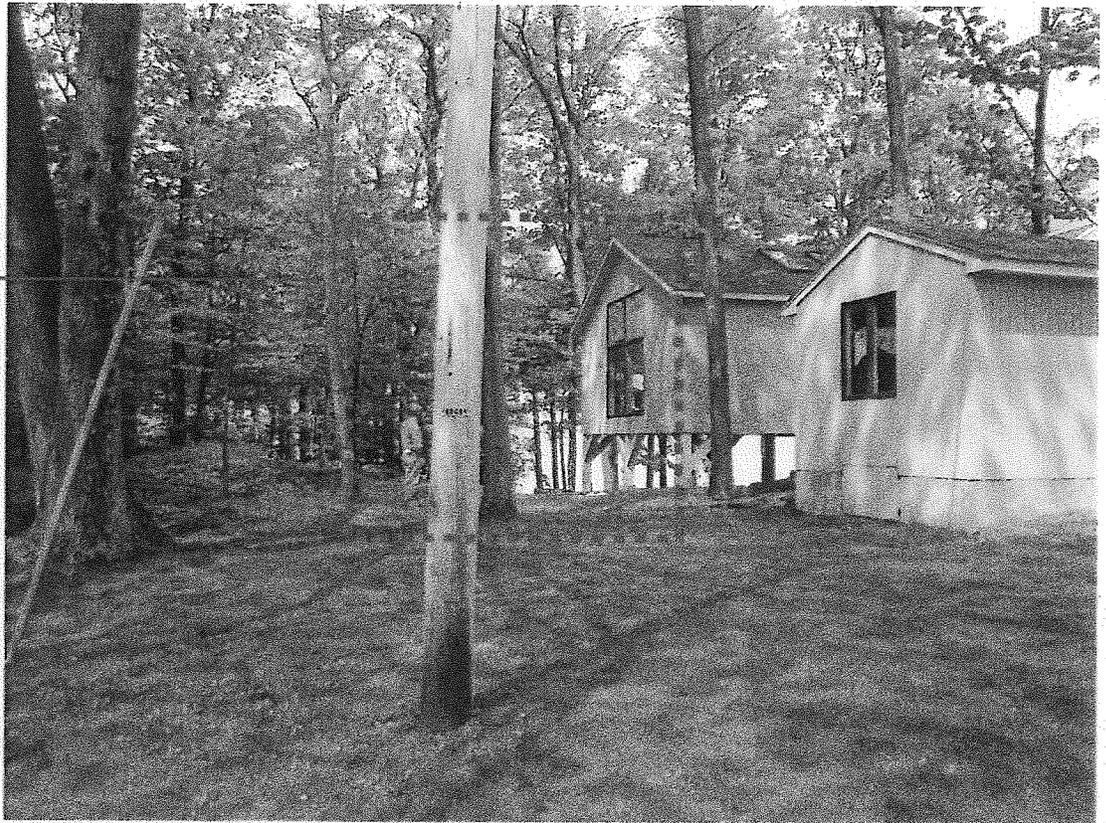
The proposed addition must comply with current egress requirements. **(Affirmative finding as conditioned)**

II. Conditions of Approval

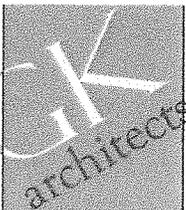
1. **Prior to release of the zoning permit**, written approval of erosion control and stormwater management procedures shall be obtained from the Stormwater Administrator.
2. The proposed structure shall comply with Burlington's current energy efficiency standards and with Burlington's current egress requirements as established by Burlington Electric Department and Burlington Public Works, respectively.

3. This property is subject to all applicable nuisance regulations and performance standards in the Burlington Code of Ordinances.
4. Standard permit conditions 1 – 18.

LOCATION OF
NEW ADDITION,
VIEW FROM
STREET SIDE



LOCATION OF
NEW ADDITION,
VIEW FROM
LAKE SIDE



Champlain Mill
20 Winoski Falls Way, #24
Winoski, Vermont 05404

Phone 802 655 0145
Fax 802 655 7983
www.gk-architects.com

Existing Site Photos

Taylor Pool Addition
Burlington, Vermont

Proj. No.:
07-27

Scale :
NTS
Date:
8/2/11
Drawn By:
kd

SHEET No.

1



LOCATION OF
NEW ADDITION,
VIEW FROM
LAKE SIDE



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Existing Site Photos

Taylor Pool Addition
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Scale :
NTS
Date:
8/2/11
Drawn By:
kd

SHEET No.

2

**25 OAKLEDGE DRIVE
SITE PLAN NOTES**

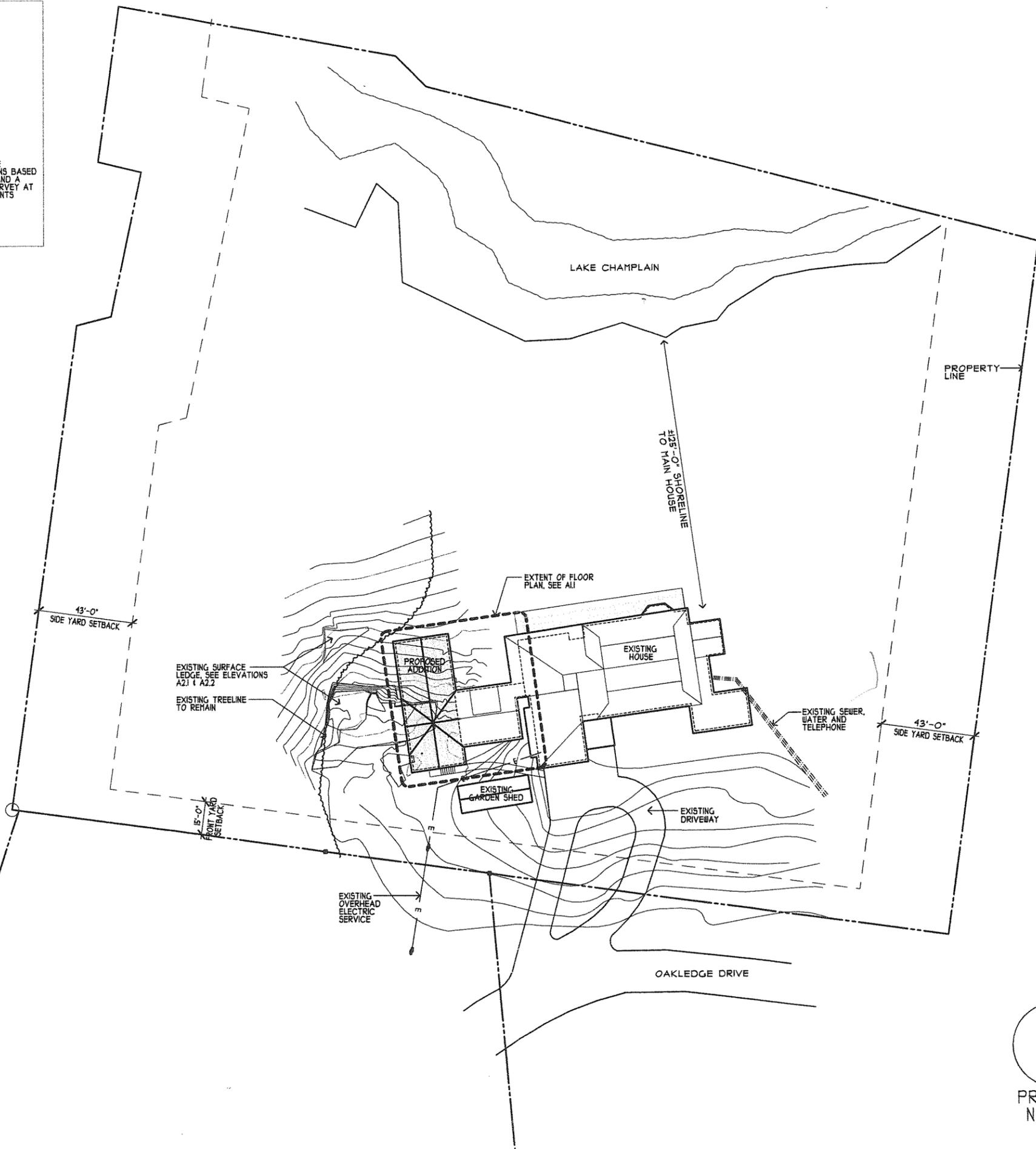
LOT SIZE: 141,495 SF
 EXISTING COVERAGE: 10,488 SF (7%)
 PROPOSED COVERAGE: 11,908 SF (8%)

ZONING DISTRICT: MRL
 DISTRICT REGULATIONS: 35% LOT COVERAGE
 + 10% FOR DECKS
 10% SIDE SETBACK
 25% REAR SETBACK
 15' FRONT YARD SETBACK
 ACCESSORY STRUCTURE NO
 HIGHER THAN 15' ALLOWED
 @/IN 5'-0" OF PROPERTY LINE

NOTES:
 1) THIS SITE PLAN IS NOT TO BE CONSIDERED AN ACCURATE SURVEY. IT IS A REPRESENTATION OF EXISTING CONDITIONS BASED ON SITE OBSERVATIONS AND MEASUREMENTS, TAX MAPS AND A PRE-1% ARCHITECTURAL SITE PLAN BY C. LINDBERG. SURVEY AT PROPOSED ADDITION IS ACCURATE BASED ON MEASUREMENTS TAKEN BY LAPOUREAUX & DICKENSON ON JULY 5, 2011.
 2) ALL UTILITIES ARE EXISTING AND ARE TO REMAIN.
 3) TREES WITHIN FOOT OF THE FOOTPRINT OF THE ADDITION WILL BE REMOVED. TENTATIVELY 2 TREES.

LIST OF DRAWINGS:

S1.0	SITE PLAN
A1.0	FOUNDATION PLAN
A1.1	FLOOR PLAN
A2.1	EAST ELEVATION
A2.2	SOUTH ELEVATION
A2.3	WEST ELEVATION
A3.1	SECTIONS
A3.2	SECTIONS



**GARDNER
KILCOYNE
architects**

ic
INTEGRITY
 CONSTRUCTION, INC.

Champlain Mill
 1 Main Street, Suite 24
 Winooski, Vermont 05404

Phone 802 655 0145
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 www.gk-architects.com

**Taylor
Residence
Addition**

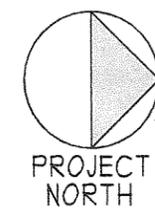
25 Oakledge Dr
 Burlington, VT

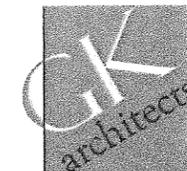
Proj. No.:
07-27

Dwg Title:
**PROPOSED
SITE
PLAN**

Scale: 1"=30'-0"
 Date: 08-02-11
 Drawn by: LLK, KD

SHEET No.
S1.0





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Taylor
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Addition

25 Oakledge Dr
Burlington, VT

Proj. No.:

07-27

Dwg Title:
EAST
ELEVATION

Scale: 1/4" = 1'-0"

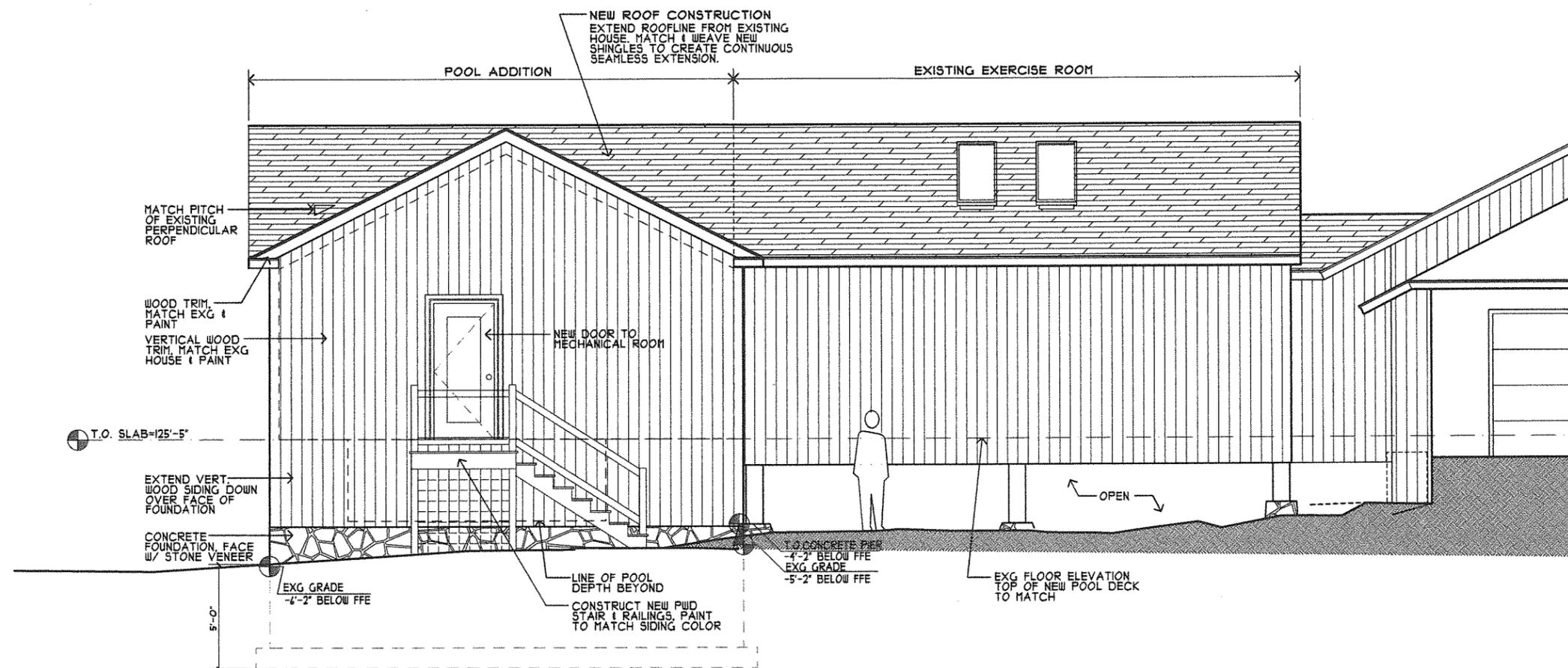
Date: 08-02-11

Drawn by: LLK, kd

Rev.

SHEET No.

A2.1



EAST ELEVATION (FACING THE STREET)

1/4" = 1'-0"



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Addition

25 Oakledge Dr
Burlington, VT

Proj. No.:

07-27

Dwg Title:
SOUTH
ELEVATION

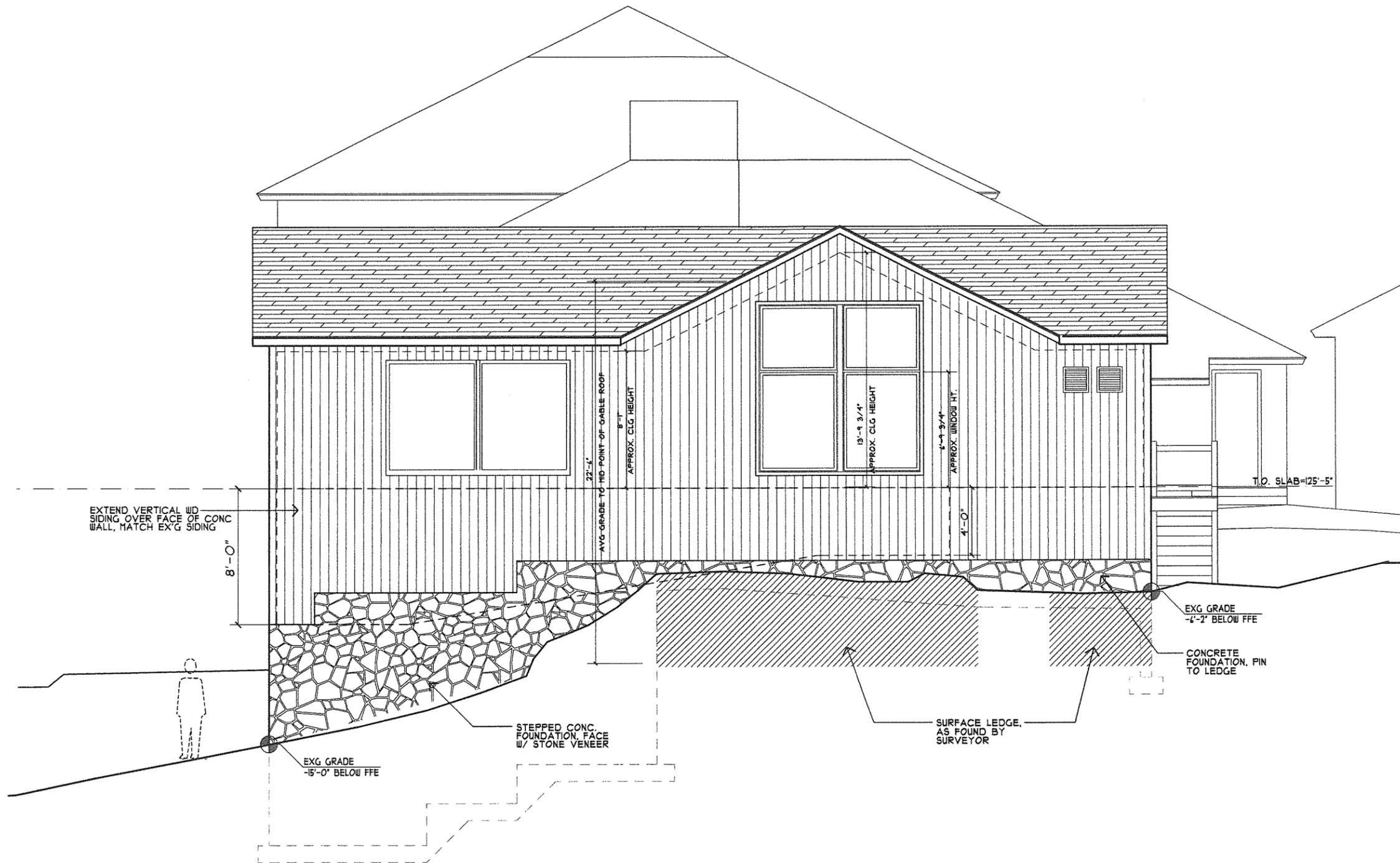
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Date: 08-02-11
Drawn by: LLK, kd

Rev.

SHEET No.

A2.2



SOUTH ELEVATION

1/4" = 1'-0"



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Taylor
Residence
Addition

25 Oakledge Dr
Burlington, VT

Proj. No.:

07-27

Dwg Title:

WEST
ELEVATION

Scale: 1/4" = 1'-0"

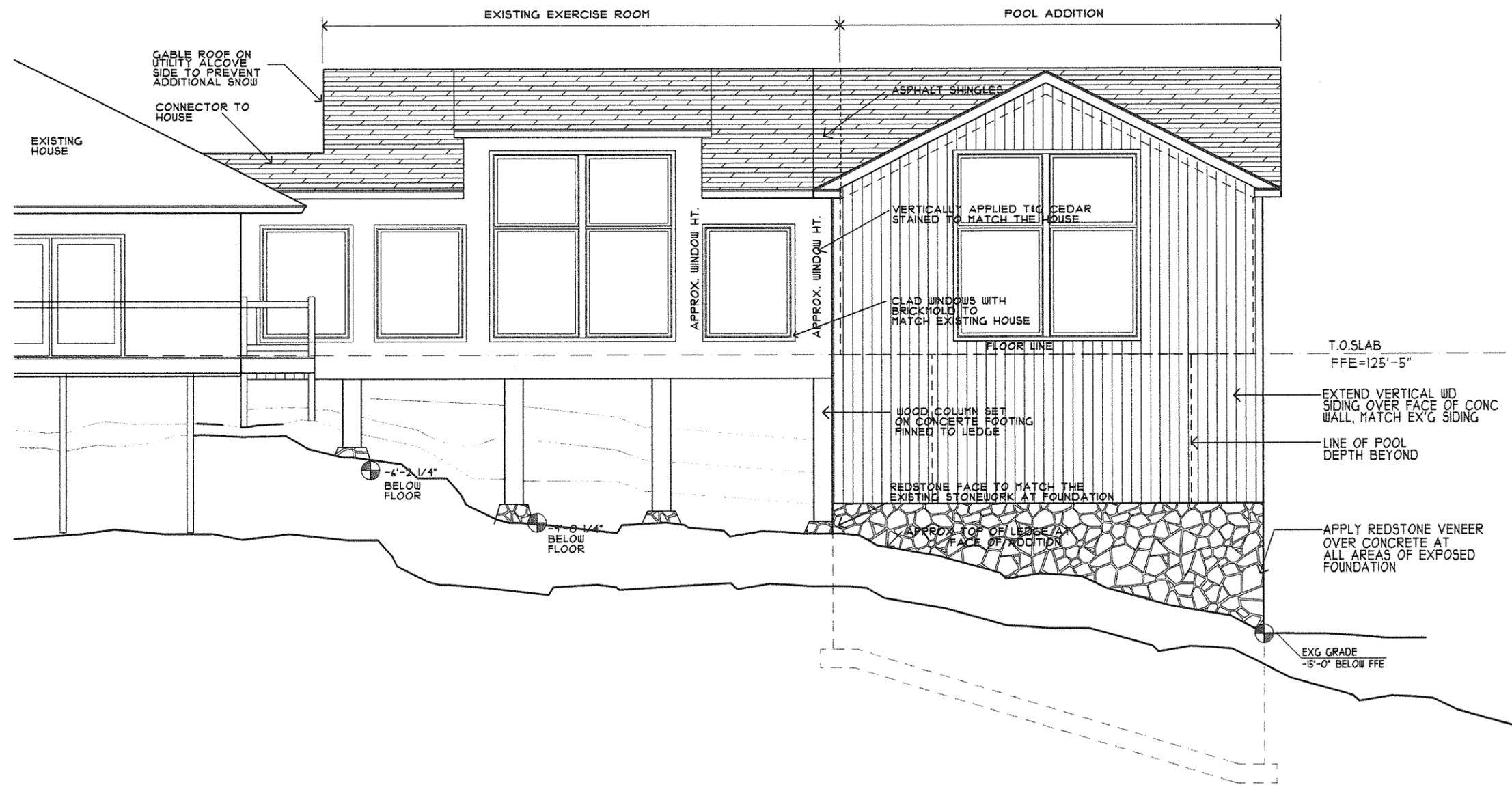
Date: 08-02-11

Drawn by: LLK, kd

Rev.

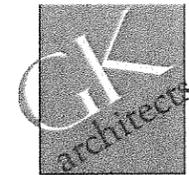
SHEET No.

A2.3



WEST ELEVATION (FACING THE LAKE)

1/4" = 1'-0"



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Taylor
Residence
Addition

Burlington,
Vermont

Proj. No.:
07-27

Dwg Title:
SECTION

Scale: 1/4" = 1'-0"
Date: 06-27-07
Drawn by: LLK, RJ
Rev: 06-20-08

SHEET No.

A3.1

